

No Arch. Cert. etc?

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

2005-0265

Application I. D. Number

DRC Copy

Jay Reynolds

Rec'd. 12-8

12/6/2005

Application Date

Carriage Lane Duplex Lot #2
Project Name/Description

D.A. Brackett

Applicant

84 Country Lane, Portland, ME 04103

Applicant's Mailing Address

Dwight Brackett

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

6-6 Carriage Ln, Portland, Maine

Address of Proposed Site

341 G022001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot

Other (specify)

1152

8001

Proposed Building square Feet or # of Units

Acreage of Site

L3 New Plans, App'd

Zoning

Check Review Required:

Site Plan (major/minor)

Subdivision # of lots

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional Use (ZBA/PB)

Zoning Variance

Other

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer

Jay Reynolds

Approved

Approved w/Conditions See Attached

Denied

Approval Date 1-3-06

Approval Expiration _____

Extension to _____

Additional Sheets Attached

Condition Compliance

Jay Reynolds signature

1-3-06 date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

_____ date

_____ amount

_____ expiration date

Inspection Fee Paid

_____ date

_____ amount

Building Permit Issue

_____ date

Performance Guarantee Reduced

_____ date

_____ remaining balance

_____ signature

Temporary Certificate of Occupancy

_____ date

Conditions (See Attached)

_____ expiration date

Final Inspection

_____ date

_____ signature

Certificate Of Occupancy

_____ date

Performance Guarantee Released

_____ date

_____ signature

Defect Guarantee Submitted

_____ submitted date

_____ amount

_____ expiration date

Defect Guarantee Released

_____ date

_____ signature



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Dwight Brackett
84 Country Lane
Portland, ME 04103

December 27, 2005

Dear Mr. Brackett:

RE: Applications for Carriage Lane Duplexes, Lots 1 and 2

Upon review of the site plans, the City's Planning Division has the following comments:

1. Lot #1:
 - a. The proposed easement shown in the front/left portion of the lot has not been finalized by the developer. An amended subdivision plat is needed for the Planning Director's signature, then it needs to be recorded at the registry of deeds. Also, a mylar and 7 paper copies of the recorded version then must be delivered to the City.
 - b. The porch/stairs and the site plan do not match.
 - c. The scaling appears to be off.
2. Lot #2:
 - a. There are a number of lines on sheet #1 that have no meaning. Please label or remove them.
 - b. The porch/stairs and the site plan do not match.
 - c. The scaling appears to be off.

Please submit 4 copies of (each lot) revised plans to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

D.A. BRACKETT & CO., INC.
84 Country Lane
Portland, ME 04103
(207) 772-8629

December 6, 2005

City of Portland
City Planning / Building Permits
Congress St.
Portland, ME 04101

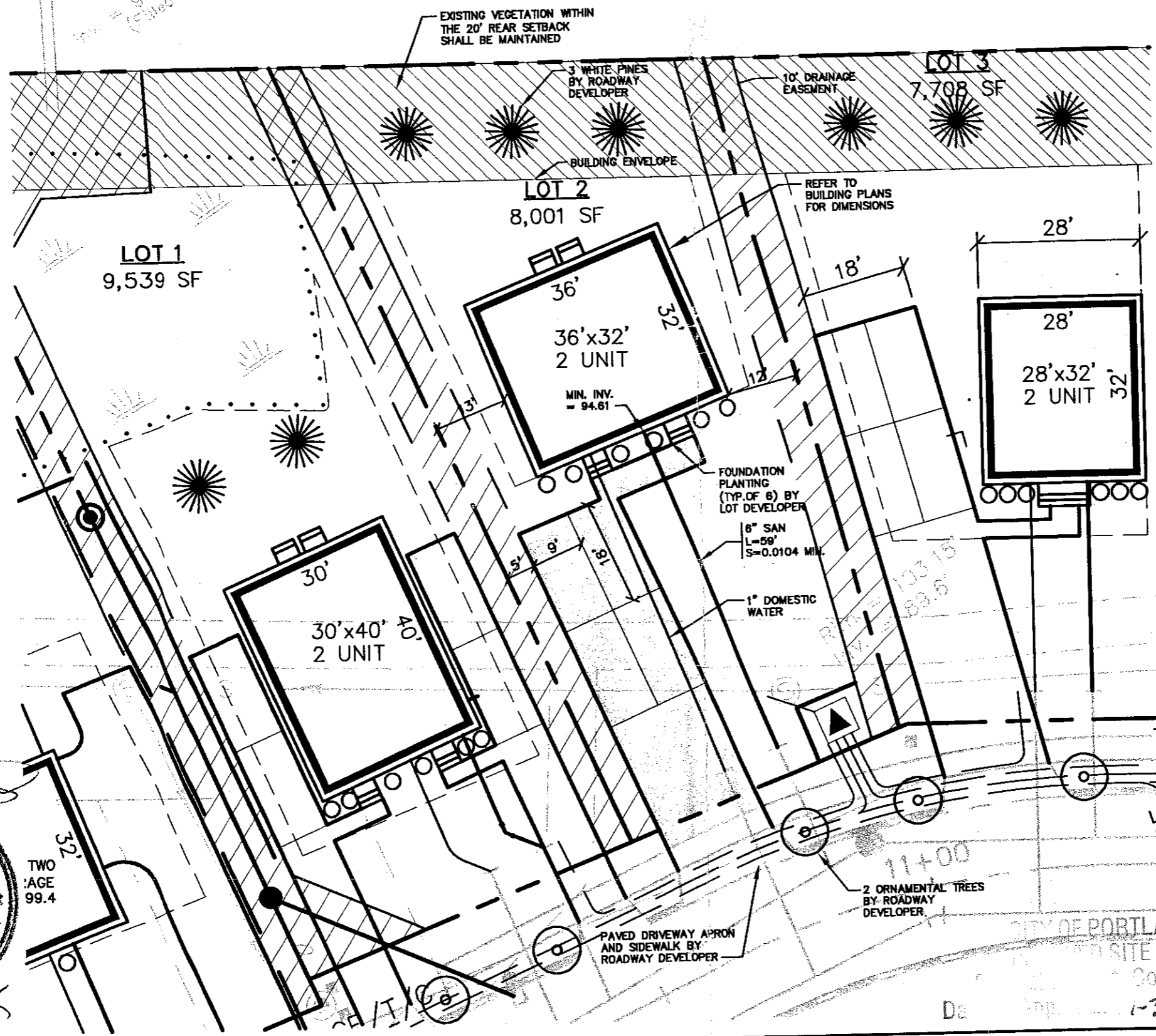
To Whom It May Concern:

