

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 060080

This is to certify that Sawtelle Julie A/Dan McClellan
has permission to add sunroom on existing deck and build patio deck
AT 46 Broadway City of Portland 341 B012001

provided that the person or persons performing or accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

PERMIT ISSUED

JAN 18 2006

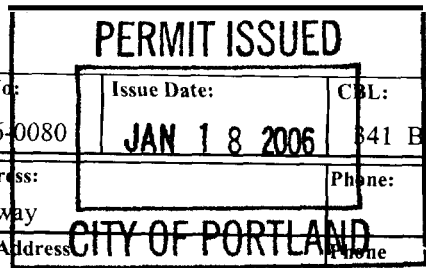
CITY OF PORTLAND

[Signature] 11/18/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8719



Permit No: 06-0080	Issue Date: JAN 18 2006	CBL: B41 E012001
-----------------------	----------------------------	---------------------

Location of Construction: 46 Broadway	Owner Name: Sawtelle Julie A	Owner Address: 46 Broadway	Phone:
Business Name:	Contractor Name: Dan McClellan	Contractor Address: Portland	Phone: 2073108159
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: 2?

Past Use: single family	Proposed Use: single family - add sunroom on existing deck and build additional deck	Permit Fee: \$282.00	Cost of Work: \$28,500.00	CEO District: 5
Proposed Project Description: add sunroom on existing deck and build additional deck		FIRE DEPT: Approved Signature: <i>IA</i>	INSPECTION: Use Group 10 B Type 5B Signature: <i>IRC 1003</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: tmm	Date Applied For: 01/18/2006	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/18/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>1/18/06</i>
--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8603 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | | |
|--|--|------------------|
| <input checked="" type="checkbox"/> Footing/Building Location Inspection: | Prior to pouring concrete | <i>Sub depth</i> |
| <input checked="" type="checkbox"/> Location Inspection: | Prior to pouring concrete | |
| <input checked="" type="checkbox"/> <i>N/A</i> Re-Bar Schedule Inspection: | Prior to pouring concrete | |
| <input checked="" type="checkbox"/> <i>N/A</i> Foundation Inspection: | Prior to placing ANY backfill | |
| <input checked="" type="checkbox"/> Framing/Rough Plumbing/Electrical: | <u>Prior to any insulating or drywalling</u> | |
| <input checked="" type="checkbox"/> Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. | |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

Date 1/18/06

Signature of Inspections Official

Date

CBL: 344-B-12

Building Permit #: 06-0080

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	341 B012001
Location	46 BROADWAY
Land Use	SINGLE FAMILY
Owner Address	SAWTELLE JULIE A 46 BROADWAY PORTLAND NE 04103
Book/Page	11048/68
Legal	341-B-12 BROADWAY 46 FOURTH ST 6175 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$45,900	\$92,170	\$138,070

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$60,300	\$120,700	\$181,000

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1965	Cape	1.5	1367	0.142	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	2		6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1970	8X8	C	A

Sales information

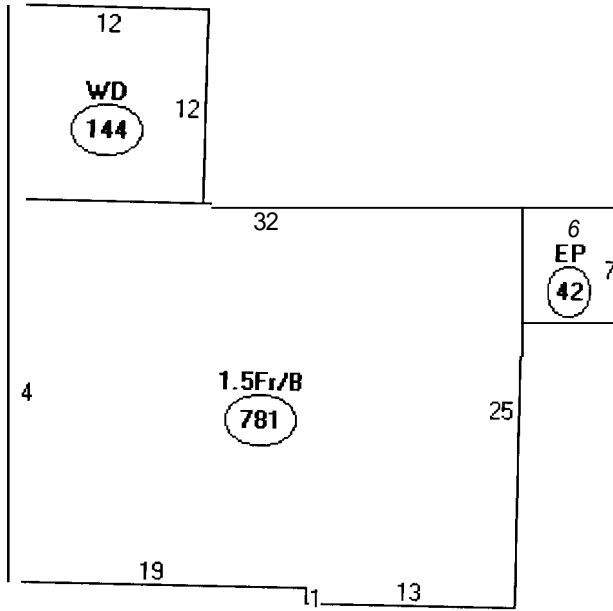
Date	Type	Price	Book/Page
10/25/1993	LAND + BLDING	\$85,000	11048-068

Picture and Sketch

Picture	Sketch	Tax Map
---------	--------	---------

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-



Descriptor/Area

A: 1.5Fr/B
781 sqft

E: WD
144 sqft

C: EP
42 sqft

*R-3
Front + Rear
25'
Side: 8'
Lot cov. 35%
OK*



General Building Permit Application

Location/Address of Construction: <u>41/1 Broadway Portland Me 04103</u>		
Total Square Footage of Proposed Structure <u>12 x 12</u>	Square Footage of Lot <u>65' x 100' 6500</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>341</u> Block# <u>B</u> Lot# <u>12</u>	Owner: <u>Julie Sawtelle</u>	Telephone: <u>(207) 878-9003</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Dan McLellan</u> <u>19 Scotland Rd 04062</u> <u>(207) 892-4990</u> <u>(207) 310-8159</u>	Cost Of Work: \$ <u>20,545.00</u> Fee: \$ <u>210</u> C of O Fee: \$ _____
Current Specific use: <u>Single Family home</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family home</u>		
Project description: <u>Add a 4 season room on existing deck.</u>		
Contractor's name, address & telephone: <u>DAN McLellan 19 Scotland Rd Windham ME 04062</u> <u>(207) 892-4990</u>		
Who should we contact when the permit is ready: <u>DAN McLellan</u>		
Mailing address: <u>19 Scotland Rd Windham Me 04062</u>	Phone: <u>(207) 892-4990</u> <u>207 310-8159</u> <u>True Craft Carpentry</u>	

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dan J McLellan</u>	Date: _____
---	-------------

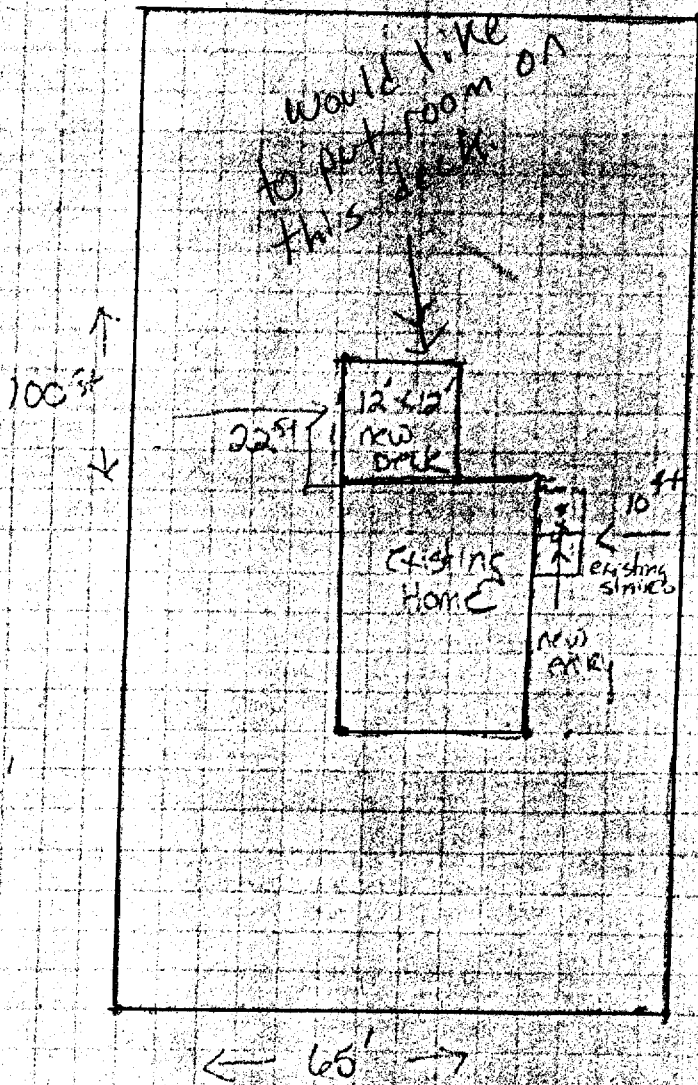
This is not a permit; you may not commence ANY work until the permit is issued.

Permit # 94-0203

Jule Snidelle
46 Broadway
Portland, ME 04103
878-9003

Lot size 65' x 100'

Construction of
Backyard deck and
Entryway



Scale

1 square = 4'

General Building Permit Application

2nd
phase
New deck

Property owner owes real estate or personal property taxes or user charges on any City, payment arrangements must be made before permits of any kind are accepted.

