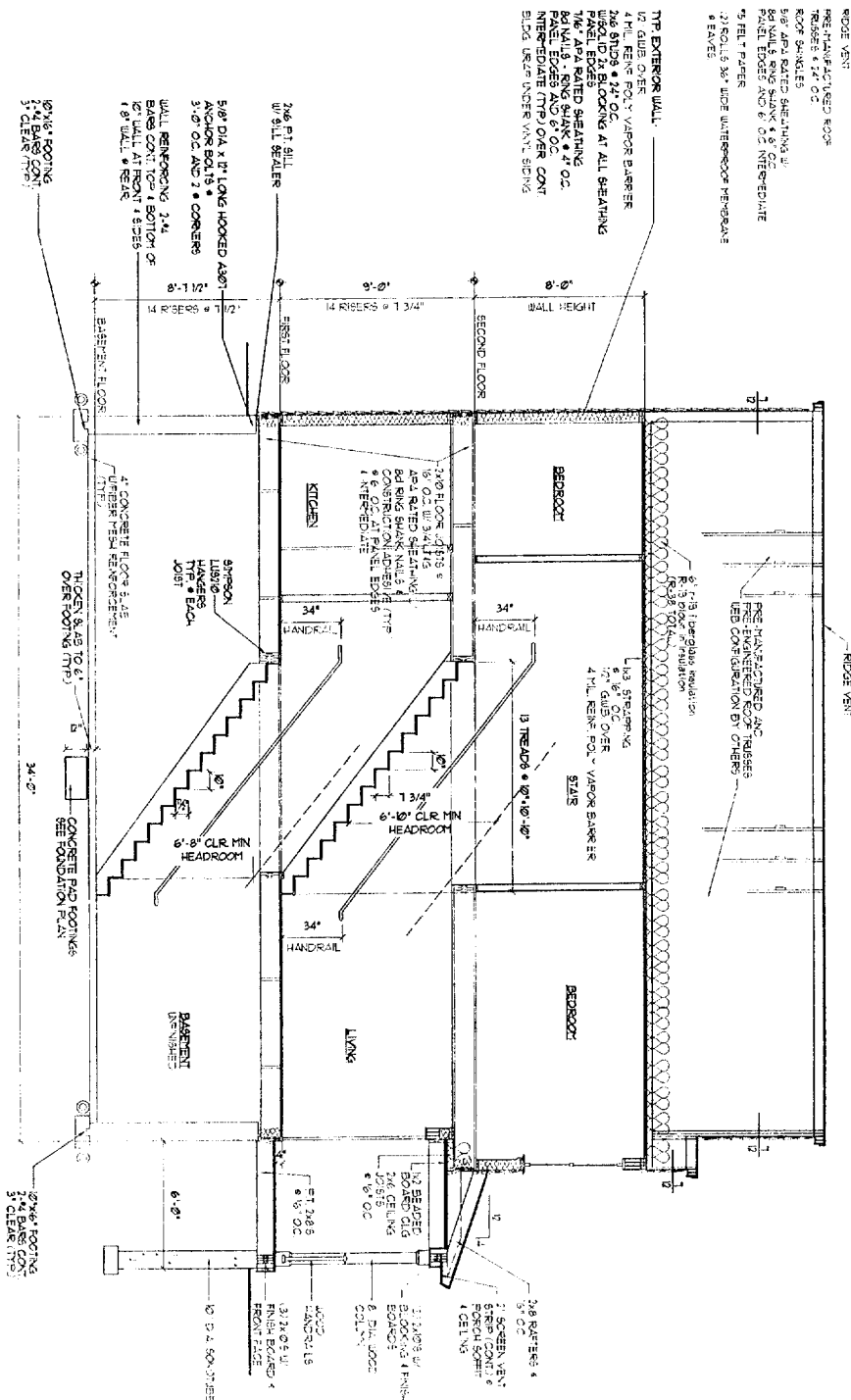


TYPICAL ROOF CONSTRUCTION

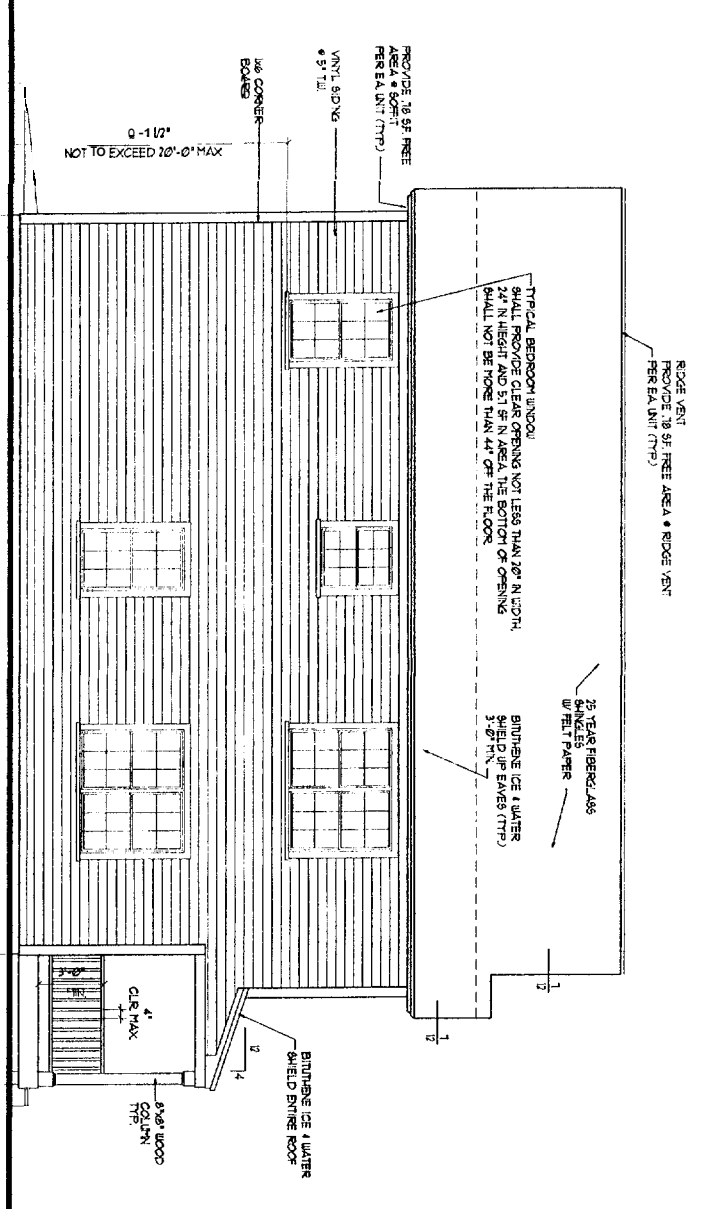
- 1) GUTTER OVER
- 2) 1/2" GUTTER
- 3) 1/2" GUTTER
- 4) 1/2" GUTTER
- 5) 1/2" GUTTER
- 6) 1/2" GUTTER
- 7) 1/2" GUTTER
- 8) 1/2" GUTTER
- 9) 1/2" GUTTER
- 10) 1/2" GUTTER
- 11) 1/2" GUTTER
- 12) 1/2" GUTTER
- 13) 1/2" GUTTER
- 14) 1/2" GUTTER
- 15) 1/2" GUTTER
- 16) 1/2" GUTTER
- 17) 1/2" GUTTER
- 18) 1/2" GUTTER
- 19) 1/2" GUTTER
- 20) 1/2" GUTTER