D.A. Brackett & Co., Inc. proposes to build one (1) 36' x 32' duplex building, on lot #2, Carriage Lane, Portland, ME. This building contains Two (2) individual apartments. Each apartment contains two (2) bedrooms.

This request for a permit is being submitted for your approval, for one (1) building, 36' x 32', on Carriage Lane in Portland, ME, containing two (2) apartments.

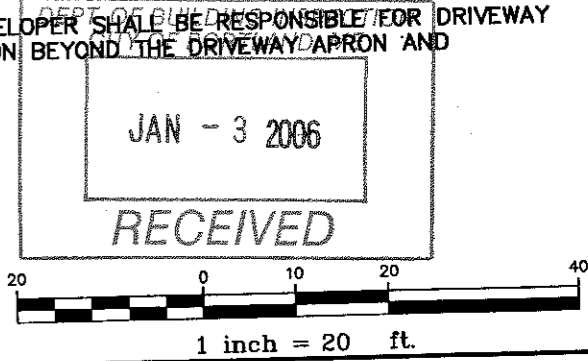
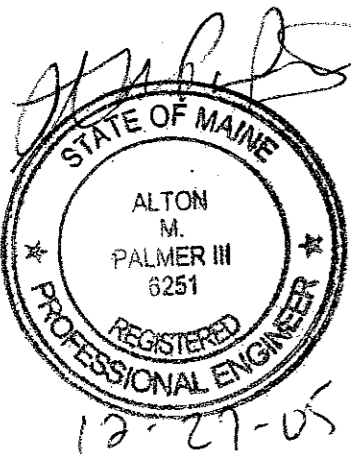
Sincerely,

Dwight A. Brackett
President/Owner



NOTES:

