





**GENERAL NOTES:**

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code and all other applicable codes, standards, and regulations.
- All applicable Federal, State and Municipal regulations shall be followed including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, girds or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of the raised ceiling or underside of floor deck. All fire ratings shall be approved by the authority having jurisdiction.
- Building shall have approved smoke detectors in accordance with NFPA-72 Life Safety Code. Smoke detectors shall be installed in all bedrooms in accordance with NFPA-72 Life Safety Code. Local authority having jurisdiction needs to provide smoke detectors.
- Dimensions not shown are 4'-0" general heights and shall be kept free and clear of use and snow at all times to ensure the second means of egress.
- HVAC insulation to be in accordance with ASHRAE, NFPA-96A, or NFPA-96B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-96, NFPA-70, NFPA-70A, NFPA-70B and NFPA-70C as applicable.

**FRAMING NOTES:**

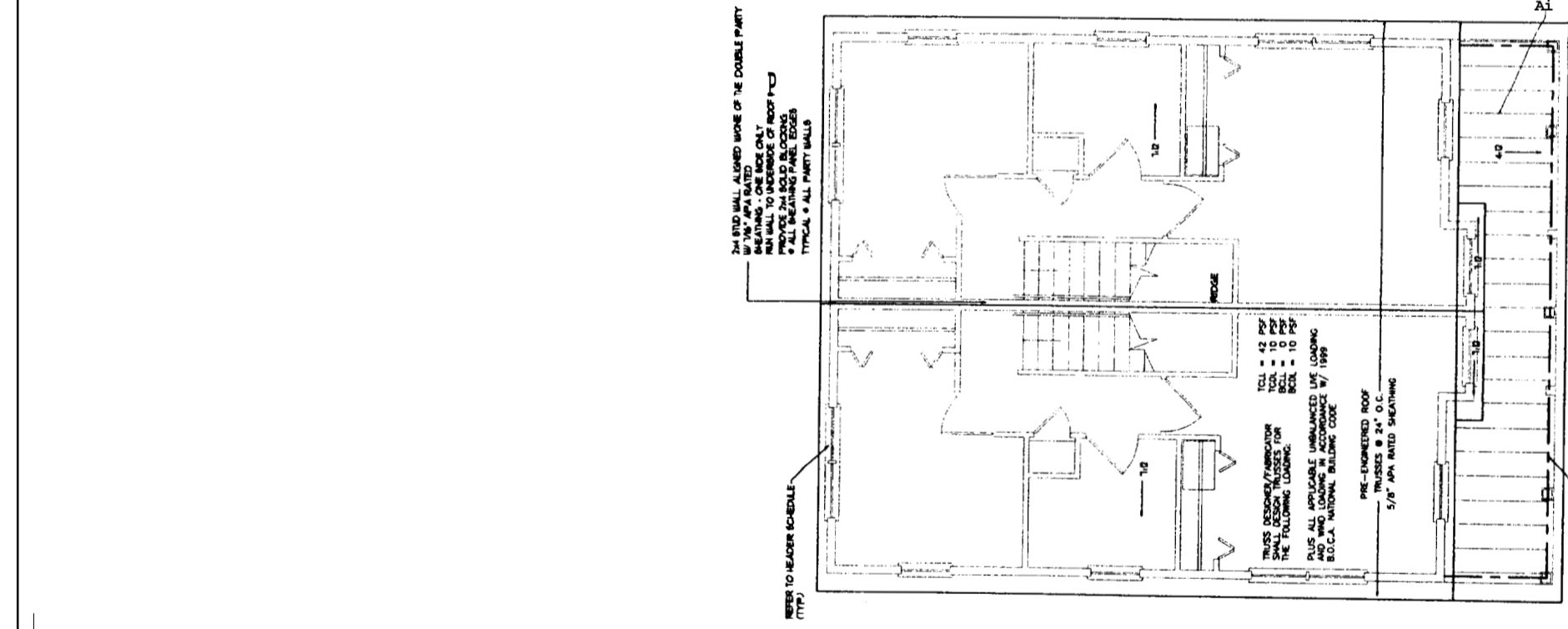
- All exterior walls to be 2x4 wood stud walls with 2x4 studs, 1/2" gypsum and vapor barrier on inside face of wall, 1/2" rigid insulation (R-19) and 1/2" APA RATED SHEATHING on exterior face of wall.
- All interior walls to be 2x4 wood stud walls (UNLESS NOTED OTHERWISE) with ONE LAYER 1/2" GIBS EACH SIDE.
- Set all blocking behind all surface applied finishes, trim and shelves when mounted on walls.
- The location of all door frames shall be 4'-0" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

