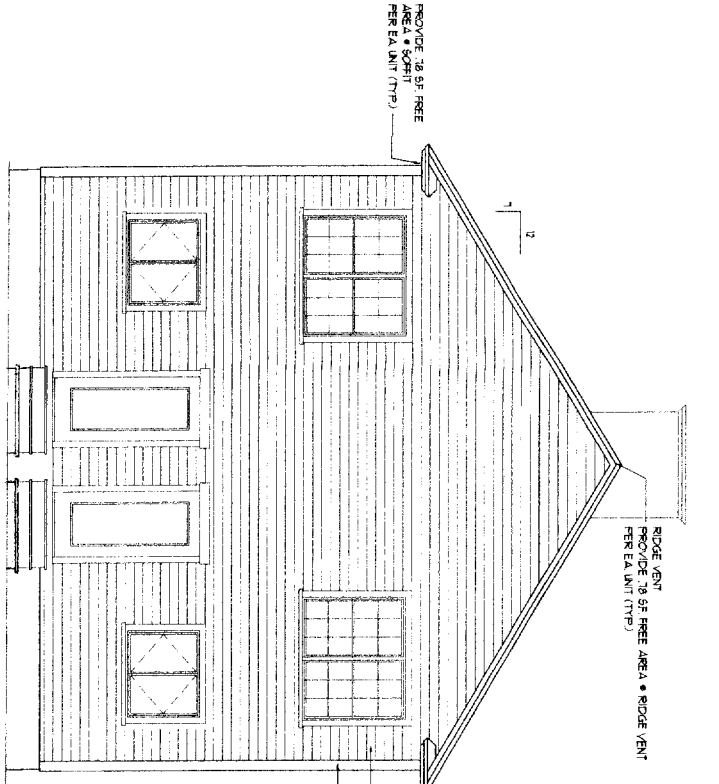
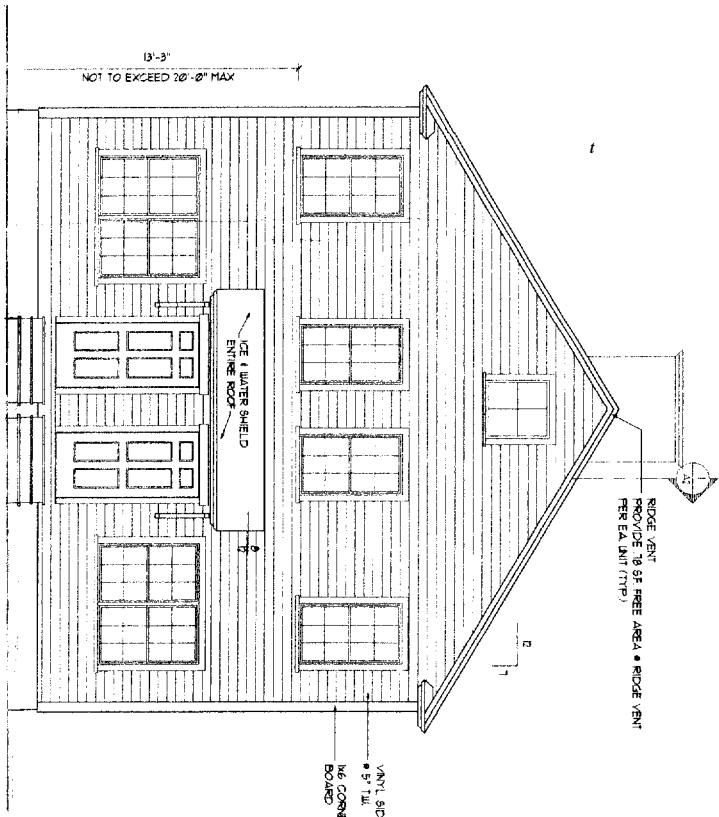


**RIGHT SIDE ELEVATION**  
 (LEFT SIDE ELEVATION SIMILAR)  
 SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"

**CITY OF PORTLAND**  
 APPROVED CONSTRUCTION PLANS  
 JUN 25 2004  
 SUPERSEDES ALL  
 PRIOR DATED PLANS

**GENERAL NOTES:**

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, National State Plumbing Code, ASHRAE 90.1, NFPA Codes, American with Disabilities Act (ADA), and all local State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits shall be obtained before any construction begins.
- If the contractor has responsibility to determine accurate procedures and methods to ensure the safety of the building and its occupants during the construction, the contractor shall provide temporary bracing, shoring or tie-downs, such material shall remain in place until the contractor is the completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local State and Federal codes.
- All fire ratings indicated shall be continuous to underside of the rated ceiling or underside of floor deck, shall all openings & penetrations with approved fire rating.
- Building shall be completed in accordance with NFPA-101 Life Safety Code. Smoke detectors shall be installed in the sleeping rooms of each unit.
- Provide fire extinguishers shall be provided in all hazardous areas in accordance with NFPA-101, Local Authority having jurisdiction needs to provide when required.
- Balconies shall maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- Utility installation to be in accordance with ASHRAE, NFPA, BIA, OR, NFPA, and all local, State and State codes, ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31 and NFPA-34 and NFPA-70 as applicable.

**FRAMING NOTES:**

- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS
  - 2" OC W/ 1/2" GIPS AND JACKET BRICKER + INSIDE
  - APR. BATED SHEATHING + EXTERIOR SIZE OF WALL
- ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS W/ 1/2" GIPS EACH SIDE
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM AND SHELVES WHEN MOUNTED ON WALLS
- THE LOCATION OF ALL DOOR THRESHES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE FROM ADJACENT WALLS)