SECTION THRU HOUSE

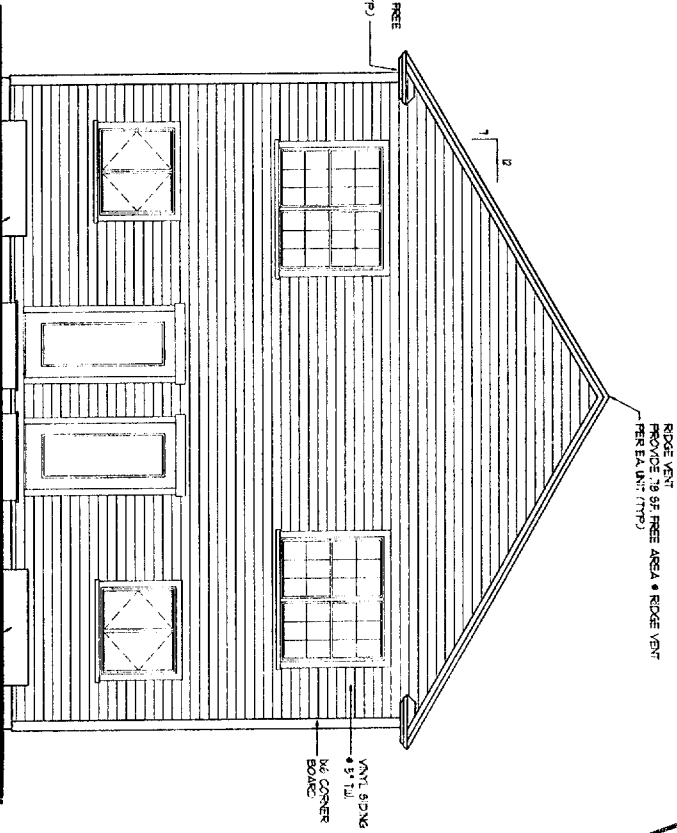
SCALE: 1/4" = 1'-0"

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JUN 25 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS



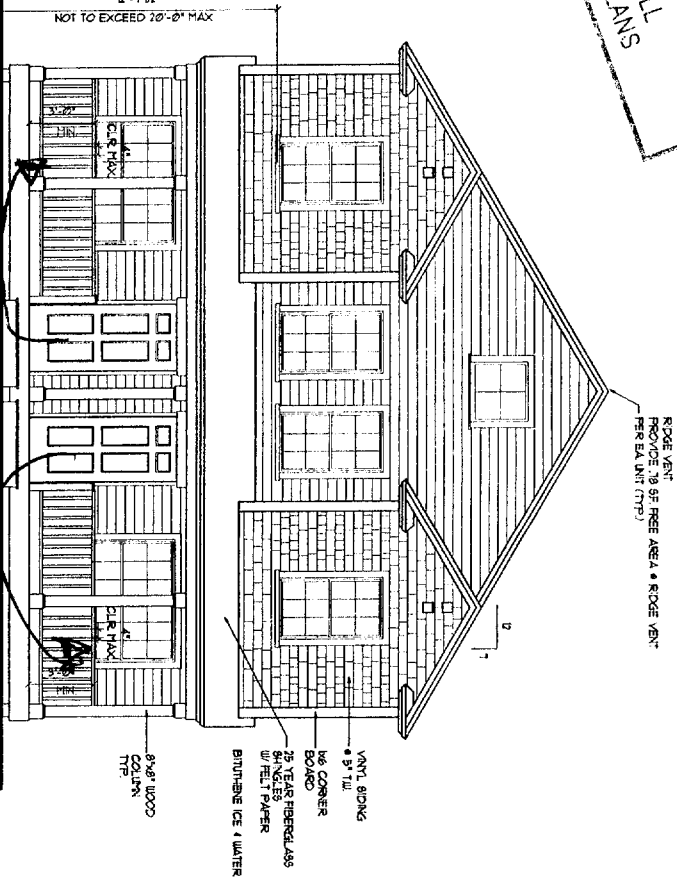
LEFT SIDE ELEVATION

(RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

doors moved -

DRAWINGS THIS SHEET

ELEVATIONS	SECTION
LOT # 14	

30 x 40 UNIT
 (FULL BASEMENT)

SCHEME 'B'

HEADER SCHEDULE

ROUGH OPENING	HEADER SIZE
0'-3"-0"	(3) - 2x6
3'-1"-4'-6"	(3) - 2x6
4'-1"-5'-8"	(3) - 2x6
5'-9"-7'-0"	(3) - 2x6

NOTE: PROVIDE JAMBS BOTH SIDES AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

A3

DATE

06/24/04

1. All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE 90.1, NFPA Codes, American with Disabilities Act 1990 (ADA) and all local, state and federal requirements.

2. All applicable Federal, State and Municipal regulations shall be followed including the Federal Department of Labor Occupational Safety and Health Act.

3. All required City and State permits must be obtained before any construction begins.

4. It is the contractor's sole responsibility to determine existing conditions and sequences to ensure the safety of the building and its contents during erection. This includes the addition of necessary shoring, bracing, temporary bracing, gyps or tie-downs, such material shall remain the property of the contractor after completion of the project.

5. Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, state and federal standards.

6. All fire ratings indicated shall be continuous to underside of the rated ceiling or underside of roof deck, both at openings & mechanical penetrations with approved fire rating material.

7. Building shall be constructed in accordance with NFPA-101. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance with state law.

8. Building shall have approved smoke detectors in accordance with NFPA-70. Life Safety Code smoke detectors shall alarm when they are in the sleeping rooms of each unit.

9. Features for accessibility shall be provided in all hazardous areas in accordance with NFPA-101. Local authority having jurisdiction needs to provide written interpretation.

10. Balconies shall utilize 4" x 4" guardrail height and will be kept free and clear of ice and snow at all times to ensure the second safety of egress.

11. HVAC installation to be in accordance with ASHRAE 90.1-2001, OR NFPA-98 and all federal, local and state requirements. All equipment shall be in accordance with NFPA-70, NFPA-101, NFPA-201, NFPA-54 and NFPA-98 as applicable.

FRAMING NOTES:

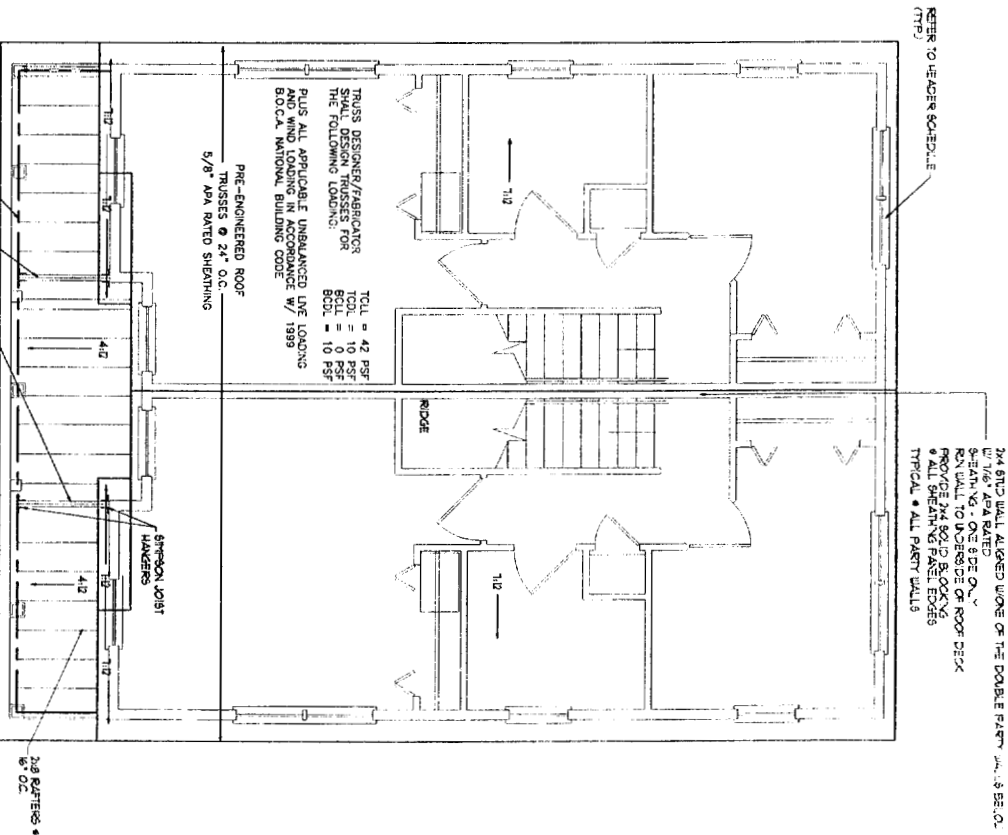
1. ALL EXTERIOR WALLS TO BE 2x4 WOOD STUD WALLS
2. 2" OC W/ 7/8" GIBBS AND WATERS BARRIER & WATER RESISTIVE SHEETING • EXTERIOR FACE OF WALL.
3. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS UNLESS NOTED OTHERWISE W/ ONE LAYER W/ GIBBS EACH SIDE.
4. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS UNLESS NOTED OTHERWISE W/ ONE LAYER W/ GIBBS EACH SIDE.
5. ALL WALL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM AND SHELVES WHEN MOUNTED ON WALLS.
6. THE LOCATION OF ALL DOOR RANGES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