**FOUNDATION NOTES:**

- Provide sill sealer on top of all foundation walls on both sides.
- All steel reinforcing in footings to be a minimum 3" clear from bottom of footing.
- All steel reinforcing in foundation walls below grade to be minimum 3" clear from face of wall.
- All wood in contact with concrete shall be pressure preservative treated (P.T.) TO 4-4 P.F. RETENTION PER ANPA.
- All concrete anchors shall have a steel thimble, 1/2" LIGHT BRISTOL FIBER.
- Set all footings on undisturbed soil or compacted structural fill.
- Radiant heat in slab.
- First floor slab shall be 4" thick concrete slab on grade with fiber mesh reinforcement provide control joints @ 9'-0" SPACING (TYP.).
- All concrete shall be 3000 PSI (75) STRENGTH AT 28 DAYS.
- All concrete shall be air entrained 4-5%.
- All other admixtures shall be pre-approved.

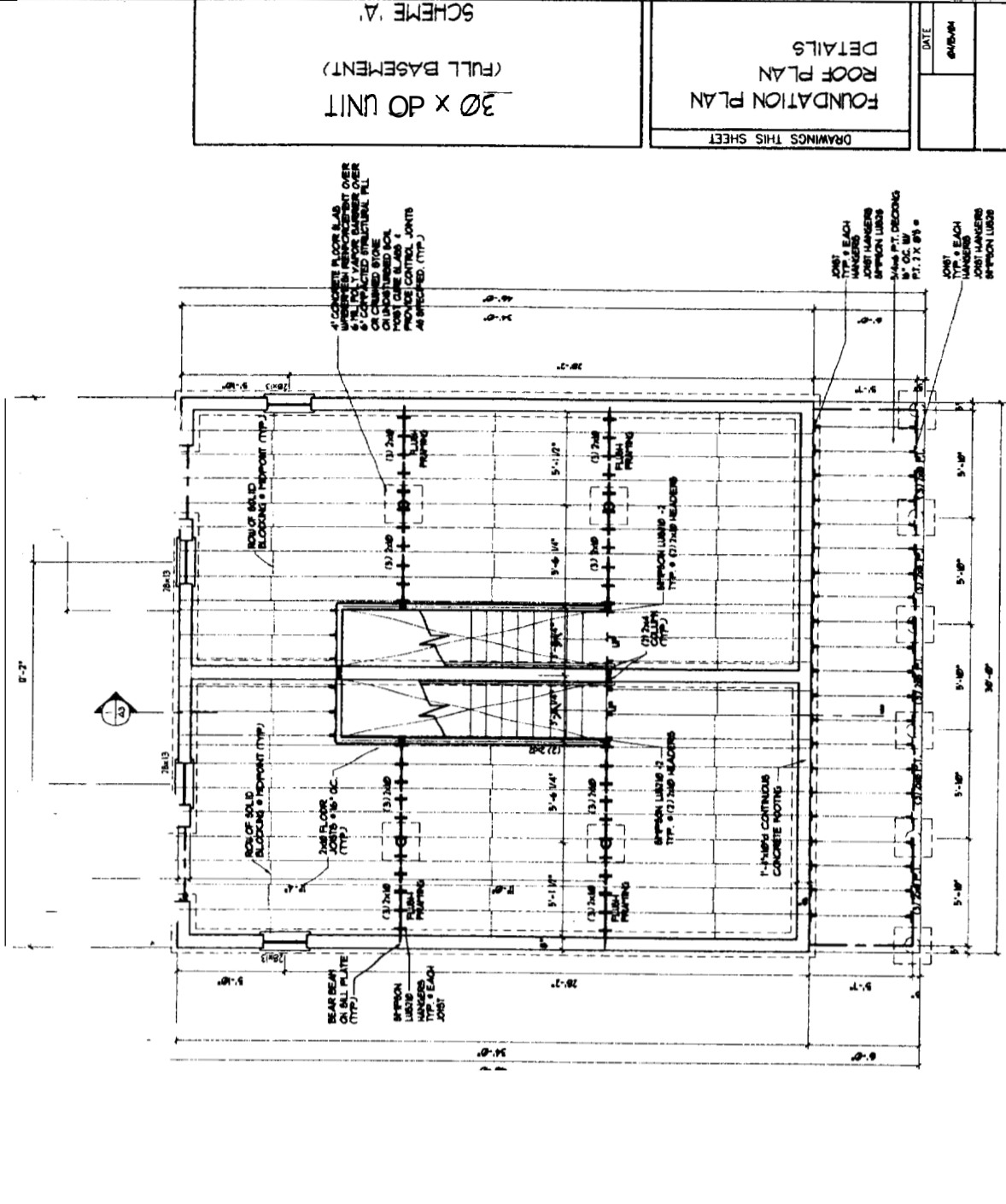
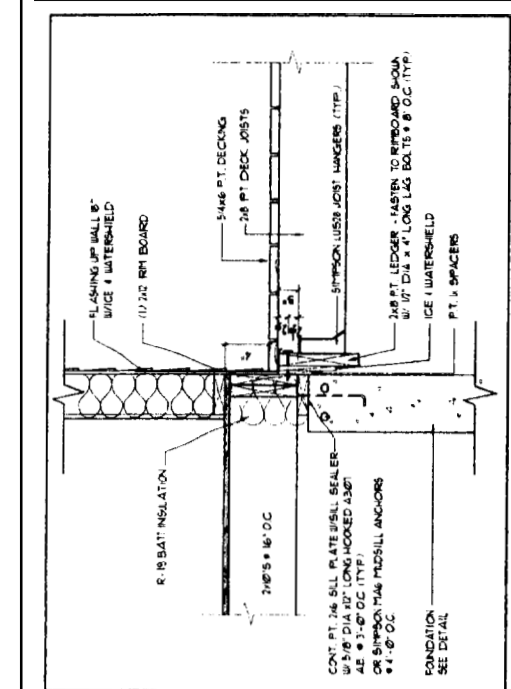
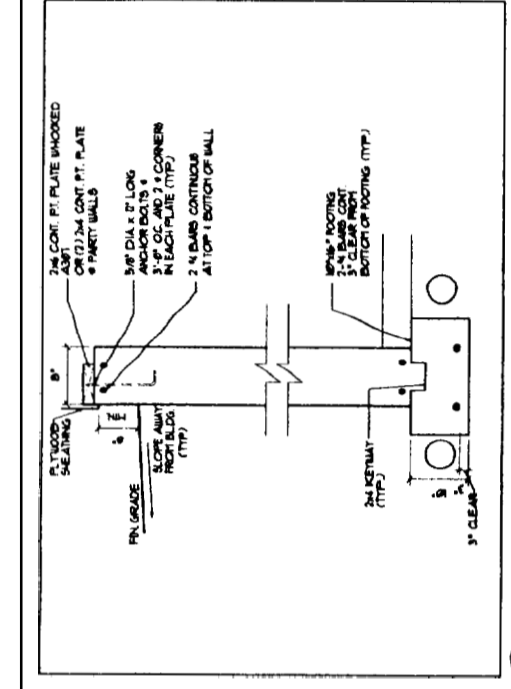
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