Type of Construction: <u>46 Broadway Portland Me 04103</u>		
Total Square Footage of Proposed Structure <u>12 x 12</u>	Square Footage of Lot <u>6500 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>341 B 12</u>	Owner: <u>Julie Sawtelle</u>	Telephone: <u>878-9003</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Daniel McLellan</u> <u>14 Scotland Rd</u> <u>Windham Me 04062</u>	cost Of Work \$ <u>2000.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Single Family</u>	<u>(207) 892-4990</u>	
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Project description: <u>Add new deck and attach to new sunroom.</u>		
Contractor's name, address & telephone: <u>DAN McLellan (207) 892-4990</u>		
Who should we contact when the permit is ready: <u>DAN McLellan</u>		
Mailing address: _____ Phone: <u>(207) 892-4990</u> <u>(207) 310-8159</u>		

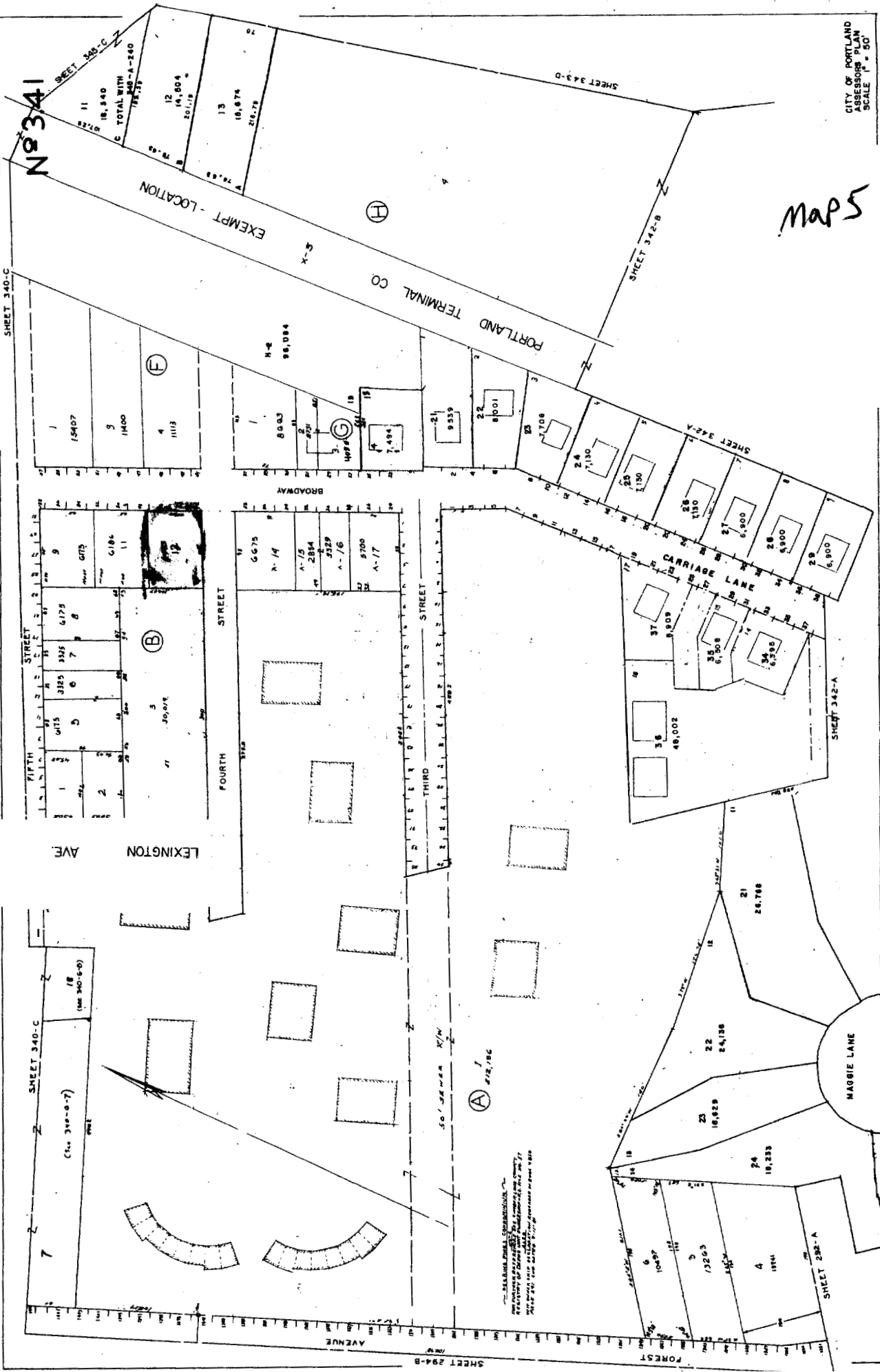
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature of applicant: <u>Daniel J McLellan</u>	Date: _____
--	-------------

This is not a permit; you may not commence ANY work until the permit is issued.



No 341

SHEET 340-C

FIFTH STREET

LEXINGTON AVE

SHEET 340-C
(See 340-0-7)
(See 340-0-8)

FOURTH STREET

BROADWAY

THIRD STREET

SO. FOREST ST/W

(A) 472,786

SEABOARD TRAIL CORPORATION
 RELAYERS OF LAND AND PLANNERS
 1914-1915
 THIS MAP WAS MADE UNDER THE PROVISIONS OF THE 1914
 ACT AND IS NOT A GUARANTEE OF THE ACCURACY OF THE DATA
 THEREON.

EXMPT - LOCATION

PORTLAND TERMINAL CO

SPW

CITY OF PORTLAND
 SEABOARD TRAIL
 SCALE 1" = 50'

SHEET 294-B FOREST AVENUE SHEET 288-A

SHEET 343-D

SHEET 342-B

SHEET 342-A

SHEET 342-A

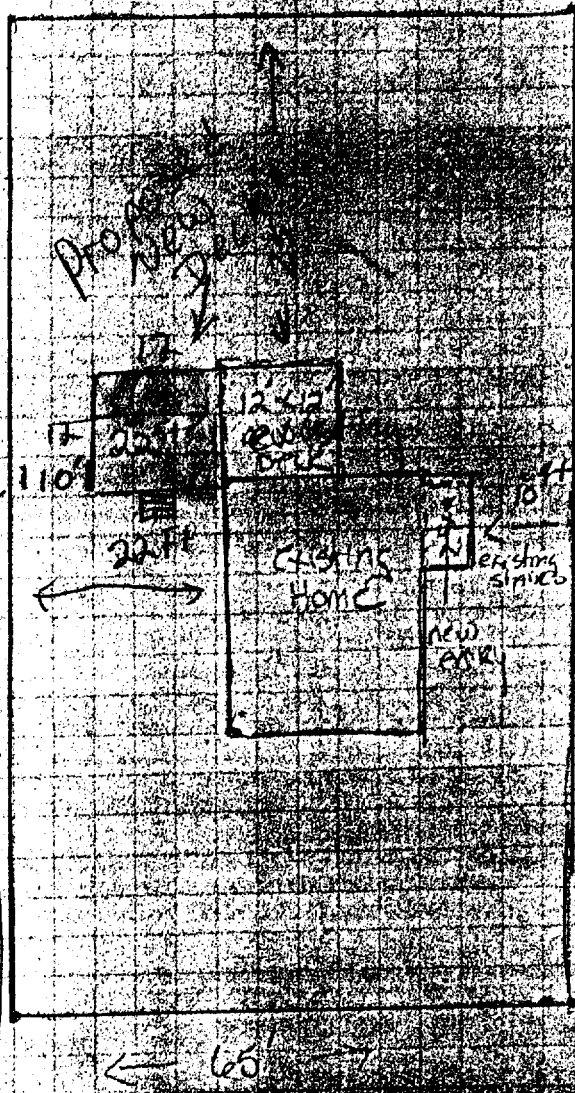
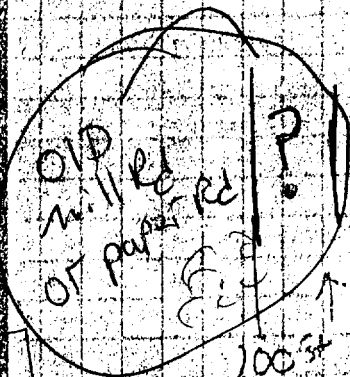
MAGGIE LANE

Permit # 94-0203

1/16/03
46 Broad
Portland, ME 04103
878-9003

Construction of
Backyard deck and
entryway

Lot size 65' x 100'