**FOUNDATION NOTES:**

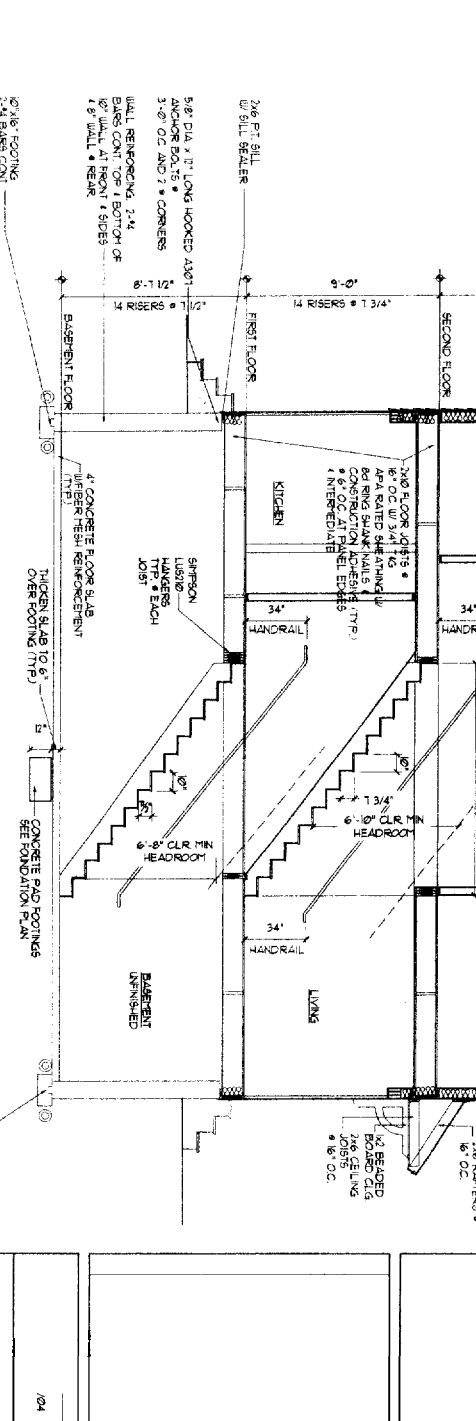
- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS
- FOUNDATION WALLS SHALL BE BACKFILLED WITH GRAVELLY ON BOTH SIDES
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM 3" CLEAR FROM FACE OF WALL
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURIZED PRESERVATIVE TREATED WOOD TO 0.4% RETENTION PER ALPA
- ALL CONCRETE SURFACES SHALL HAVE A STEEL FLOOR FINISH
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL
- RADIANT HEAT IN SLAB
  - 8" FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER GLASS REINFORCEMENT, PROVIDE CONTROL JOINTS @ 8'-0" SPACING (TPP)
- ALL CONCRETE SHALL BE 3000 PSI (75) STRENGTH AT 28 DAYS
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0' - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-0"	(3) - 2x10
5'-1" - 7'-0"	(3) - 2x12

NOTE: PROVIDE LAMBS BOTH SIDES 2x4 POLYURETHANE JACK FLASHING PER TO THE ROUGH OPENING (7) 2x6 JACK FLASH (7) 2x8 JACKS @ 10'-0" ROUGH OPENING

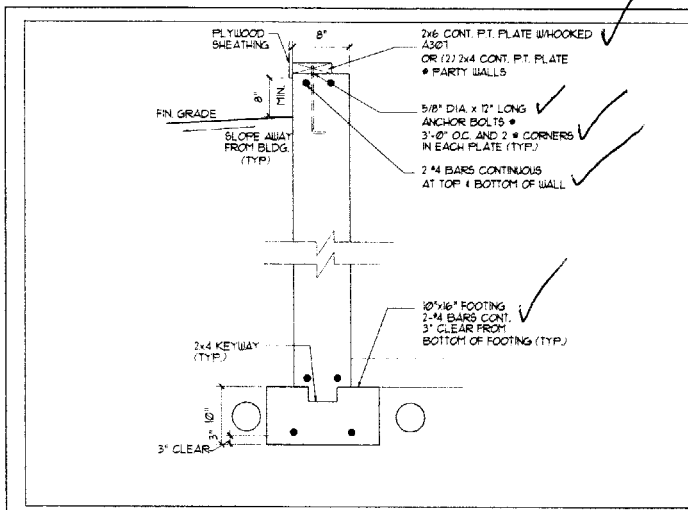
**TYPICAL ROOF CONSTRUCTION**

- ROOF VENT
- PRE-INSULATED ROOF
- WOOD SHAKES
- 5/8" APA EXTD SHEATHING W/ 6" VALLS, 3/4" SHAK + 6" OC PANEL EDGES AND 8" OC INTERMEDIATE
- 1/2" HELI FASNER
- 1/2" ROLLS 3/4" WIDE WATERPROOF MEMBRANE
- 1/2" EDGES

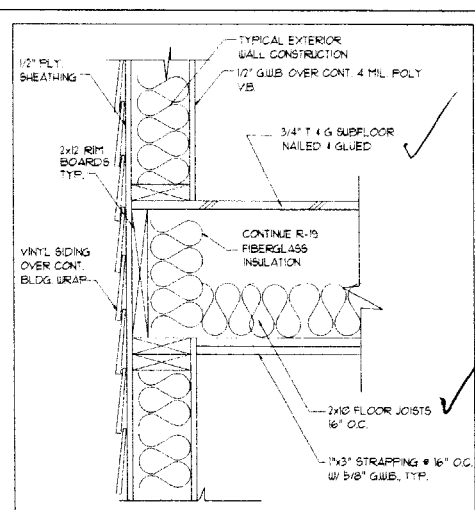


**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"

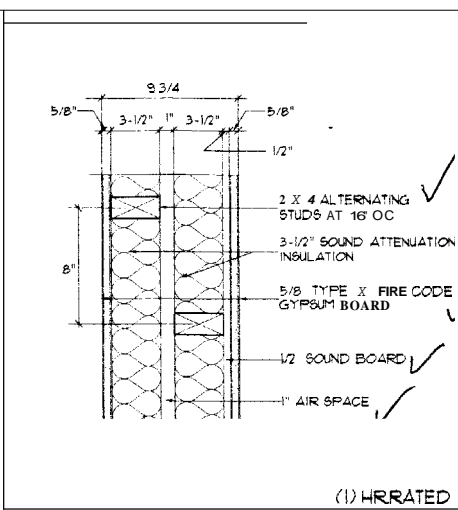
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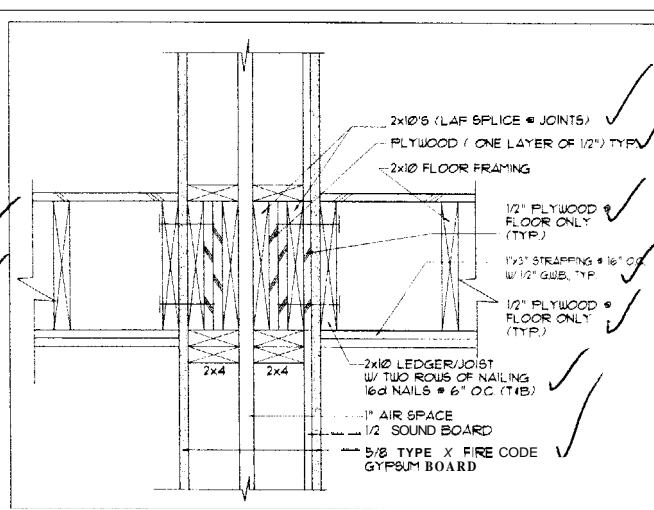
TYPICAL FOUNDATION WALL SCALE 1/4" = 1'-0"