2x4 END WALL ALLOWED MORE OF THE DOUBLE PARTY SHEATHING - ONE SIDE ONLY PER WALL TO UNDERLIE OF ROOF P-F. PROVIDE 2x4 SOLID BLOCKING AT ALL PARTIAL EDGES TYPICAL @ ALL PARTY WALLS



**ROOF FRAMING PLAN**

SCALE: 1/2" = 1'-0"



**FOUNDATION / FIRST FLOOR FRAMING PLAN**

SCALE: 1/2" = 1'-0"

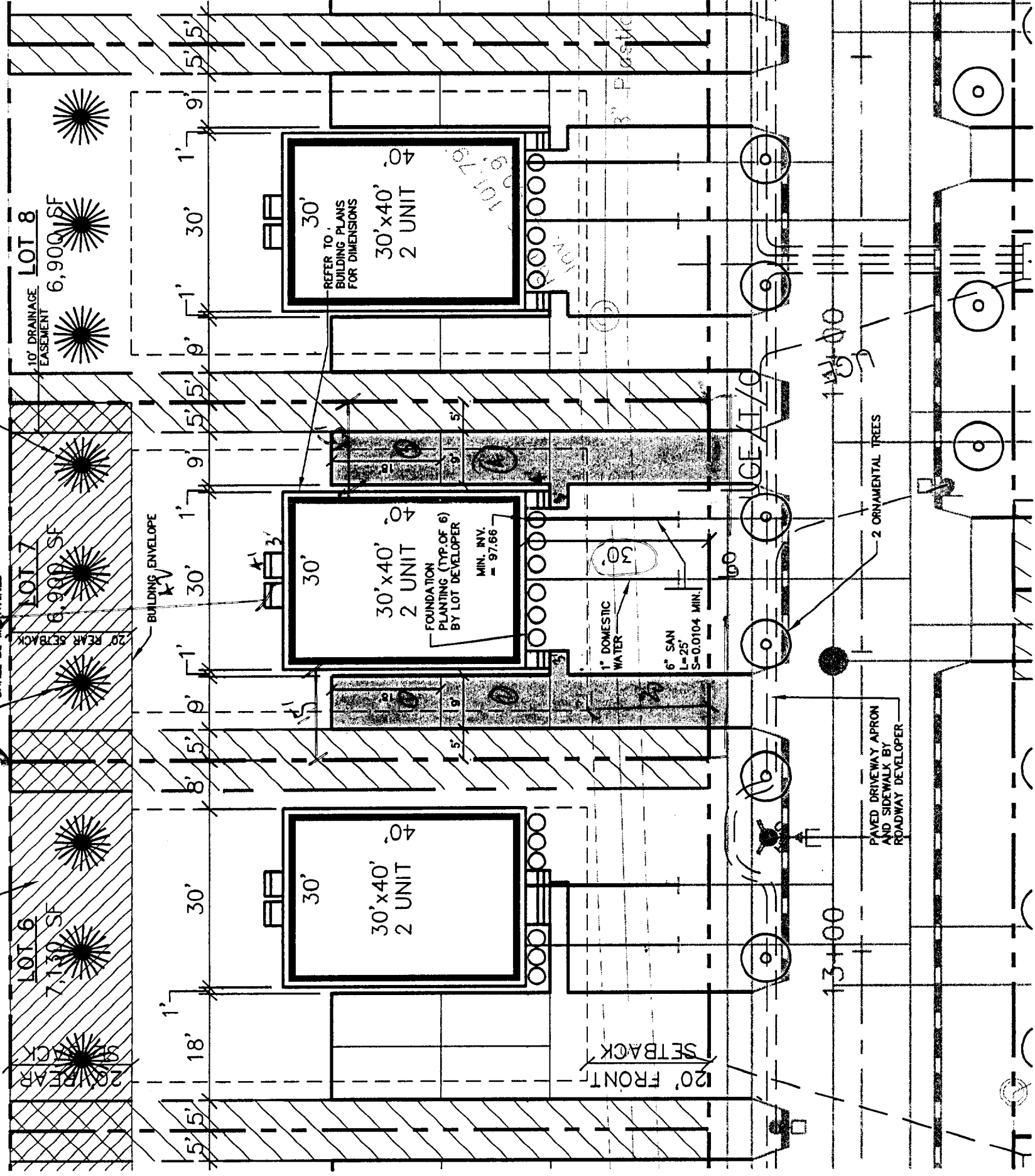
AI

10' DRAINAGE EASEMENT (TYP)

20' UNDISTURBED ZONE

EXISTING VEGETATION WITHIN THE 20' REAR SETBACK SHALL BE MAINTAINED

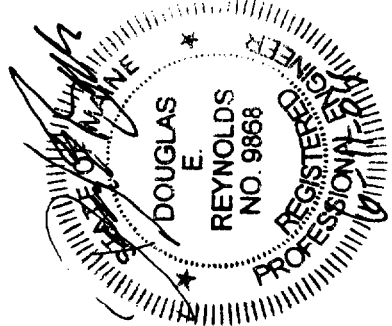
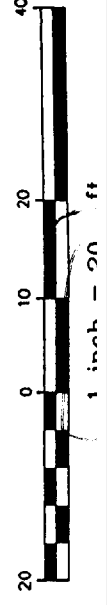
3 WHITE PINES



14 2000  
341 9 027

**NOTES:**

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.



Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

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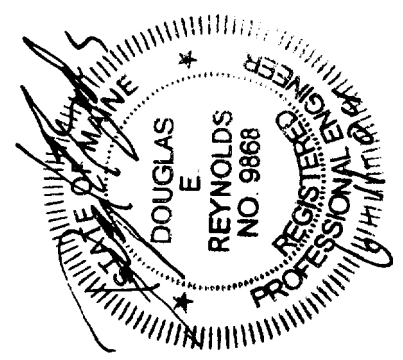
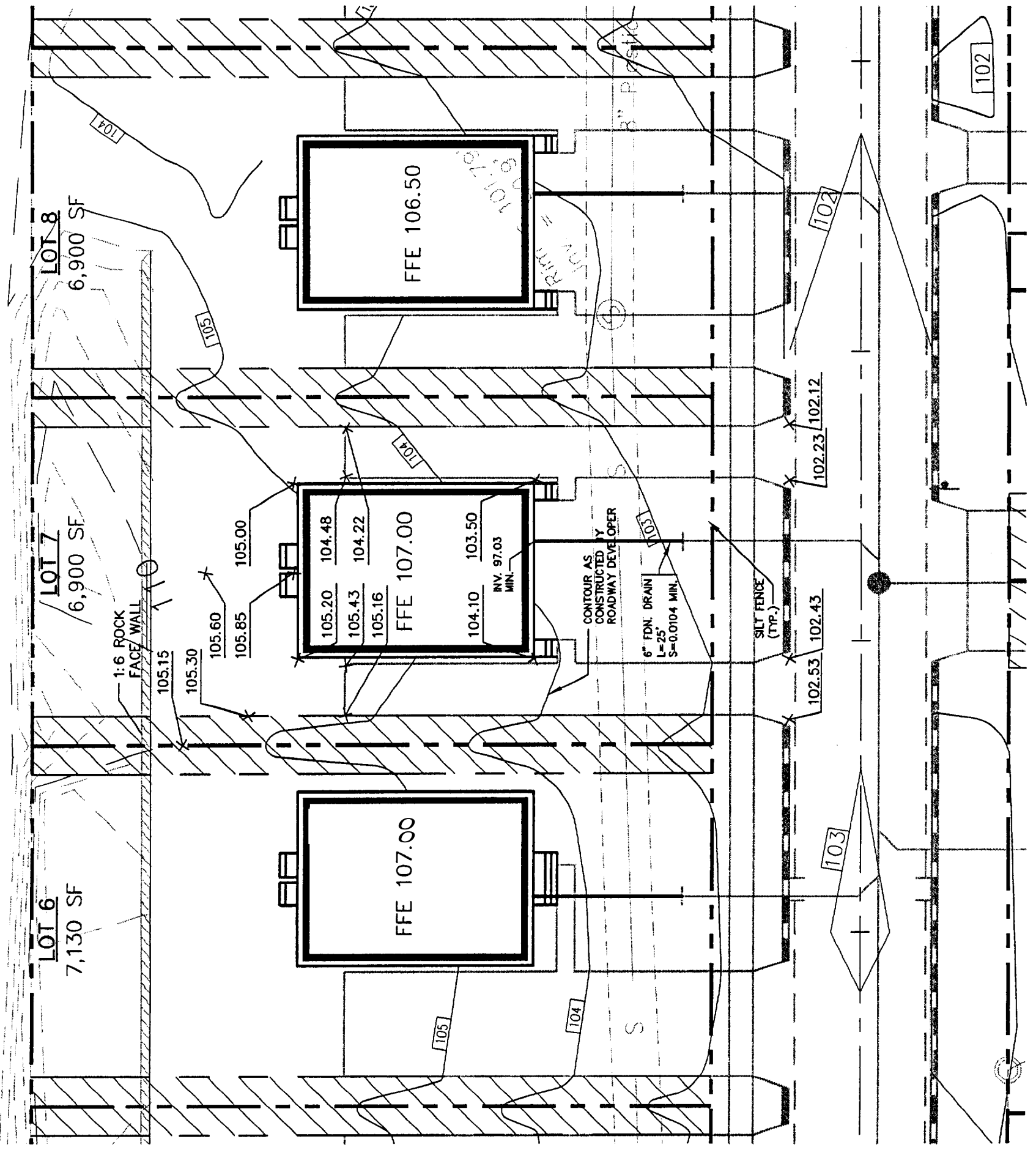
**Gorham-Palmer Consulting Engineers, Inc.**  
Traffic and Civil Engineering Services

**Lot 7 Lot Layout and Utility Plan**  
CARRIAGE LANE

Figure No. **1**

**NOTES:**

1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.



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Planning Issue: **Lot 7 Grading Plan**  
 Project: **CARRIAGE LANE**

Figure No. **2**