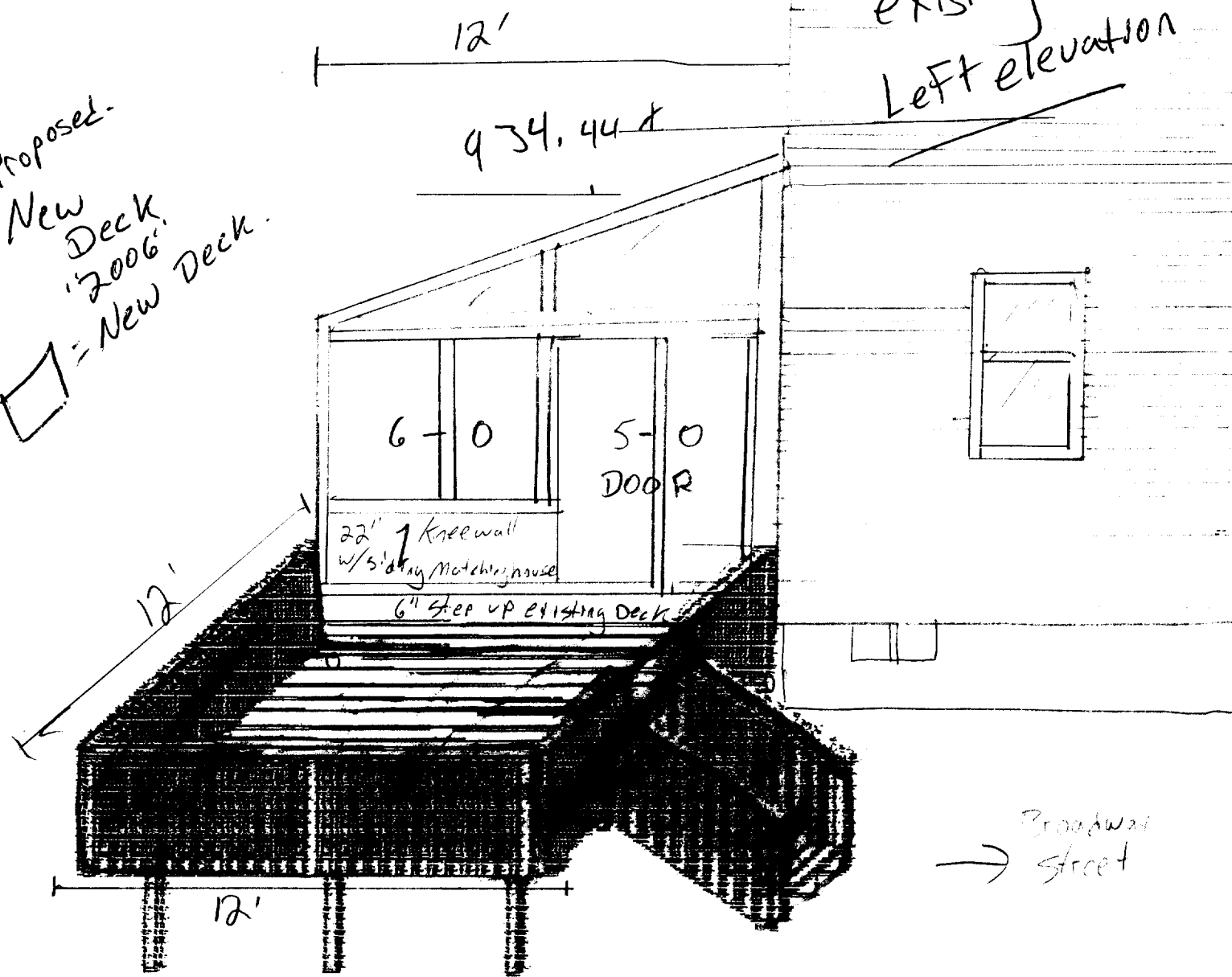


Scale

1 square = 4'

Proposed.
New Deck
'2006'
= New Deck.

existing House
Left elevation



→ Broadway Street

Railing Height = 36" + graspable handrail w/ returns.

Baluster Spacing 3 3/4"

Stairs Rise 6 1/2 w/ 10' TREAD
w/ 3/4" to 1 1/4" nosing

TRUE CRAFT Carpentry Services
Dan McLellan
19 Scotland Rd
Windham, ME 04062
Phone# (207) 3188159

Side Elevation

Sun Room

5/4 PT
PT

2 x 8 PT 1604

6" Existing

gusset

Filler.

Joint Hangers
CONCRETE

Sands

Tube w/
Footings

4' Below grade

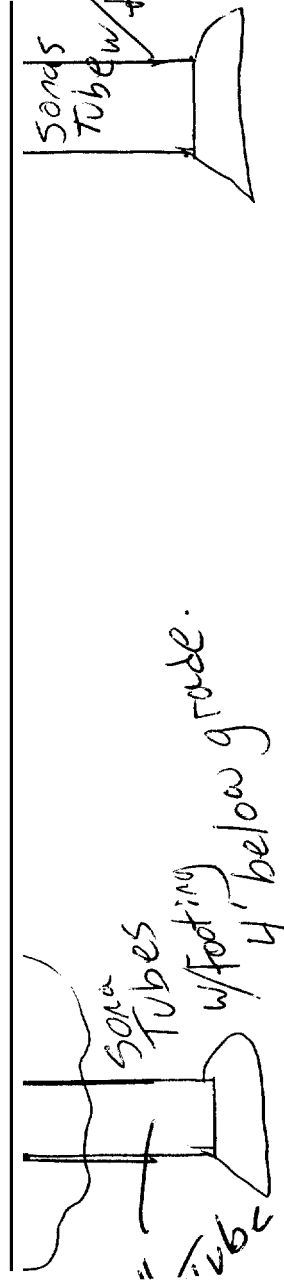
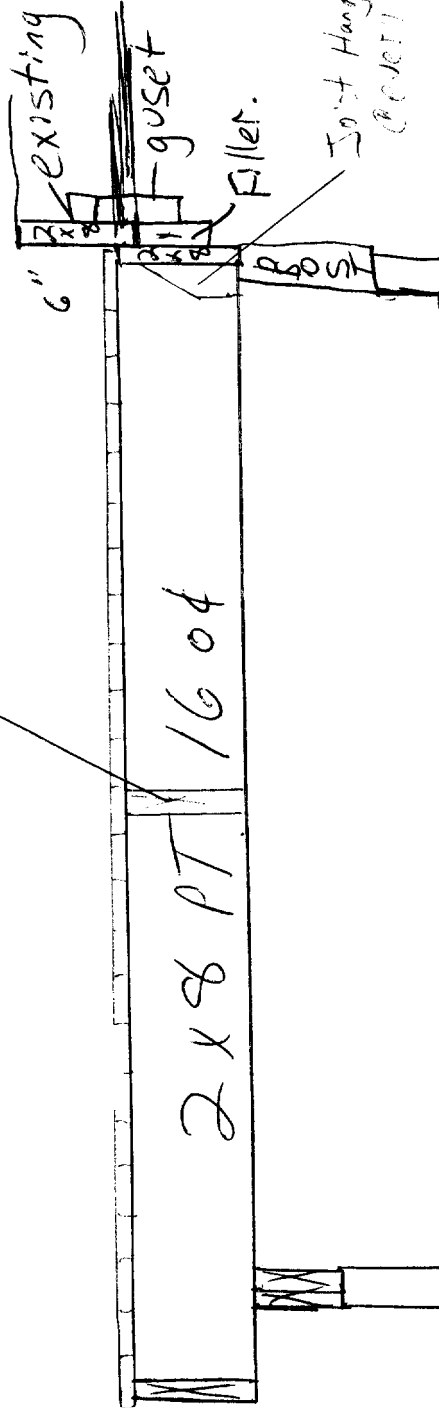
Sands
Tubes

w/footings
4' below grade.