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
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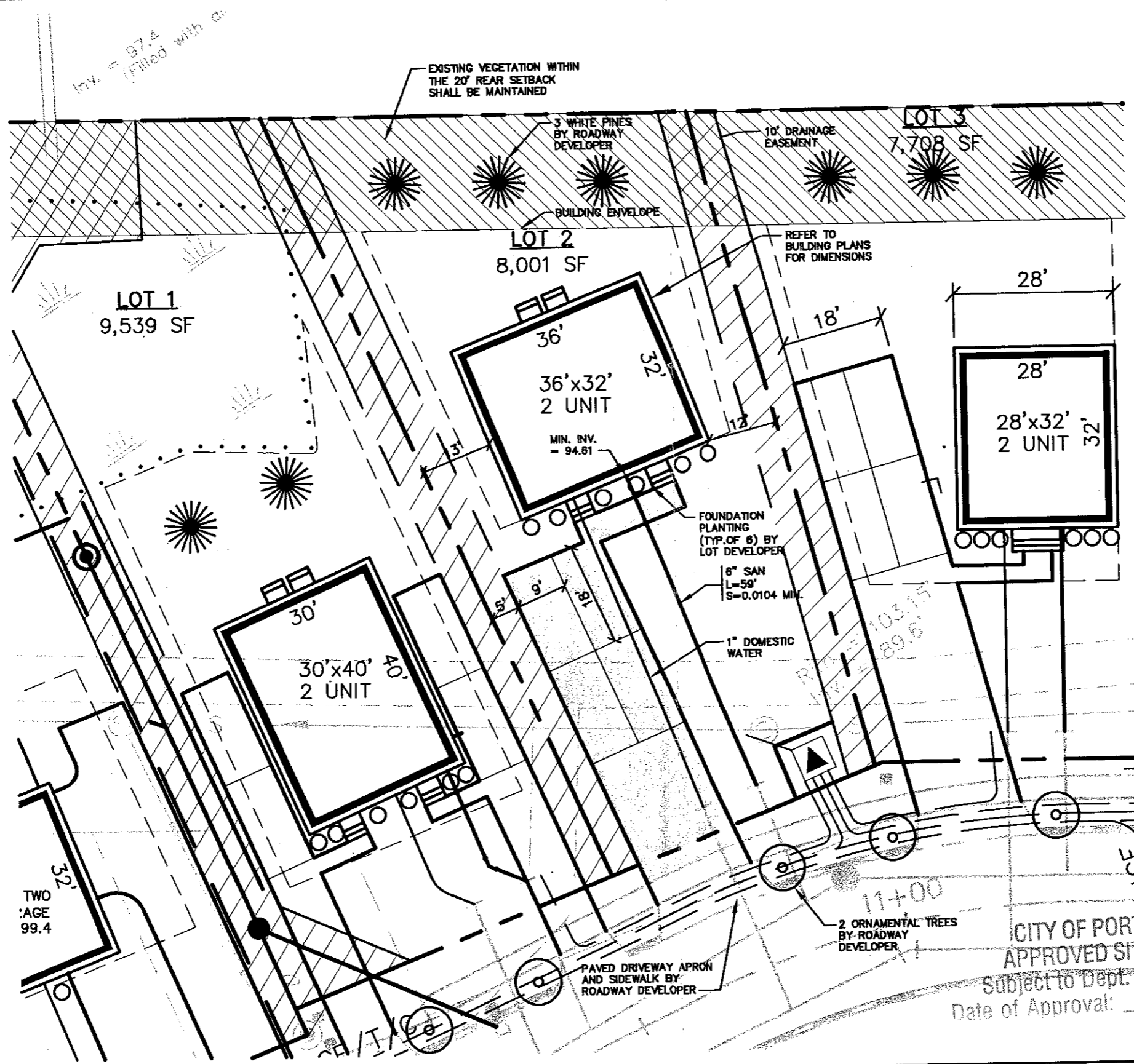
Rev.	Date	Revision

Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 2 Lot Layout and Utility Plan**
 Project: **CARRIAGE LANE**

Figure No. **1**



NOTES:

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[Signature]
 DOUGLAS E. REYNOLDS
 NO. 9030