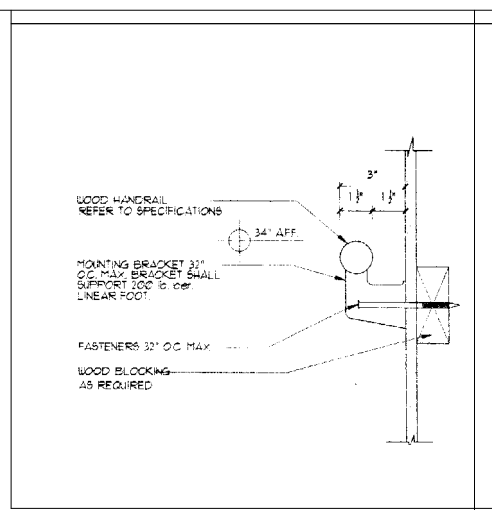
FLOOR FRAMING DETAIL 1/2" = 1'-0"



PARTY WALL DETAIL 1/2" = 1'-0"



SECTION PARTY WALL DETAIL 1/2" = 1'-0"

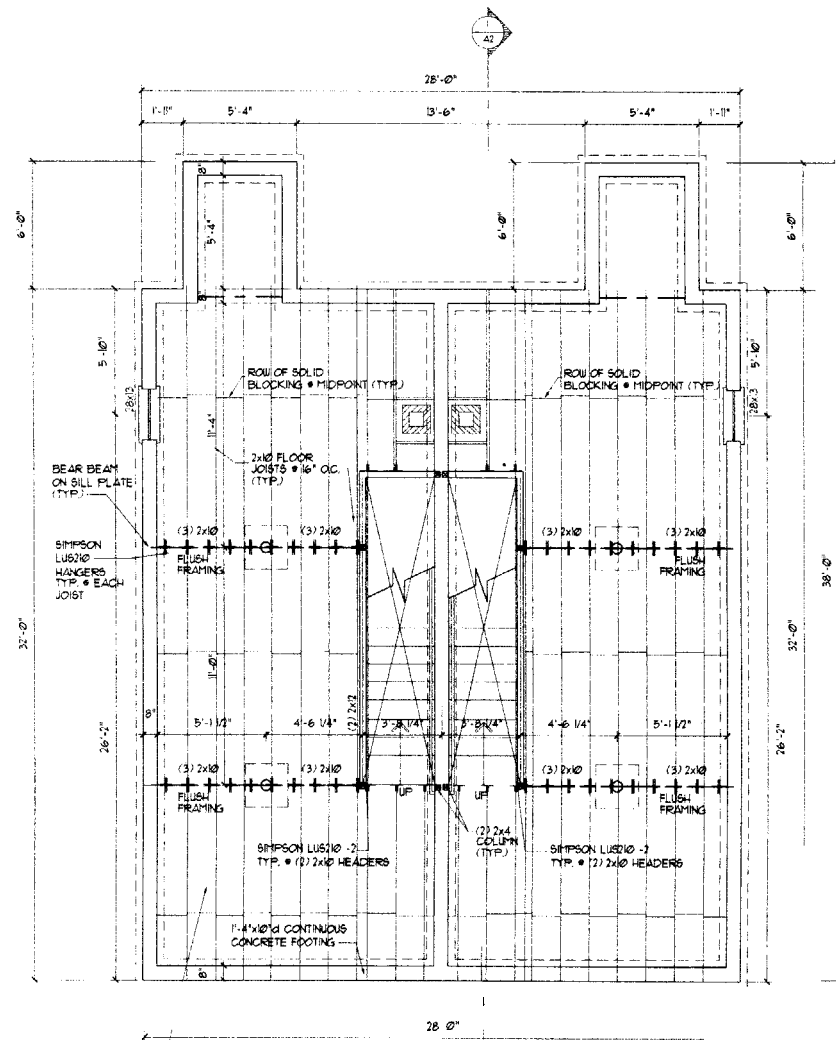


HANDRAIL DETAIL NTS

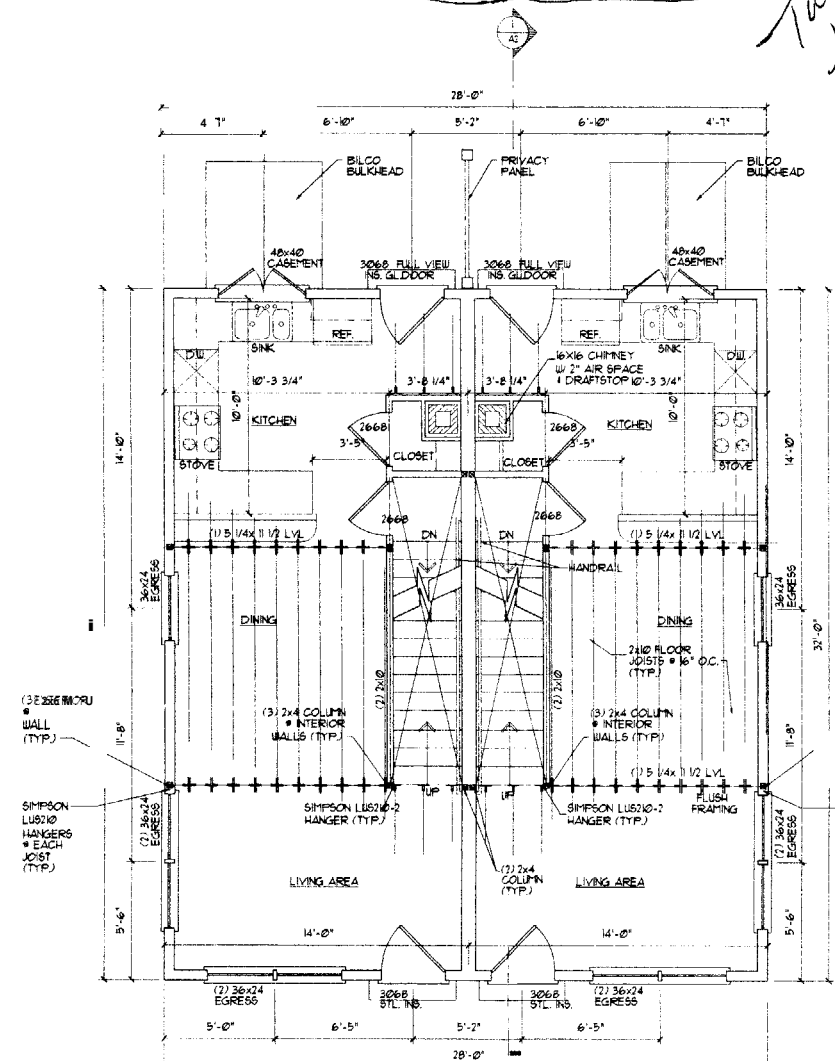
GENERAL NOTE FOR PARTY / SHEAR WALL  
 1. PROVIDE 2x4 BLOCKING • ALL PANEL EDGES • INTERMEDIATE. PROVIDE SCREWS • 6" O.C. • PANEL EDGES • INTERMEDIATE.  
 2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED W/ ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 1/8" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING • ALL PANEL EDGES. PROVIDE 6d NAILS • 6" O.C. • PANEL EDGES • INTERMEDIATE.  
 3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.