4' below grade

FRAMING
DET

Side elevation



246 RIVERSIDE STREET, PORTLAND, ME 04103

(207) 761-0600

Mon Nov 14 11:52:58 2005

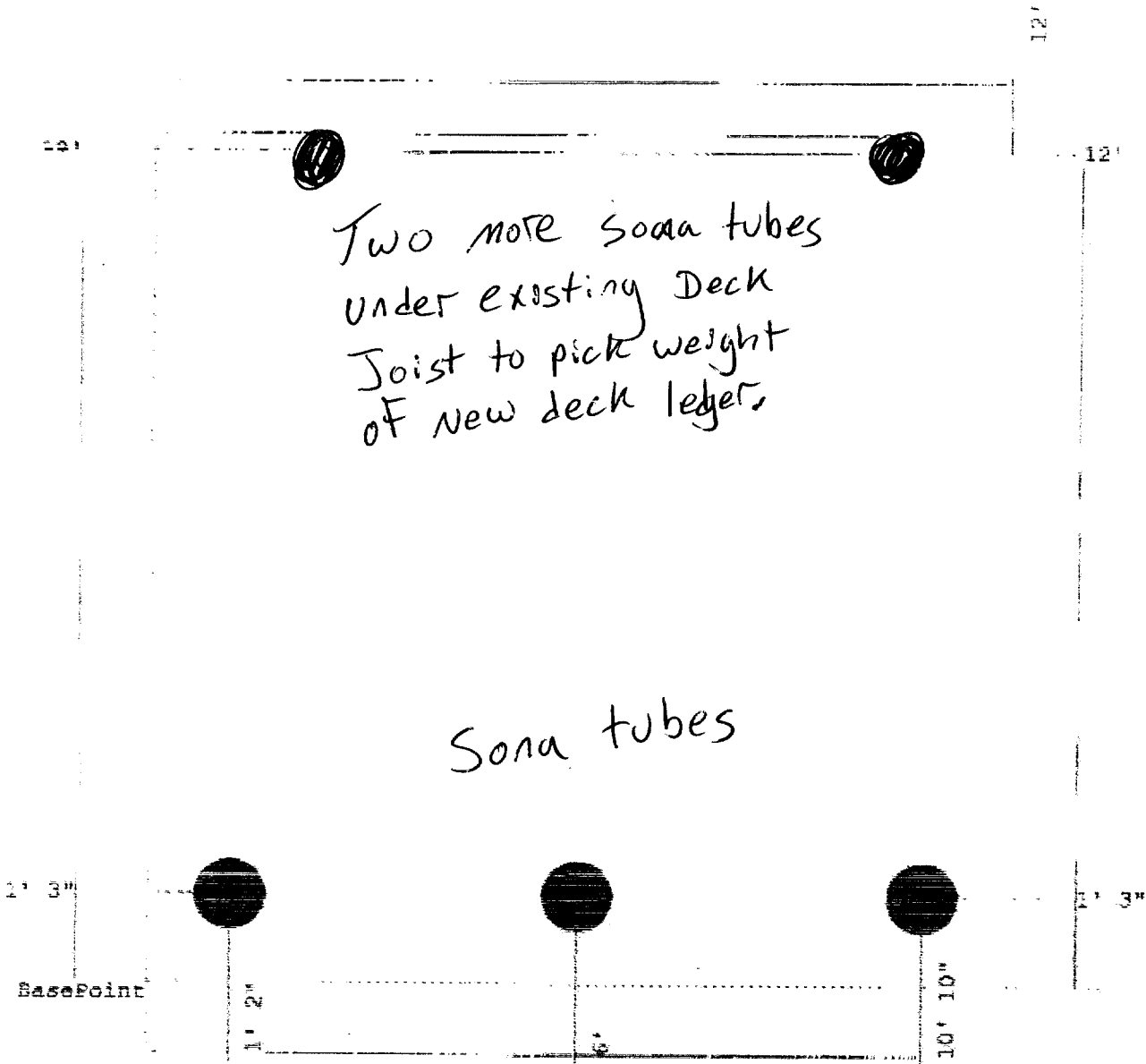
The materials for this project will cost \$954.44

JULIE SAWELLE

DECK

227865

Post Layout for Deck 1



Two more Sona tubes
 Under existing Deck
 Joist to pick weight
 of new deck ledger.

Sona tubes

245 RIVERSIDE STREET, PORTLAND, ME 04103

(207) 761-0600

Mon Nov 14 14:52:58 2005

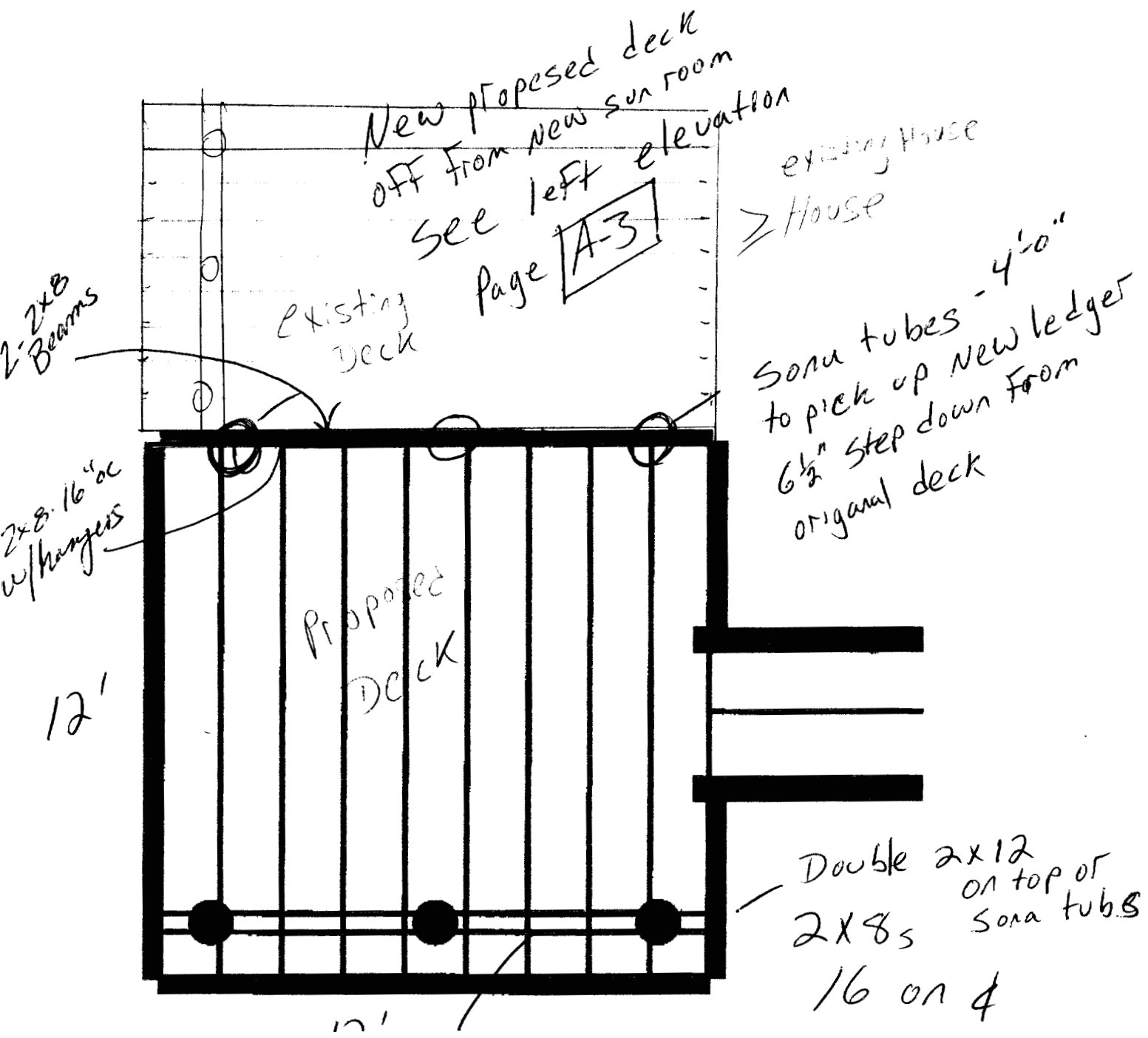
The materials for this project will cost \$954.44