 REGISTERED PROFESSIONAL ENGINEER
 12-19-05

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 1-3-06

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

JAN - 3 2006



Rev.	Date	Revision

Design:	DER	Date:	4/04
Draft:	CAH	Job No.:	632
Checked:	DER	Scale:	1"=20'
File Name: 632-LOTS			

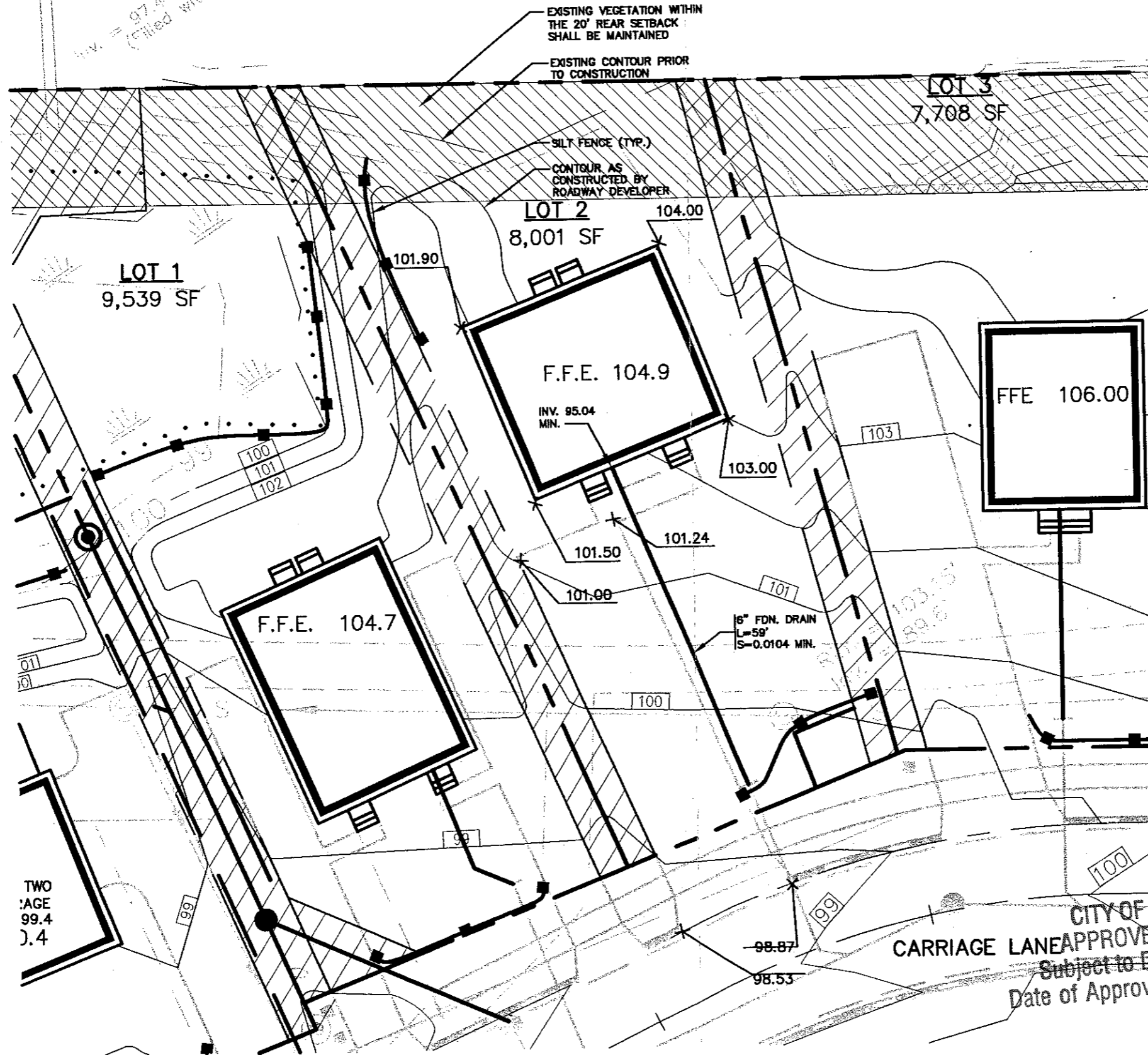
GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Lot 2 Lot Layout and Utility Plan**