*Talked to builder about*

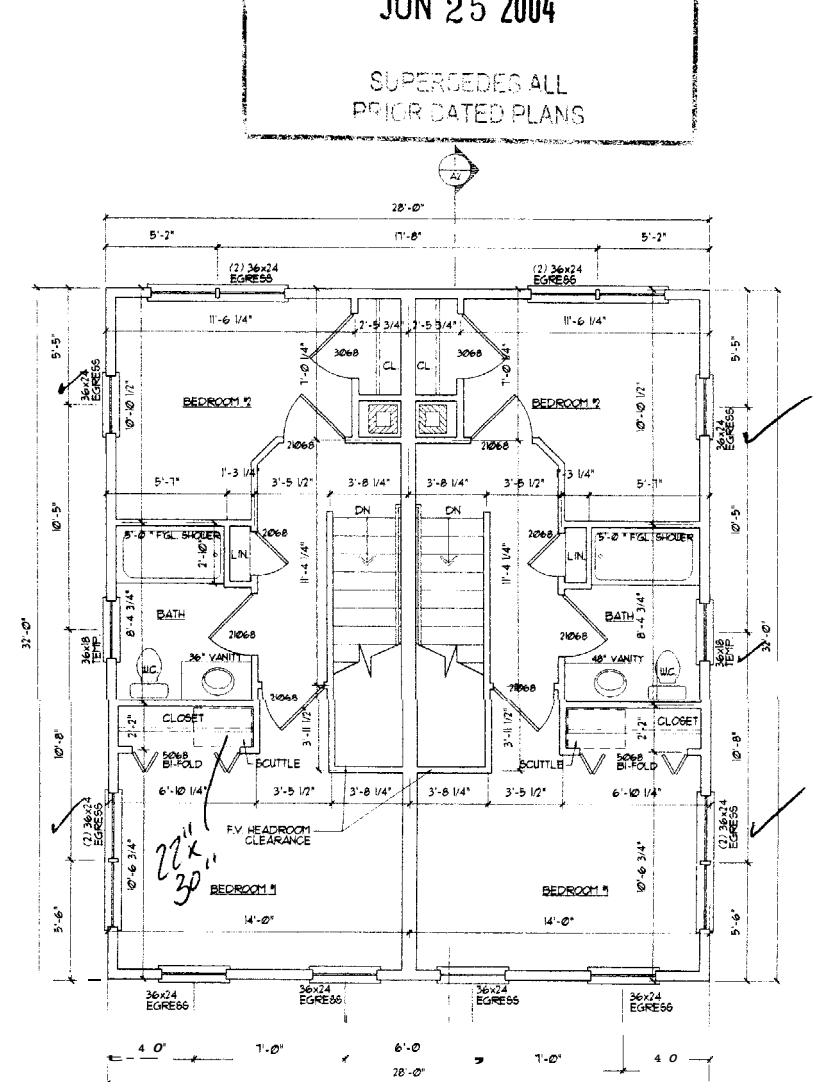
CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 JUN 25 2004  
 SUPERSEDES ALL PRIOR DATED PLANS



FOUNDATION PLAN SCALE 1/4" = 1'-0"



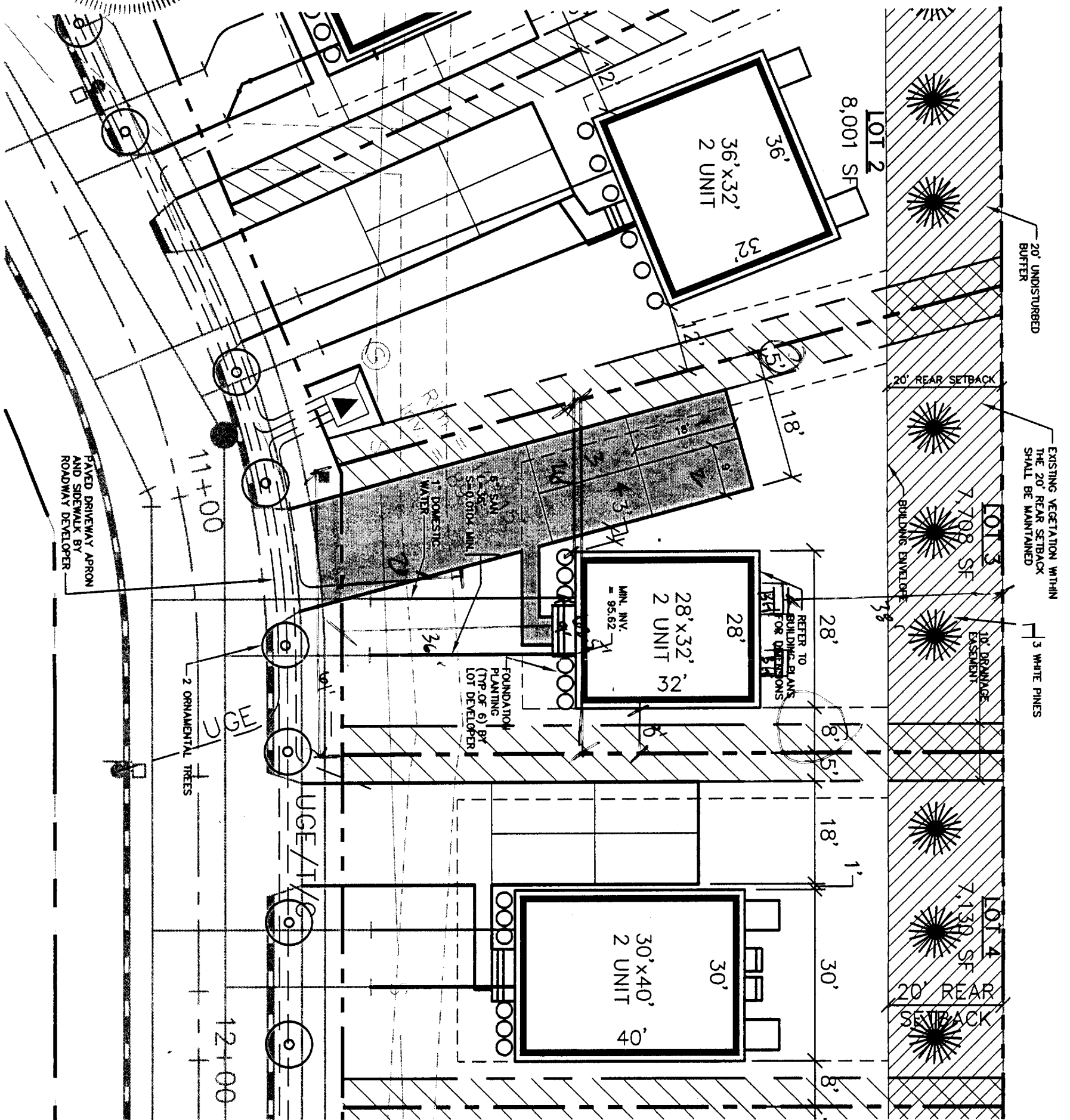
FIRST FLOOR PLAN SCALE 1/4" = 1'-0"