JULIE SAWTELLE

BECK

227865

Deck Layout

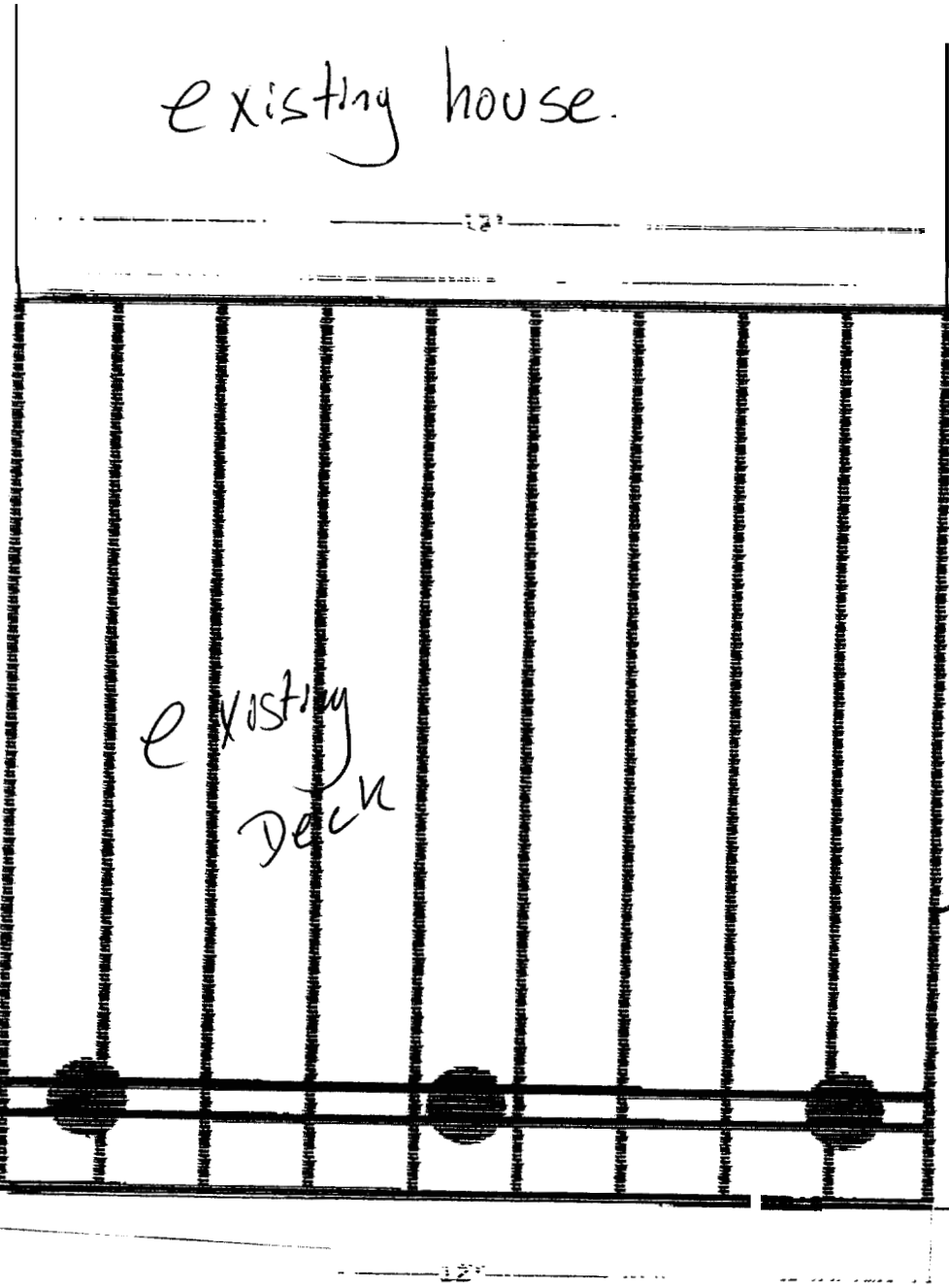


ME 04103

4.44

ROSS sections
w/ Framing details

existing house.



2x8"
16 on t

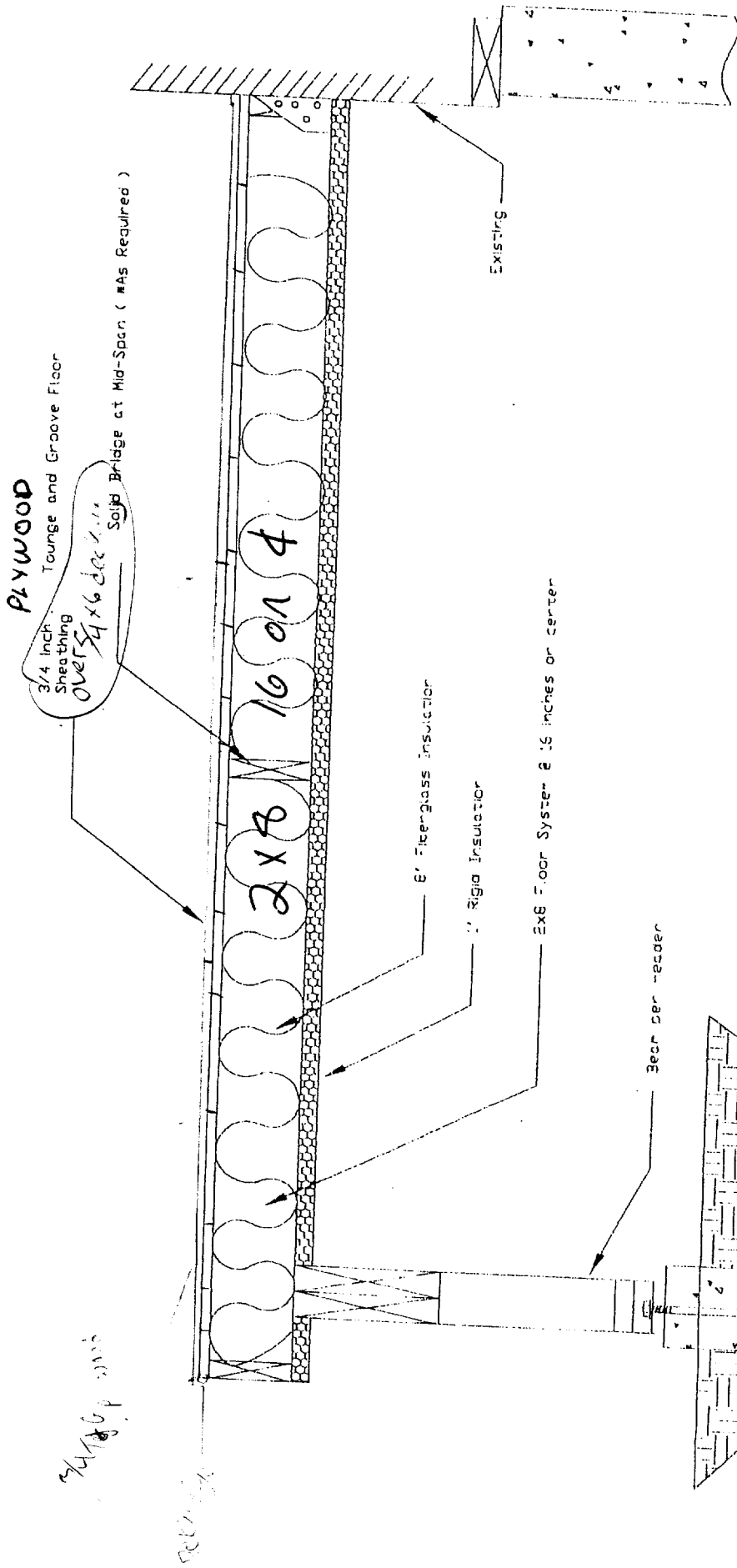
12'