Project: **CARRIAGE LANE**

Figure No. **1**

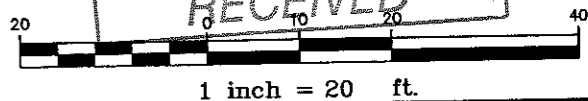


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DOUGLAS E. REYNOLDS
 NO. 9880
 REGISTERED PROFESSIONAL ENGINEER
 12-19-05

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JAN - 3 2006
 RECEIVED



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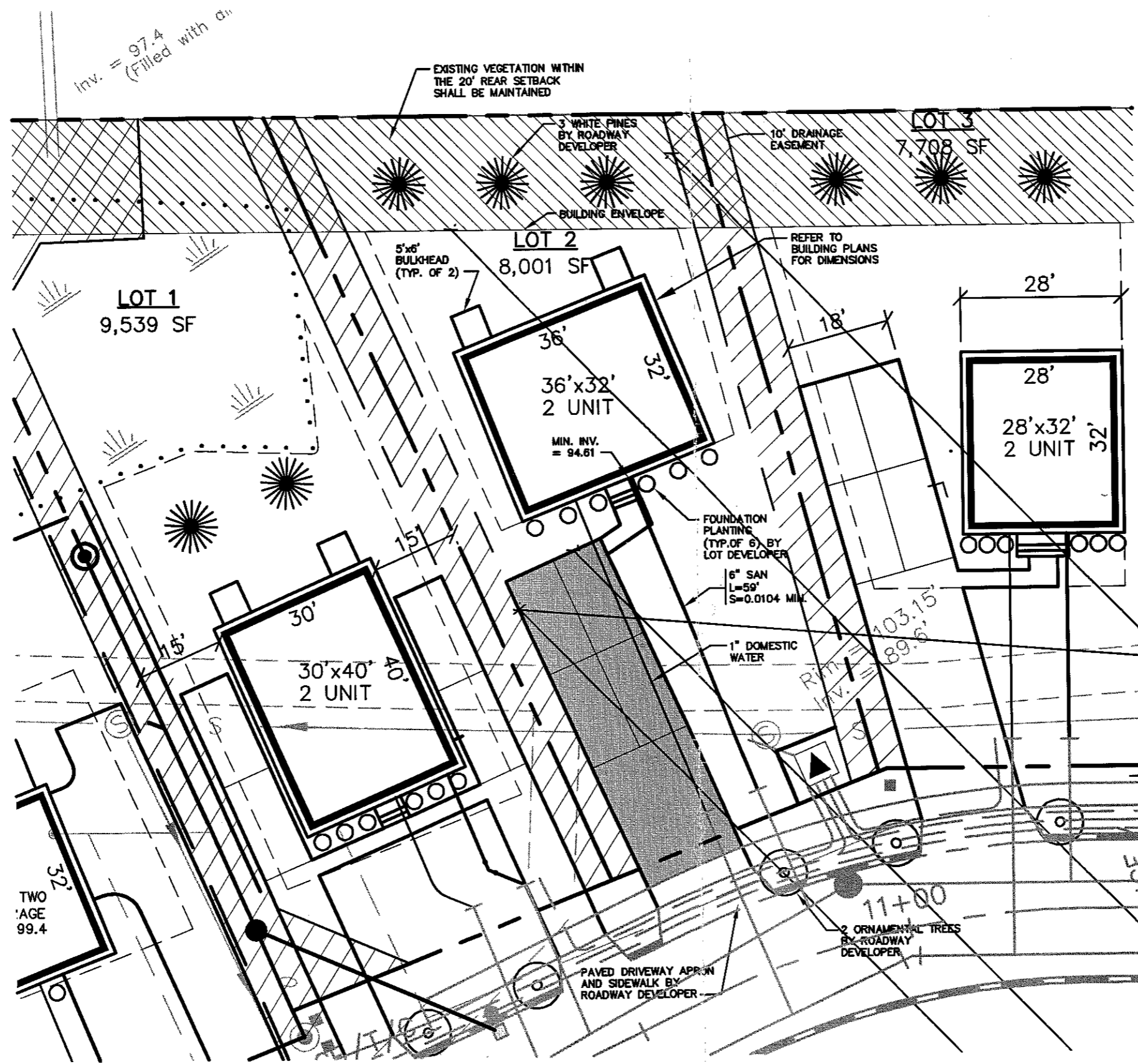
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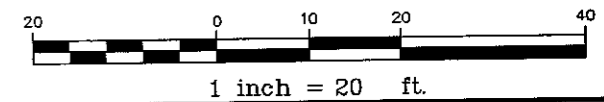
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Figure No.
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Draft: CAH	Job No.: 632
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File Name: 632-LOTS	