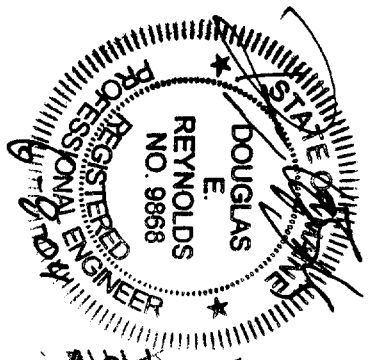
SECOND FLOOR PLAN SCALE 1/4" = 1'-0"

28 x 32 UNIT  
 FOUNDATION PLAN  
 FLOORPLANS  
 DETAILS

A1



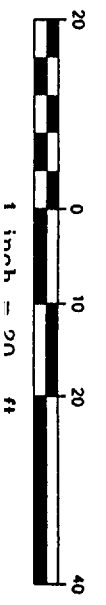
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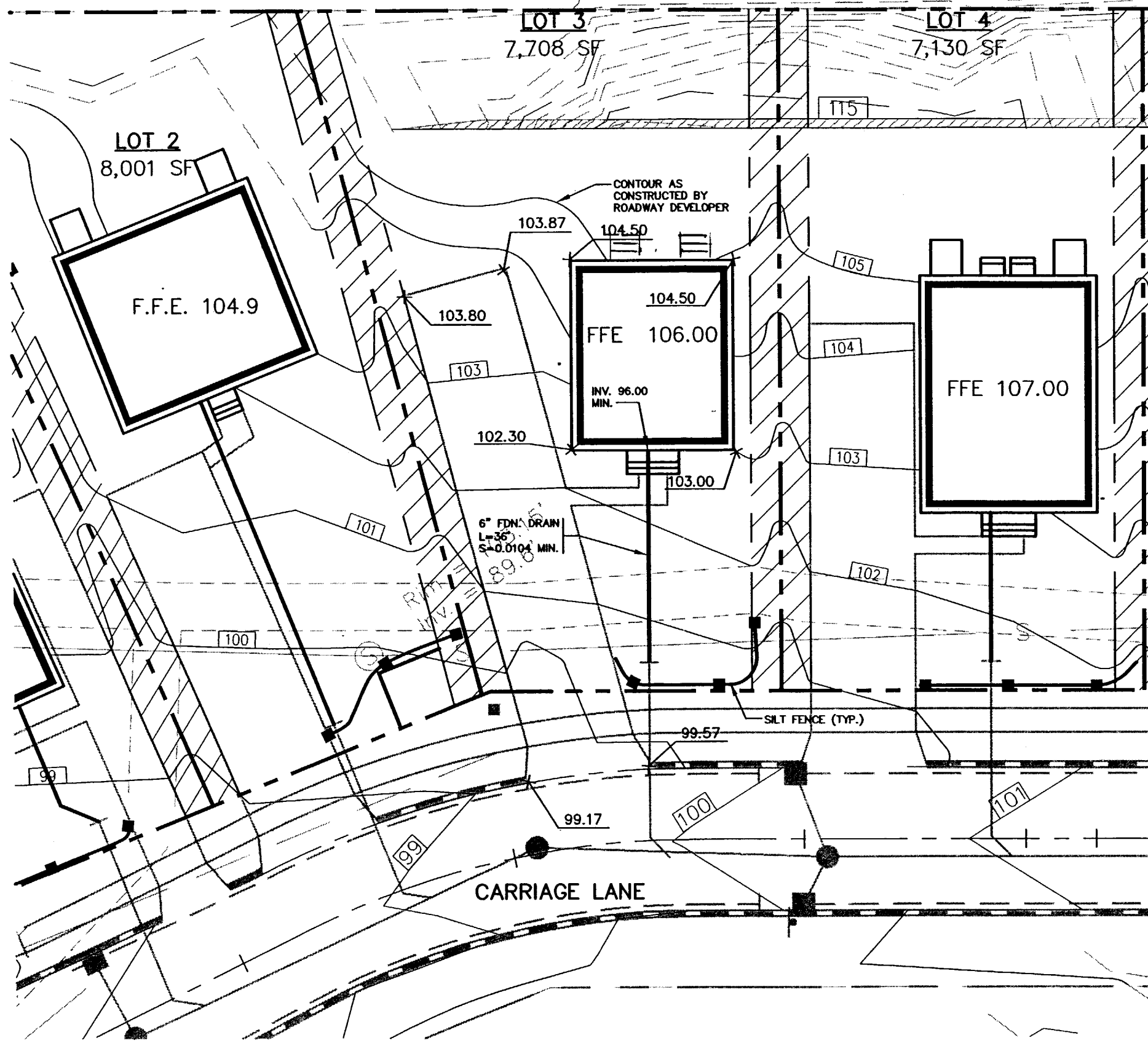
Design:	DER	Date:	4/04
Draft:	CAH	Job No.:	632
Checked:	DER	Scale:	1"=20'
File Name:	632-LOTS		

**GP** Gorill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
PO Box 1237  
15 Shaker Road  
Grey, ME 04039  
207-657-6910  
FAX: 207-657-6912

Project: **Lot 3 Lot Layout and Utility Plan**  
CARRIAGE LANE



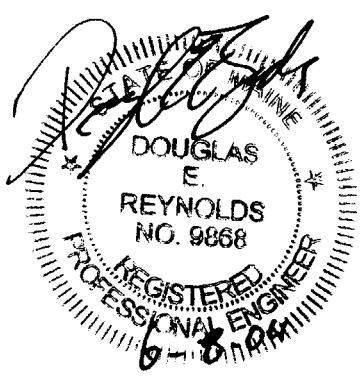
- NOTES:**
1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMITTED PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
  2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
  3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
  5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
  6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.
- CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
6-16-04



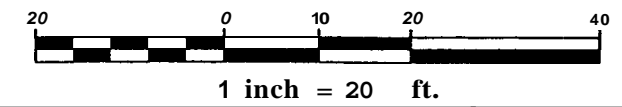
**NOTES:**

1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.