WS
4 Decking
3/4 ply over

solid
~~2x8~~
4x8

Deck L

Standard Floor System R-32

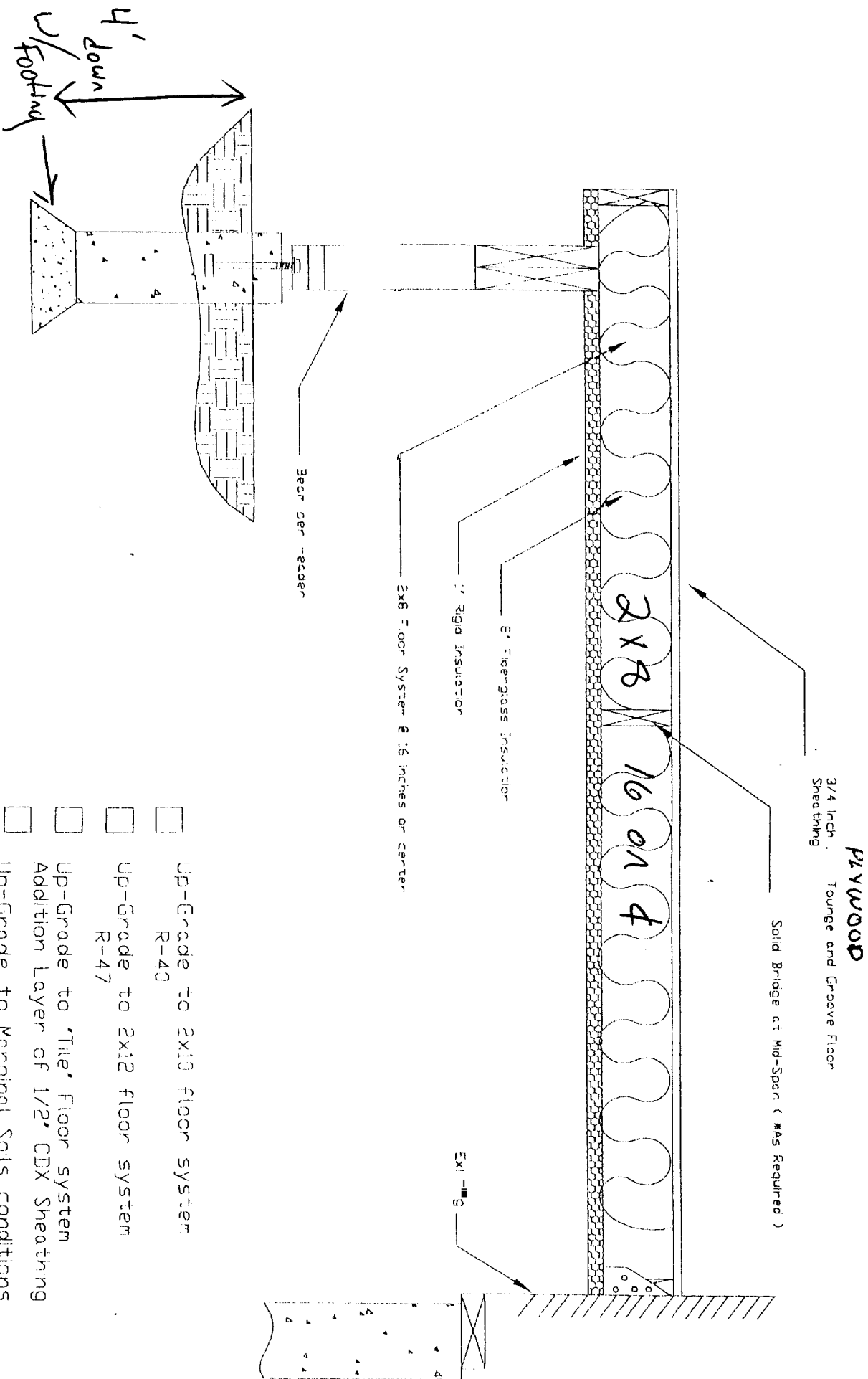


- Up-Grade to 2x10 floor system R-40
- Up-Grade to 2x12 floor system R-47
- Up-Grade to 'Tile' Floor system Addition Layer of 1/2" CDX Sheathing
- Up-Grade to Marginal Soils conditions 12" Sono Tubes and/or additional loading

WinterGreen Solariums
 536 Riverside Street Portland, Maine 207 797-3778

Standard Post / Deck System Schematic	PROJECT
Date / /	Date / /

Standard Floor System R-32



- Up-Grade to 2x10 floor system R-43
- Up-Grade to 2x12 floor system R-47
- Up-Grade to 'Tie' Floor system Addition Layer of 1/2" CDX Sheathing
- Up-Grade to Marginal Soils conditions 12" Somo Tubes and/or additional loading

WinterGreen Solariums

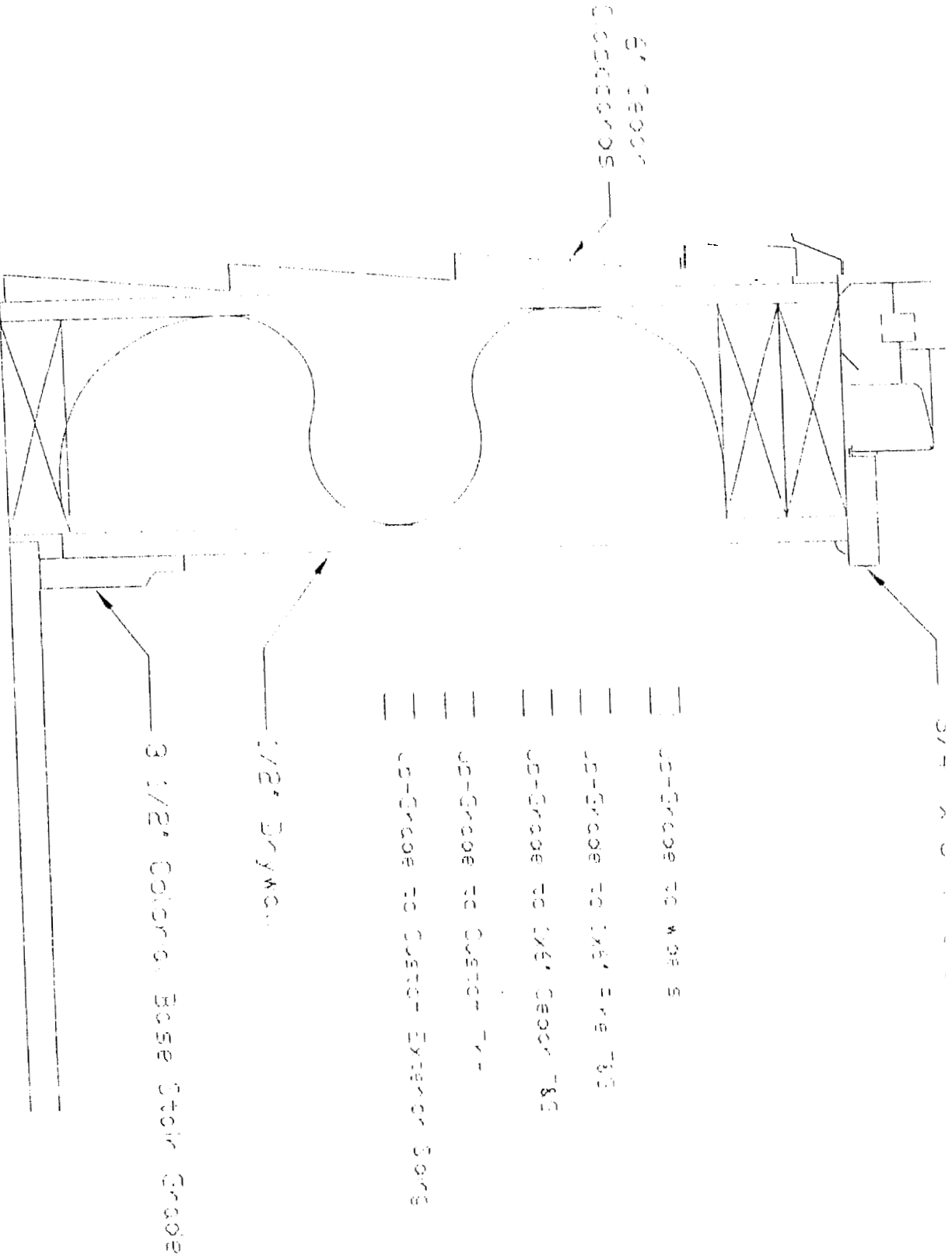
536 Riverside Street Portland, Maine 207 797-3778

Standard Post / Deck System Schematic

PROJECT

Date / /

Standard KneeWall System R-30



- 2" G-Grade to WOF 5
- 2" G-Grade to 1/2" Eye 30
- 2" G-Grade to 1/2" G-Grade 85
- 2" G-Grade to Custom Tr
- 2" G-Grade to Custom Exterior Soffit

1/2" Drywall

3 1/2" Colonial Base Stair Grade

WinterGreen Solariums
 AND A. FRED STEER ARCHITECTS
 1000 20th Street NW
 Washington, DC 20036