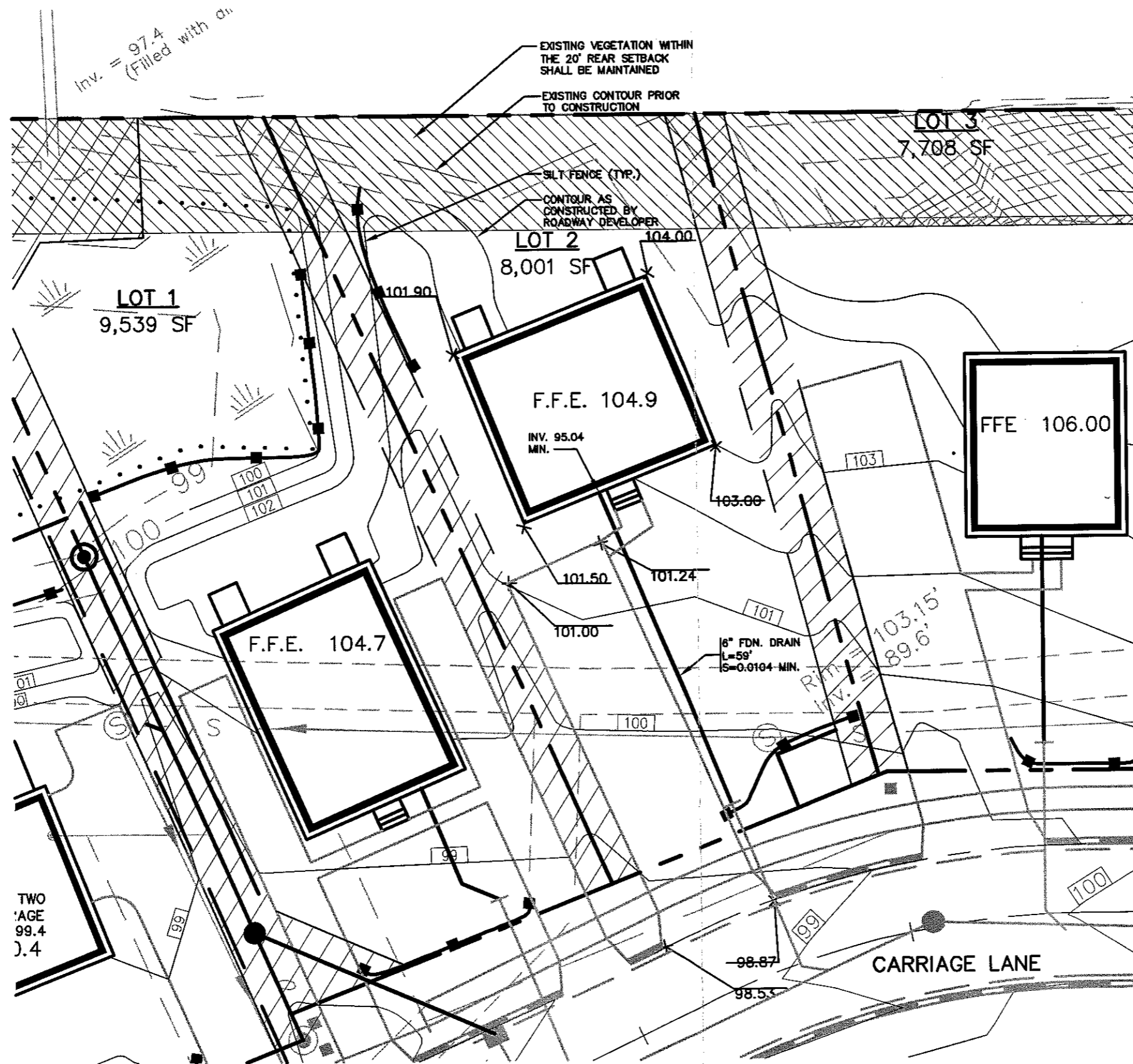
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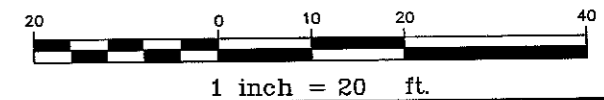
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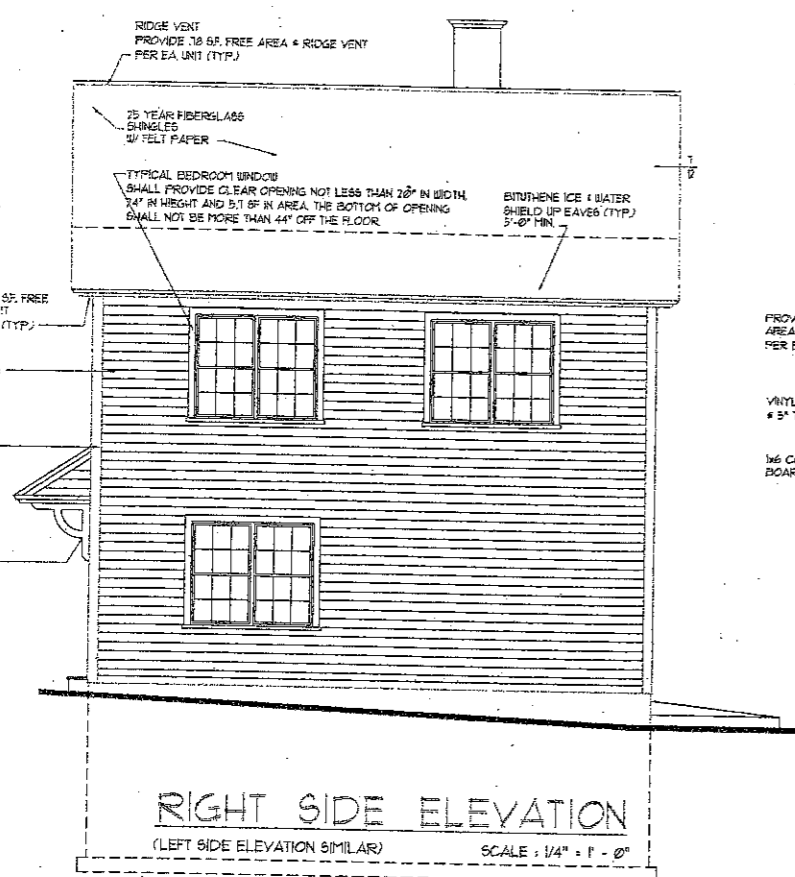