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CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Approval: 6-16-04



Rev.	Date	Revision

Checked DER Scale: 1"=20'  
 File Name: 632-LOTS

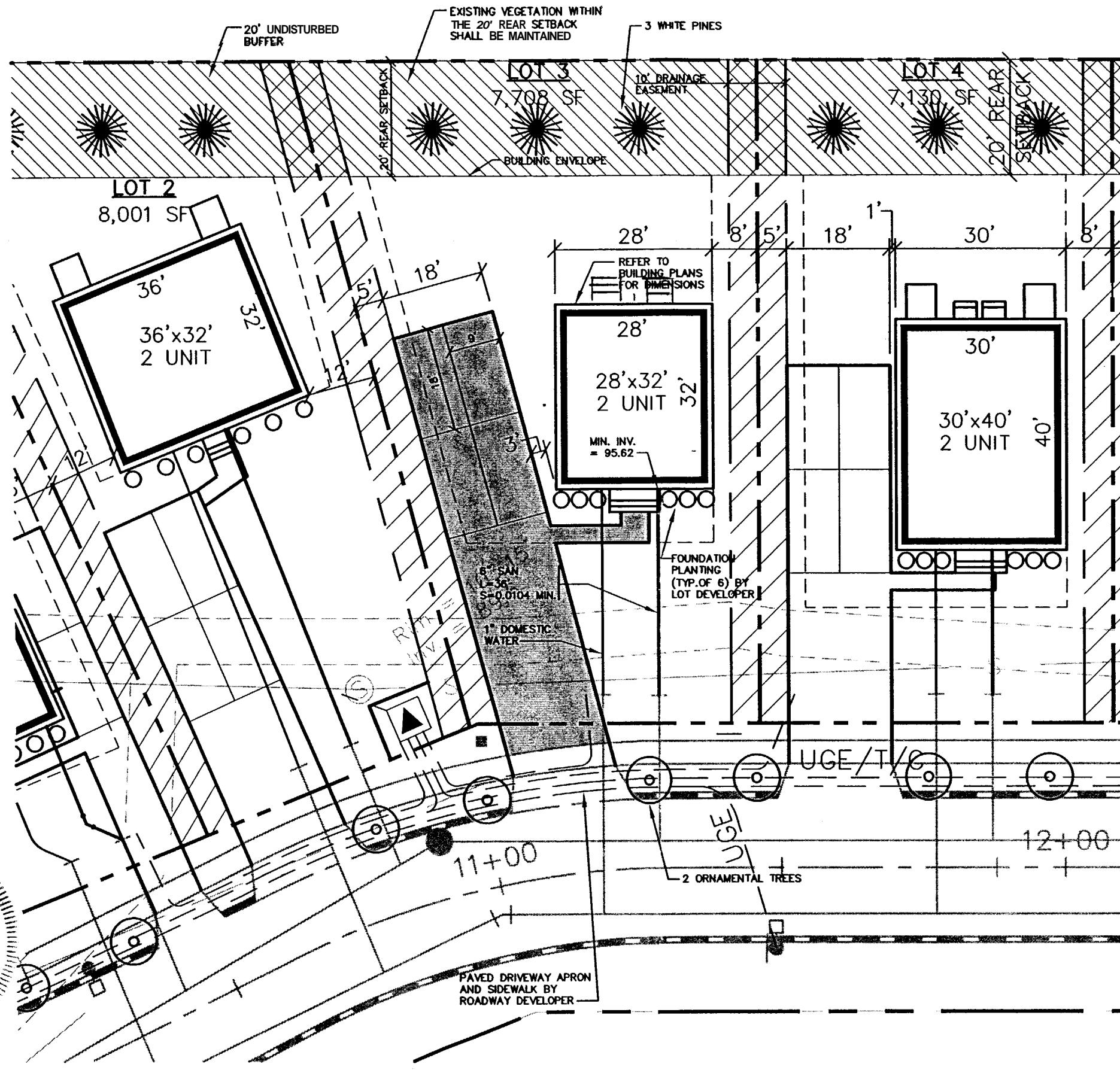
**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

PO Box 1237  
 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: modbox@gorrillpdmer.com

Drawing Name: **Lot 3 Grading Plan**

Project: **CARRIAGE LANE**

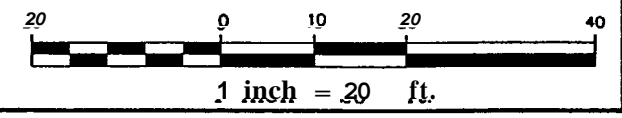
Figure No.  
**2**



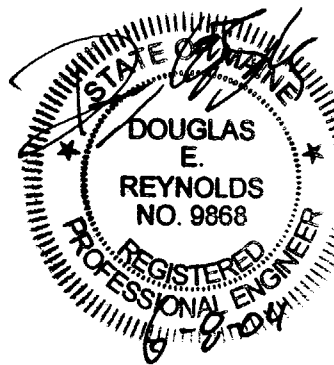
**NOTES:**

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG **SAFE** AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Date of Approval: 6-16-04



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Design	D'R	Date	4/04
Draft	CAH	Job No.	632
Checked	DER	Scale	1"=20'
File Name:	632-L01S		
Rev.	Date	Revision	

Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237  
 15 Shaker Road  
 Groy, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
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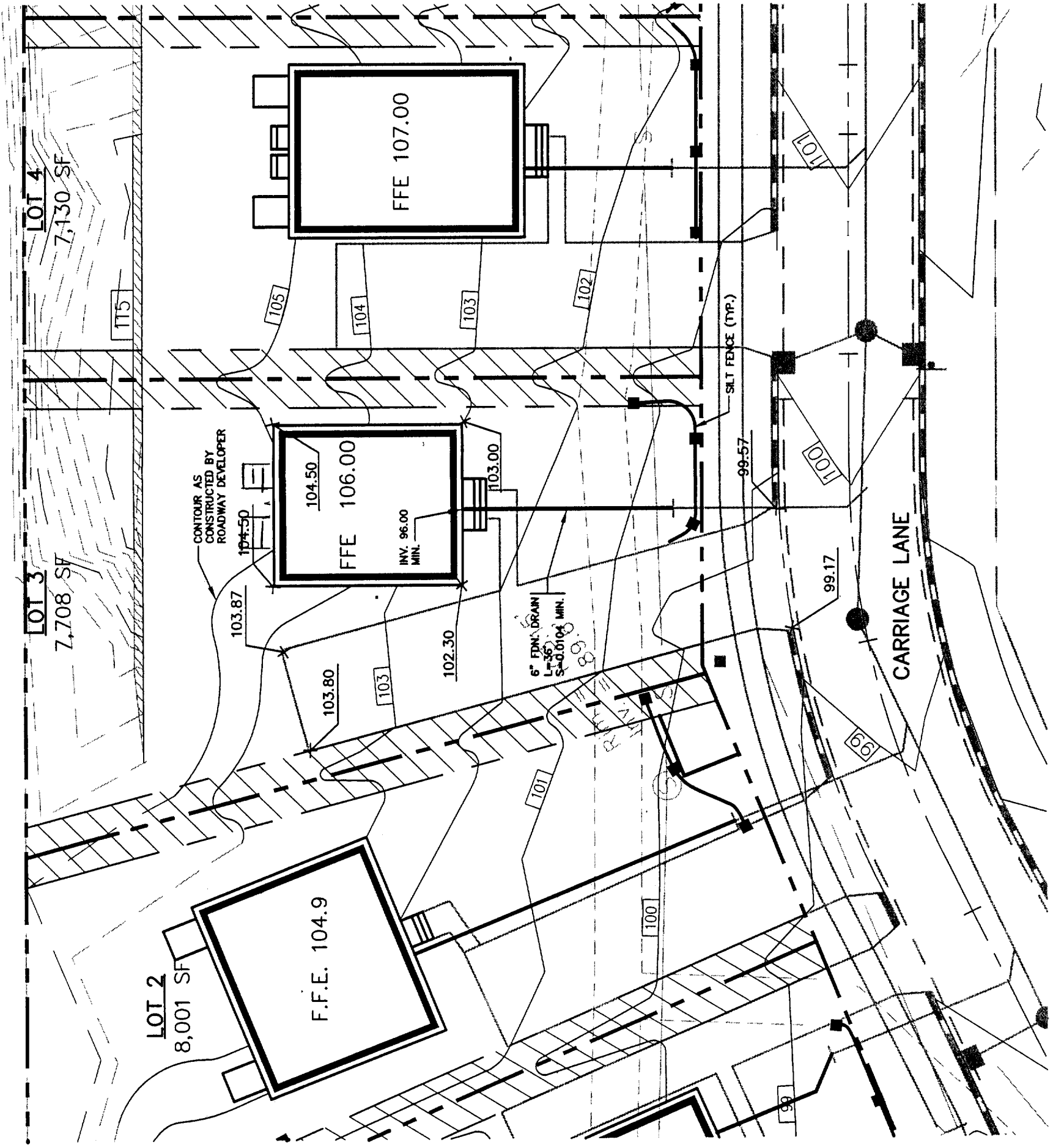
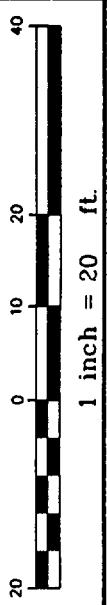
Drawing Name: **Lot 3 Lot Layout and Utility Plan**  
 Project: **CARRIAGE LANE**

Figure No. **1**

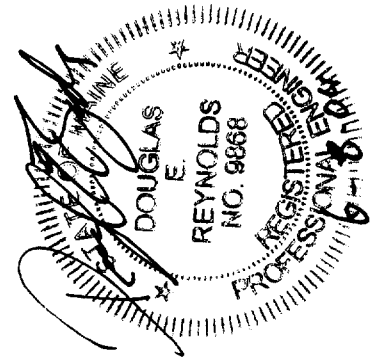
**NOTES:**

1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 6-16-04



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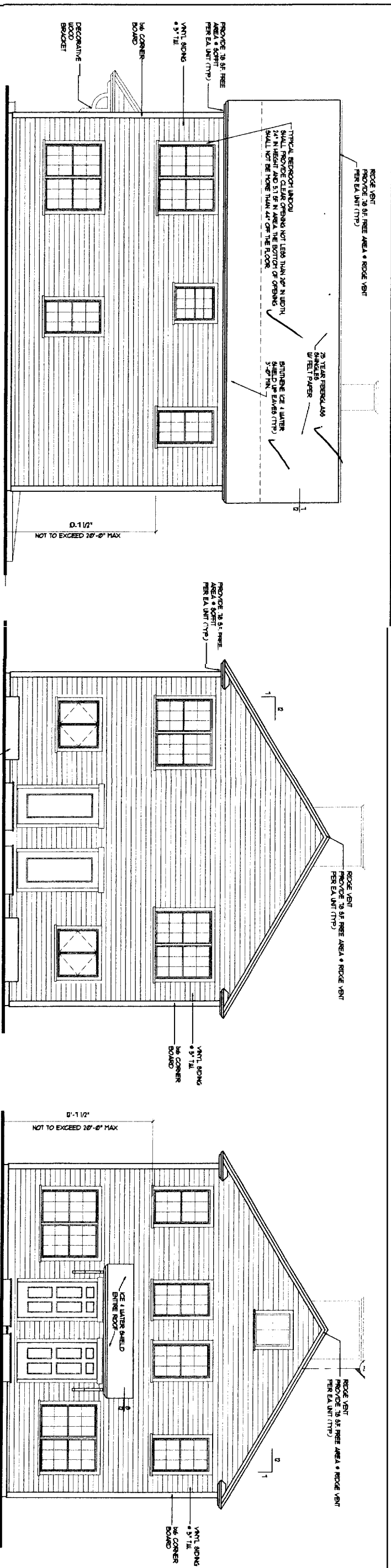


Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

Rev.	Date	Revision
-	-	-

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237  
 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: mail@gorrillpalmer.com

Drawing Name: Lot 3 Grading Plan  
 Project: CARRIAGE LANE  
 Figure No. 2



**RIGHT SIDE ELEVATION**  
(LEFT SIDE ELEVATION SIMILAR)  
SCALE: 1/4" = 1' - 0"

**REAR ELEVATION**  
SCALE: 1/4" = 1' - 0"

**FRONT ELEVATION**  
SCALE: 1/4" = 1' - 0"

**GENERAL NOTES:**

1. All work shall be in accordance with BOCA Basic Building Code, NFPA 70 National Electric Code, NFPA 70A National Fire Alarm and Signaling Code, ASHRAE 15, NFPA Codes, American with Disabilities Act 1990 (ADA) and all local, state and federal requirements.
2. All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
3. All required City and State permits shall be obtained before any construction begins.
4. It is the contractor's sole responsibility to determine erosion procedures and measures to ensure the safety of the building and its components during erection. The inclusion of necessary storm, retaining, temporary bracing, gage or tie-down, such material shall remain the property of the contractor after completion of the project.
5. Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, state and federal standards.
6. All fire ratings indicated shall be continuous to underside of the rated ceiling or underside of roof deck, shall all openings & mechanical penetrations with approved fire rating material.
7. Building shall be completed in accordance with NFPA-101, Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
8. Building shall have approved smoke detector in accordance with NFPA-72 Life Safety Code. Smoke detector shall include alarm that is audible in the sleeping rooms of each unit.
9. Provide the antiquities shall be provided in all hazardous areas in accordance to NFPA-404, Local authority having jurisdiction needs to provide entire requirements.
10. Balconies shall maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second safety of egress.
11. HVAC installation to be in accordance with ASHRAE, NFPA-90A, 90B, 90A-100 and all local, state and State codes, ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-92, NFPA-93, NFPA-94 and NFPA-98 as applicable.