Standard KneeWall System Schematic

PROJECT

Date / /



5005 VETERANS MEMORIAL HWY.
HOLBROOK N.Y. 11741

230 SUN & STARS ROOM: STRAIGHT EAVE
(2 in 12 ROOF PITCH)

ENGINEERING & STRUCTURAL LOADING INFORMATION

EFFECTIVE DATE: 6-02 LD

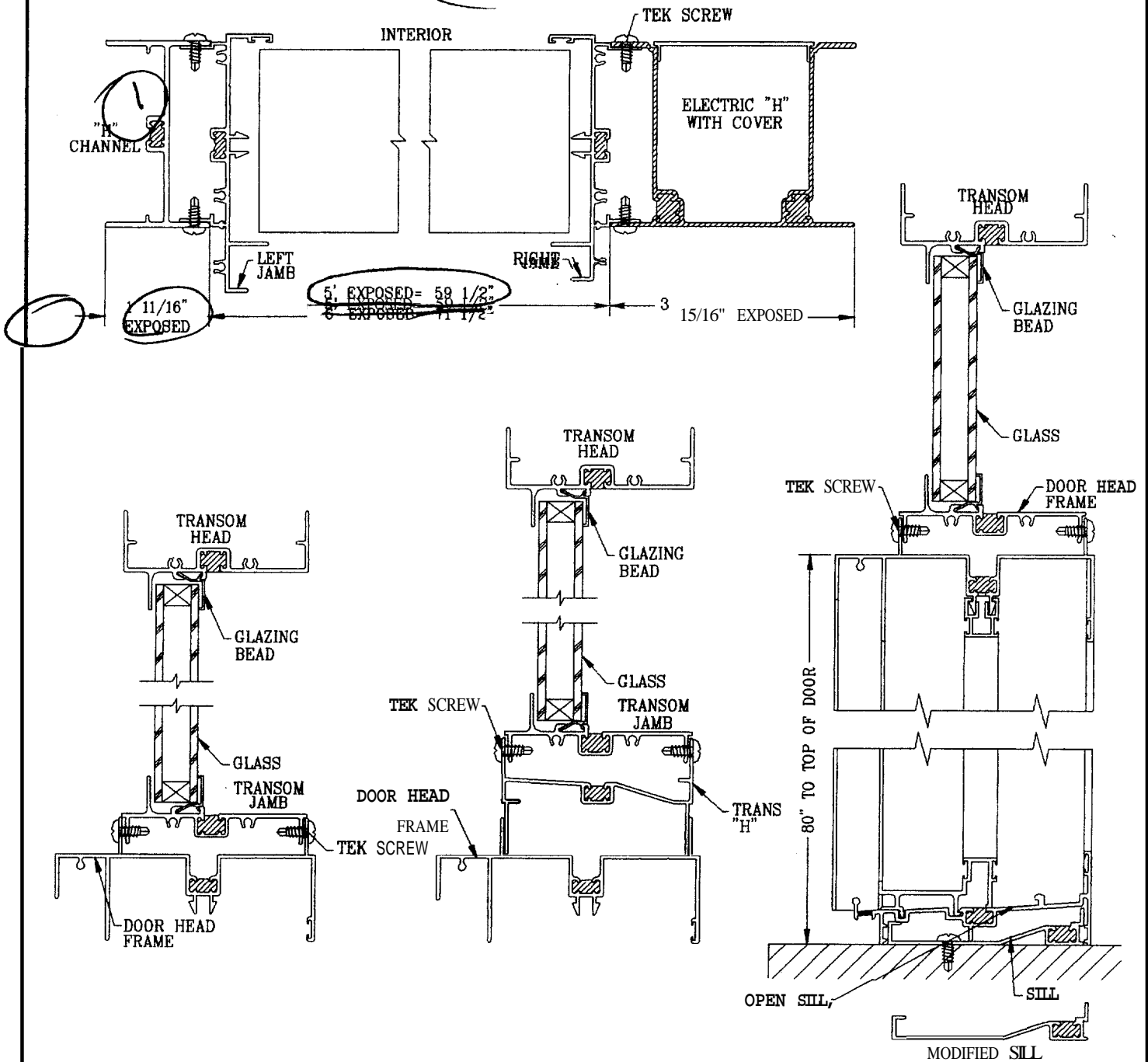
ROOM MODEL	GLAZING BAR O.C. SPACING	RAFTER TYPE	ROOF LIVE LOAD (psf)	EXPOSURE B WIND LOAD (mph)	EXPOSURE C WIND LOAD (mph)	EXPOSURE D WIND LOAD (mph)	ROOM MODEL	GLAZING BAR O.C. SPACING	RAFTER TYPE	ROOF LIVE LOAD (psf)	EXPOSURE B WIND LOAD (mph)	EXPOSURE C WIND LOAD (mph)	EXPOSURE D WIND LOAD (mph)
S*M-6DH	2-6 5/8"	5LB3	150	155	140	125	S*M-15DH	2-6 5/8"	5LB3	20	125	110	100
	3-0 5/8"	5LB3	130	140	125	115		3-0 5/8"	5LB3	15	125	110	100
S*M-7DH	2-6 5/8"	5LB3	105	155	140	125	S*M-16DH	2-6 5/8"	5CB5	68	125	110	100
	3-0 5/8"	5LB3	90	140	125	115		3-0 5/8"	5CB5	57	125	110	100
S*M-9DH	2-6 5/8"	5LB3	70	155	140	125		2-6 5/8"	5LB3	15	120	105	95
	3-0 5/8"	5LB3	60	140	125	115	3-0 5/8"	5LB3	10	110	100	90	
S*M-10DH	2-6 5/8"	5LB3	55	155	140	125	S*M-17DH	2-6 5/8"	5CB5	60	120	105	95
	3-0 5/8"	5LB3	45	140	125	115		3-0 5/8"	5CB5	48	120	105	95
S*M-11DH	2-6 5/8"	5LB3	40	150	135	120		2-6 5/8"	5LB5	25	115	100	90
	3-0 5/8"	5LB3	35	140	125	115	3-0 5/8"	5LB5	20	115	100	90	
	2-8 5/8"	5HB3	70	150	135	120	2-6 5/8"	5CB5	52	115	100	90	
S*M-12DH	3-0 5/8"	5HB3	58	140	125	115	S*M-18DH	3-0 5/8"	5CB5	43	115	100	90
	2-8 5/8"	5LB3	30	140	125	115		2-6 5/8"	5LB5	20	110	100	90
	3-0 5/8"	5LB3	25	140	125	115		3-0 5/8"	5LB5	15	110	100	90
S*M-13DH	2-6 5/8"	5HB3	56	140	125	115	S*M-19DH	2-6 5/8"	5CB5	46	110	100	90
	3-0 5/8"	5HB3	47	140	125	115		3-0 5/8"	5CB5	37	110	100	90
	2-8 5/8"	5HB3	48	130	115	105		2-6 5/8"	5LB5	15	105	95	85
S*M-14DH	3-0 5/8"	5HB3	40	130	115	105	S*M-19DH	3-0 5/8"	5LB5	10	105	95	85
	2-6 5/8"	5LB3	20	130	115	105		2-6 5/8"	5CB5	41	105	95	85
	3-0 5/8"	5HB3	40	130	115	105		3-0 5/8"	5CB5	34	105	95	85

NOTE : EXPOSURE B - RESIDENTIAL AREAS, EXPOSURE C - OPEN TERRAIN AREAS, EXPOSURE D - AREAS WITHIN 1500' OF OCEAN



- NOTES:
- 1) 5LB3 = 3" LITE BAR. 5LB5 = 5 LITE BAR, 5CB5 = 5" HEAVY BAR
 - 2) ALUMINUM ALLOY FOR G W N G BARS IS 6005-T5.
 - 3) DEAD LOAD OF ROOF SYSTEM IS 7 PSF
 - 4) ALL UNITS SHOWN ON THIS PAGE ARE ACCEPTABLE FOR CONSTRUCTION IN SEISMIC ZONE 4.
 - 5) A LOCAL PROFESSIONAL ENGINEER SHOULD DETERMINE THE SITE SPECIFIC LOADING AND PERFORM ANY ADDITIONAL NECESSARY CALCULATIONS, WHICH MAY INCLUDE: MINIMUM DESIGN LOADS REQUIRED BY LOCAL MUNICIPALITIES, OR ANY DRIFTING OR UNBALANCED SNOW LOADS PRODUCED BY ADJACENT STRUCTURES.
 - 6) THIS SUMMARY PERTAINS TO THE STRUCTURAL INTEGRITY OF THE UNIT UP TO THE CONNECTIONS TO THE EXISTING STRUCTURE AND/OR ANY NEW CONSTRUCTION THE CONNECTIONS TO THE EXISTING AND/OR ANY NEW STRUCTURES.
 - 7) ENGINEER'S CERTIFICATION: I, LAWRENCE FISCHER, CERTIFY THAT THESE ENGINEERING SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATES SHOWN.