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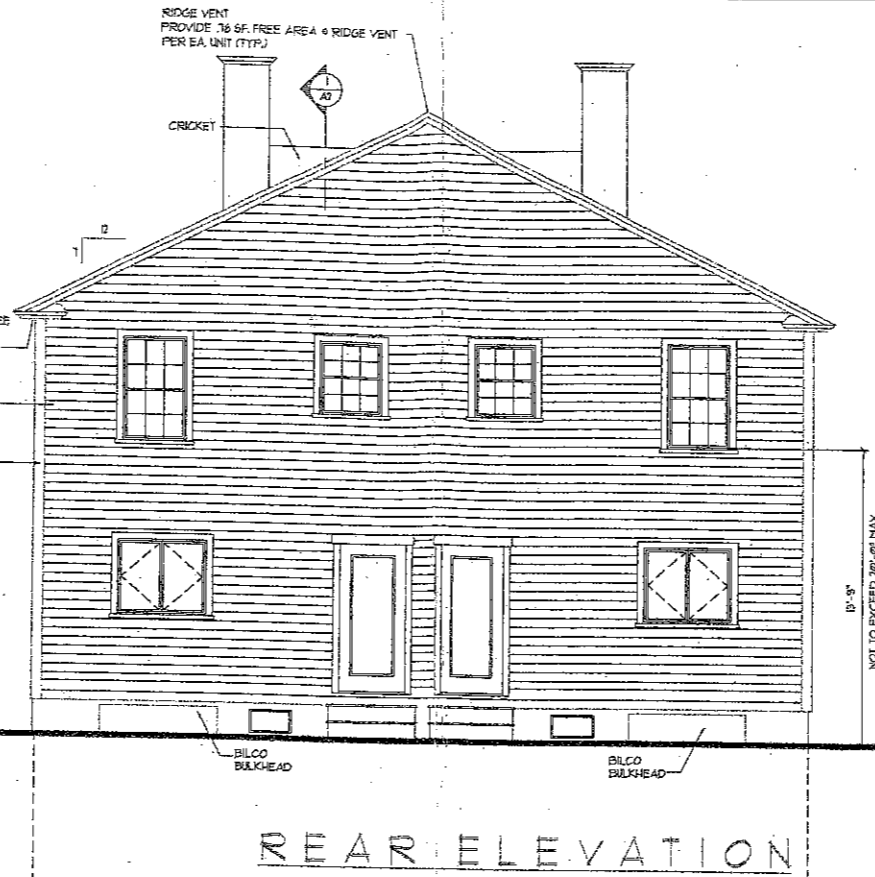
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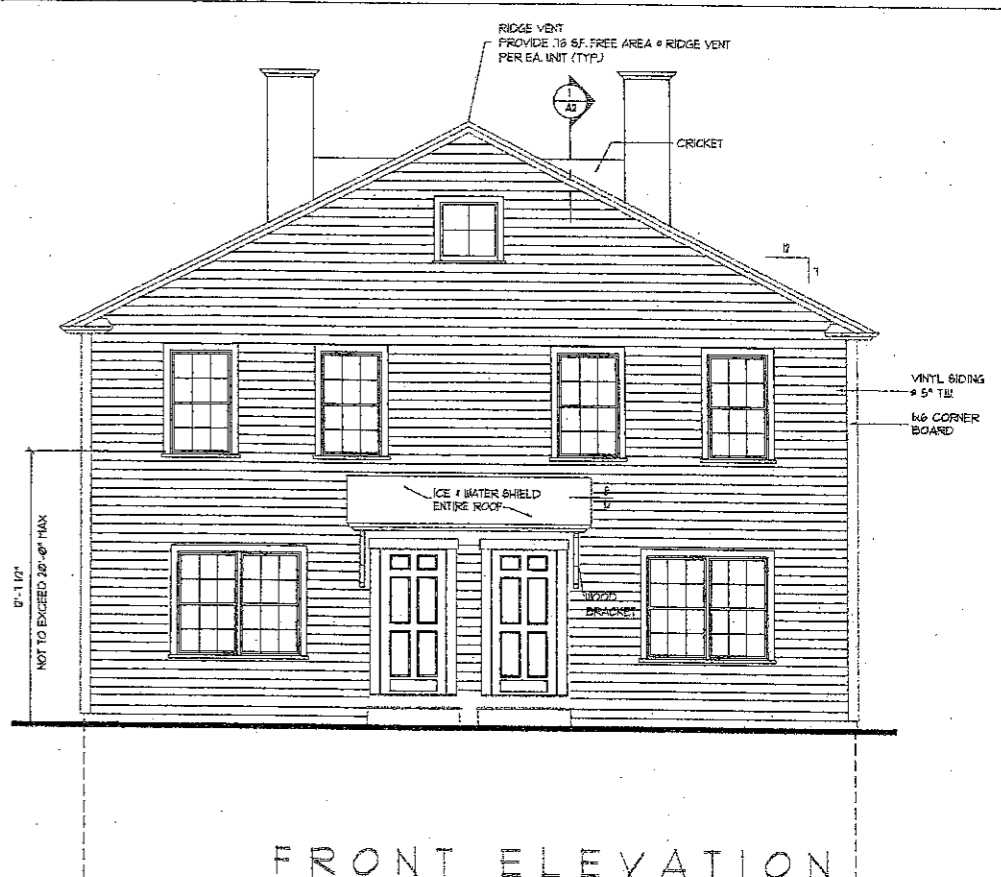
Figure No.
2