**FOUNDATION NOTES:**

1. PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE SCHEDULED SHALL BE SCHEDULED ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM 2" CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVE PRESERVATIVE TREATED WOOD TO 50% PENETRATION PER NFPA 70A.
6. ALL CONCRETE REINFORCING SHALL HAVE A STEEL TIE/ANCHOR LIGHT BROOM FINISH.
7. SET BOTTOM OF FOOTING PER 4'-0" BELOW GRADE.
8. SET ALL FOOTING ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
9. RADIANT HEAT IN SLAB.
10. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH REBAR REINFORCEMENT, PROVIDE CONTROL JOINTS @ 8' MAX SPACING (7200').
11. ALL CONCRETE SHALL BE 3000 PSI (7.5) STRENGTH AT 28 DAYS.
12. ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%.
13. ALL OTHER ADJUSTERS SHALL BE PRE-APPROVED.

**FRAMING NOTES:**

1. ALL EXTERIOR WALLS TO BE 2X6 GOOD BRND WALLS WITH 1/2" SHEATHING ON EXTERIOR SIDE AND 1/2" SHEATHING ON INTERIOR SIDE OF WALL. 6" BATT INSULATION (R-19) AND 7/8" APA RATED SHEATHING & EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS ON 16" O.C. CENTER TO CENTER WITH 1/2" SHEATHING ON EACH SIDE.
3. INTERNAL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM AND SHELVES SHOWN MOUNTED ON WALLS.
4. THE LOCATION OF ALL DOOR FINISHES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0'-3"-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 5'-0"	(3) - 2x6
5'-1" - 7'-0"	(3) - 2x8

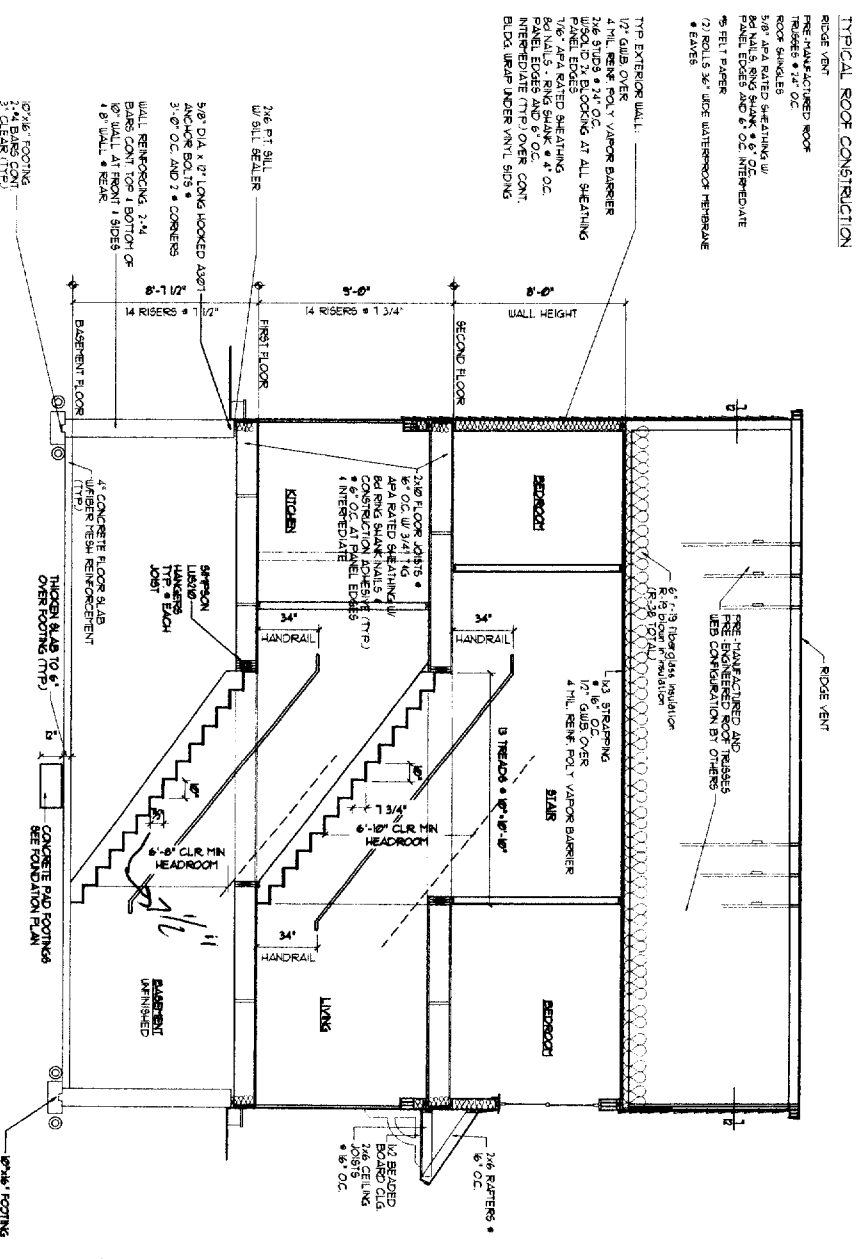
NOTE: PROVIDE LAYERS BOTH BIDS AS FOLLOWS:  
2x6 JACK PLIES 2x6 KING UP TO 1'-6" ROUGH OPENING  
(2) 2x6 JACK PLIES (2) 2x6 KING UP TO 7'-0" ROUGH OPENING

**TYPICAL ROOF CONSTRUCTION**

- RIDGE VENT
- PRE-FABRICATED ROOF
- ROOFER'S 2" OC
- 5/8" APA RATED SHEATHING w/ PANEL EDGES AND 6" OC INTERMEDIATE
- FELT PAPER
- (2) 1/2" 30" WIDE WATERPROOF MEMBRANE
- FLASH

- TYP. EXTERIOR WALL:**
- 1/2" GIBBS OVER V. VAPOR BARRIER
  - 2" INSULATION
  - 2" SOLE W. BLOCKING AT ALL SHEATHING PANEL EDGES
  - 5/8" DIA. 5" SINK SHANK 4" OC INTERMEDIATE (TRP) OVER CONT. BLDG WRAP UNDER VENT. SOING
  - FLASH

**SECTION THRU HOUSE**  
SCALE: 1/4" = 1' - 0"



DRAWINGS THIS SHEET

ELEVATIONS	28 x 32 UNIT
SECTION	
GENERAL NOTES	LOT 3

DATE: 05/14/24

A2