SLIDING DOOR DETAILS



DRAWN BY: TW
 CHECKED BY: CM
 DATE: 05-03-02

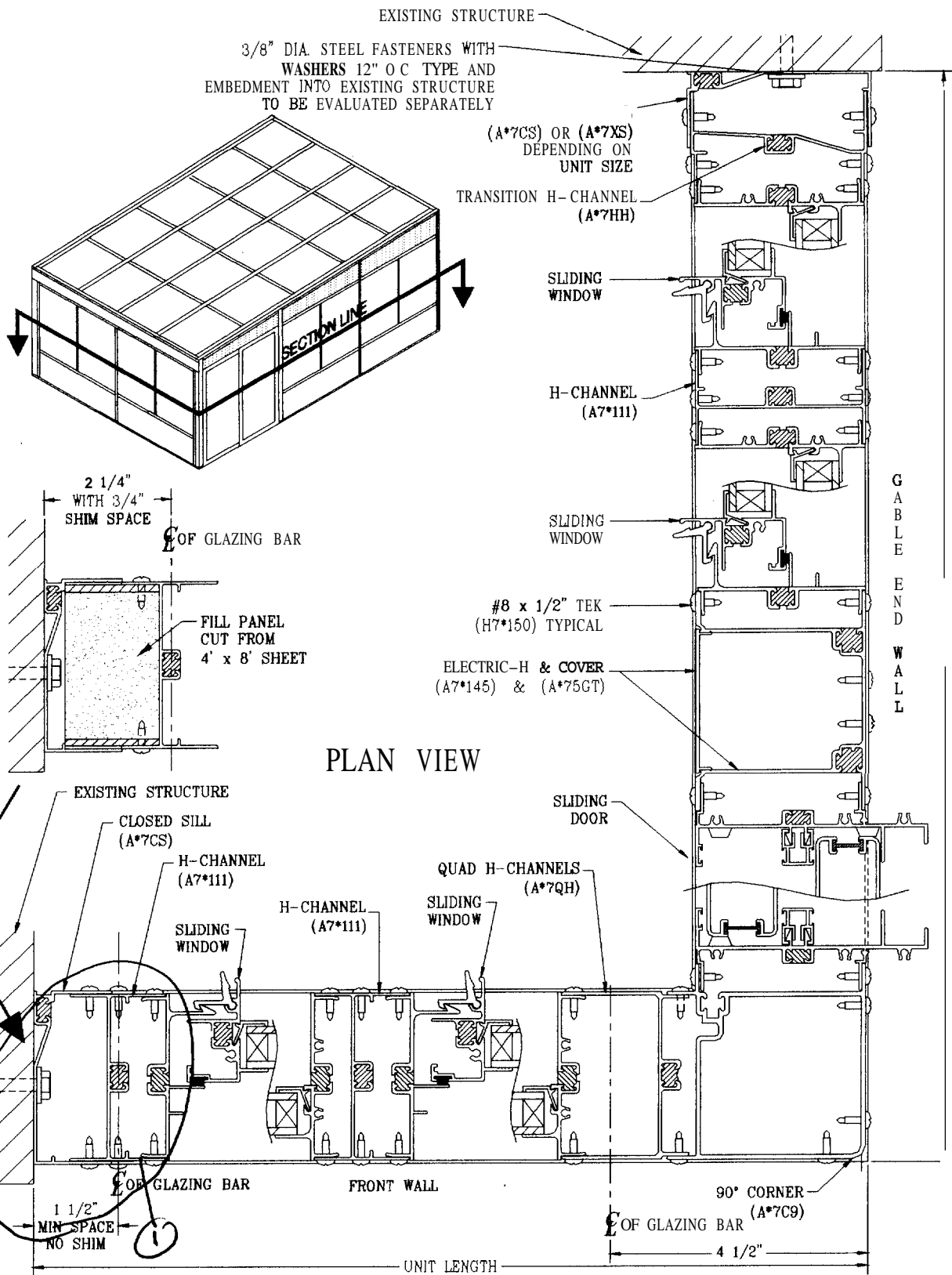
SCALE: NTS
 DWG. #:
 PAGE OF

FOUR SEASONS SOLAR PRODUCTS, LLC.

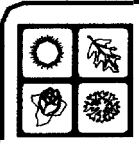
5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741
 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS

REVISION	BY

TYPICAL WALL LAYOUT



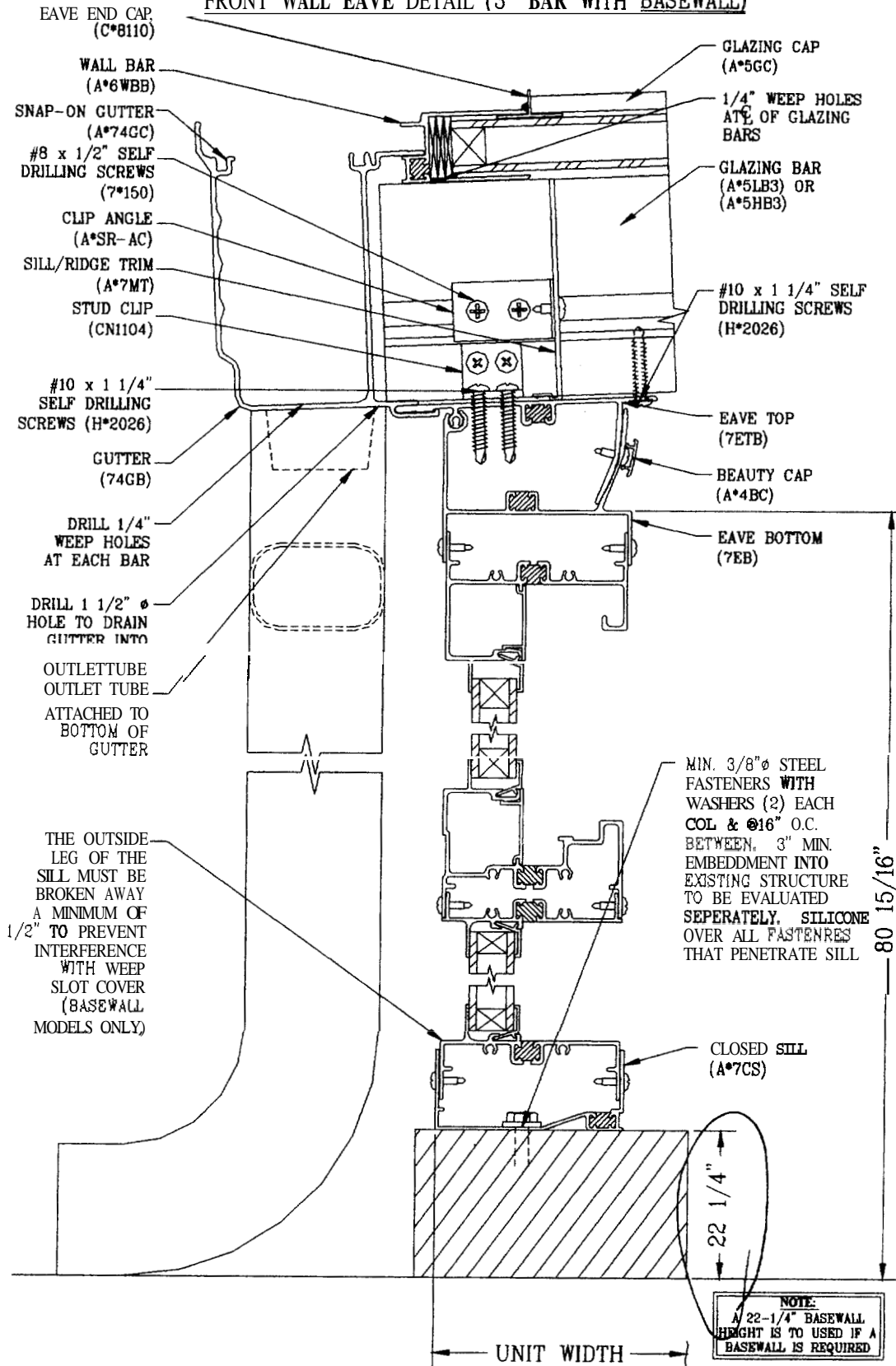
DRAWN BY: TW	SCALE: NTS
CHECKED BY: CM	DWG. #: 4M-16
DATE: 05-03-02	PAGE OF



5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741
 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS

REVISION	BY
5-14-02	TW
8-17-02	TW

FRONT WALL EAVE DETAIL (3" BAR WITH BASEWALL)

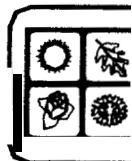


MIN. 3/8" Ø STEEL FASTENERS WITH WASHERS (2) EACH COL & @16" O.C. BETWEEN. 3" MIN. EMBEDDMENT INTO EXISTING STRUCTURE TO BE EVALUATED SEPERATELY. SILICONE OVER ALL FASTENRES THAT PENETRATE SILL

NOTE:
A 22-1/4" BASEWALL HEIGHT IS TO USED IF A BASEWALL IS REQUIRED

DRAWN BY: TW
CHECKED BY: CM
DATE: 05-08-02

SCALE: NTS
DWG. #: 4M-20
PAGE OF



FOUR SEASONS SOLAR PRODUCTS, LLC.
5005 VETERANS MEMORIAL HIGHWAY
HOLBROOK, NEW YORK 11741
DESIGNERS AND MANUFACTURES OF FOUR SEASONS SUNROOMS

REVISION	BY
06-17-02	TW