RIGHT SIDE ELEVATION
(LEFT SIDE ELEVATION SIMILAR)
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

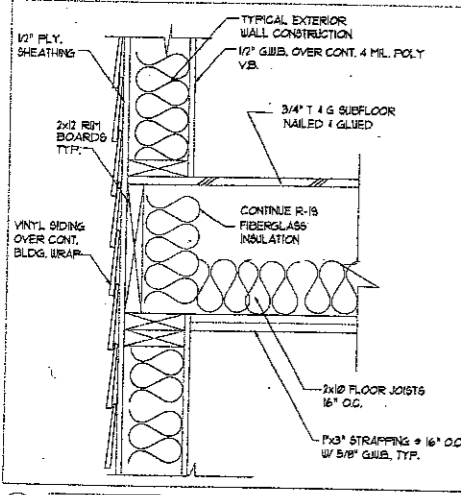
HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0' - 3' - 0"	(3) - 2x6
3' - 0" - 4' - 6"	(3) - 2x8
4' - 7" - 5' - 8"	(3) - 2x10
5' - 9" - 7' - 0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 (1) 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

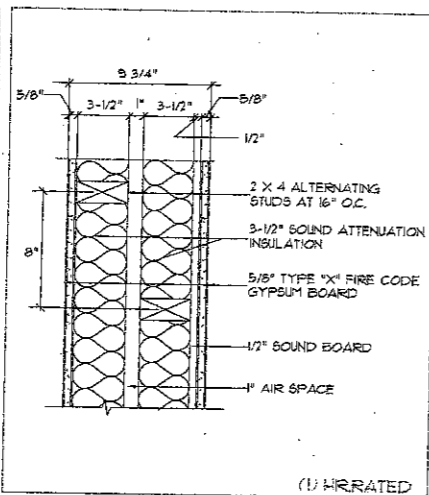
TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE
 15 FELT PAPER
 (1) ROLL 36" WIDE WATERPROOF MEMBRANE @ EAVES

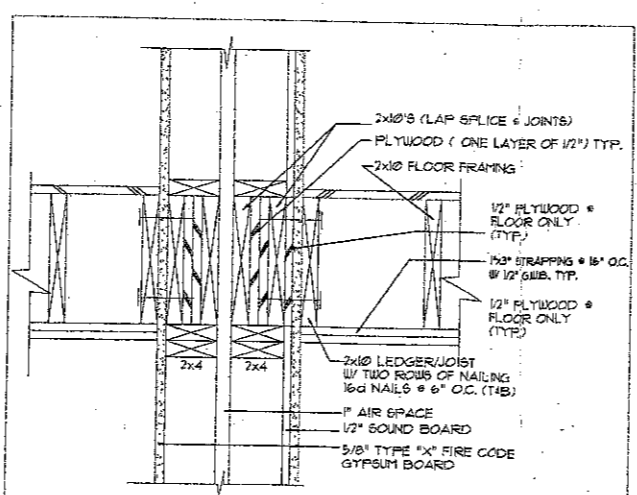
TYP. EXTERIOR WALL:
 1/2" GIBB. OVER
 4 MIL. REINF. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C.
 WOOD 2x BLOCKING AT ALL SHEATHING PANEL EDGES
 7/8" APA RATED SHEATHING
 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



FLOOR FRAMING DETAIL
SCALE: 1/2" = 1' - 0"

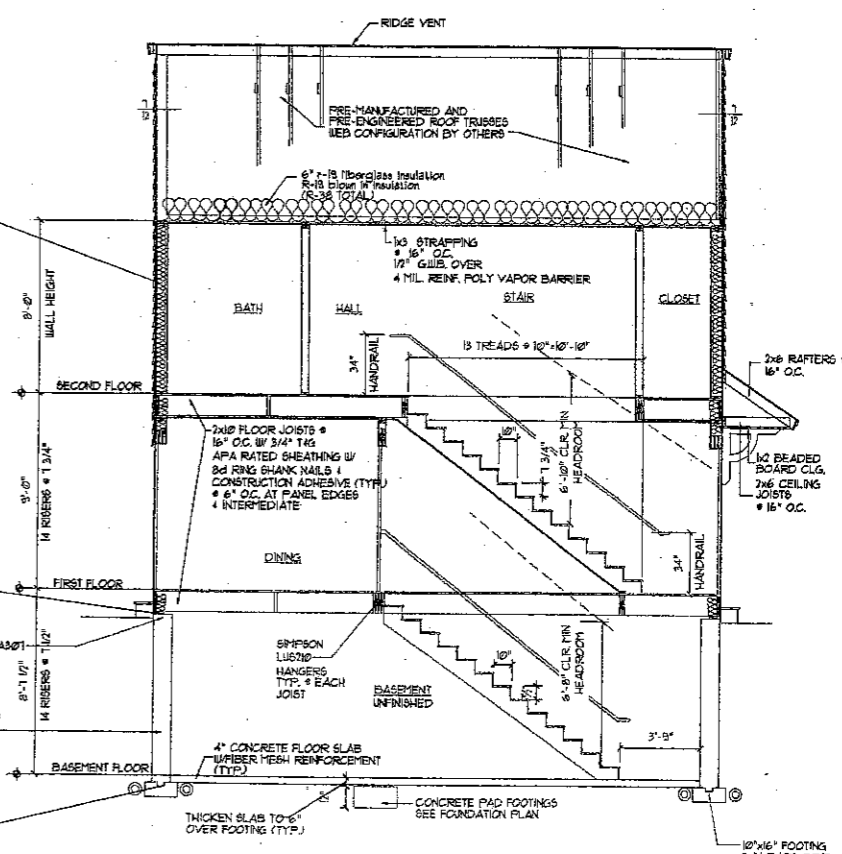


PARTY WALL DETAIL
SCALE: 1/2" = 1' - 0"



SECTION OF PARTY WALL DETAIL
SCALE: 1/2" = 1' - 0"

GENERAL NOTE FOR PARTY / SHEAR WALL:
 1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
 2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED W/ ONE OF THE 2x4 WALLS IN THE PARTY WALL. BELOW PROVIDE (1) LAYER 1/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 8d NAILS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
 3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.



SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"

36x26 UNIT
LOT 2

DRAWINGS THIS SHEET
ELEVATIONS
SECTION / DETAILS

DATE
05/11/04

A2