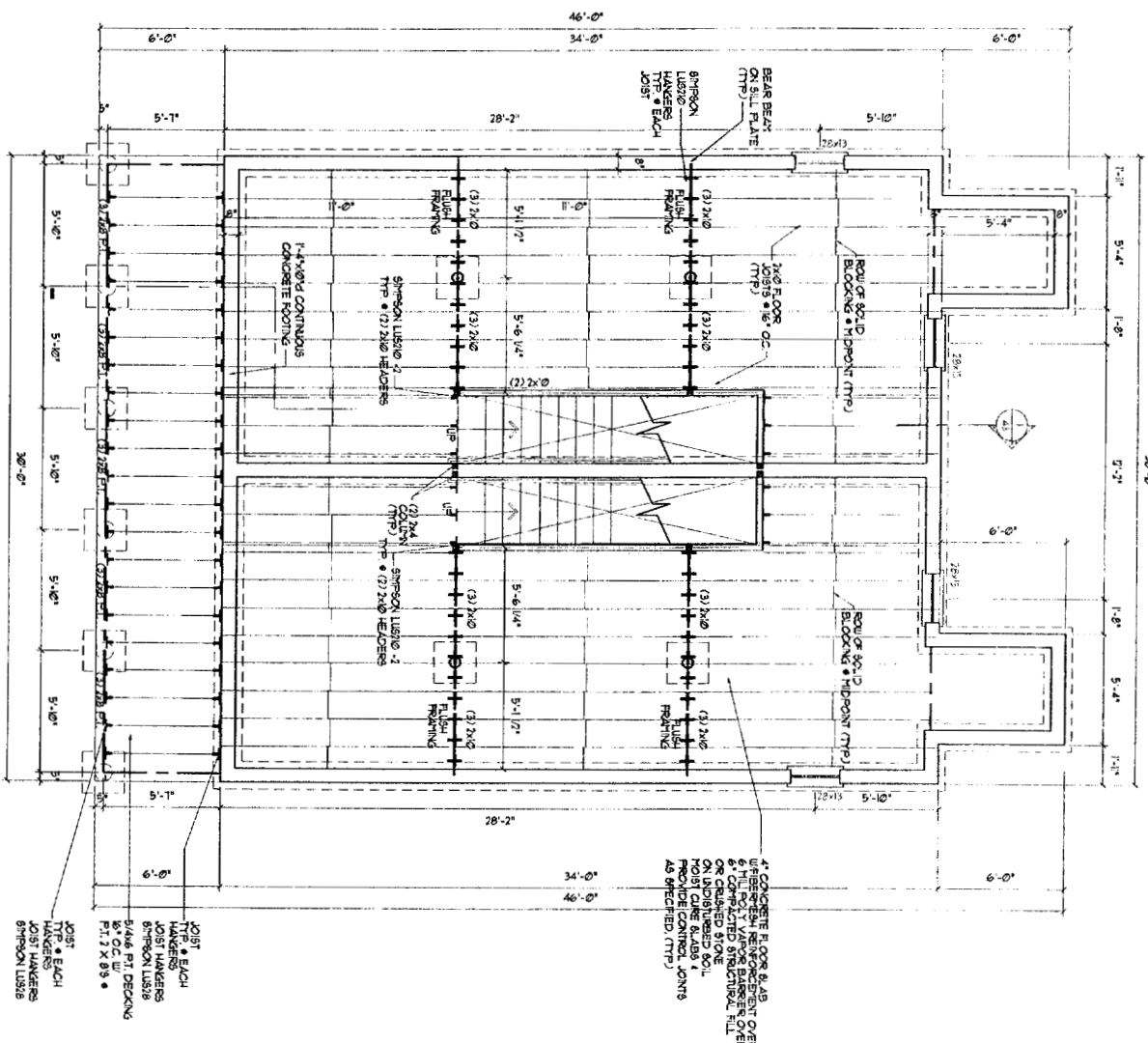
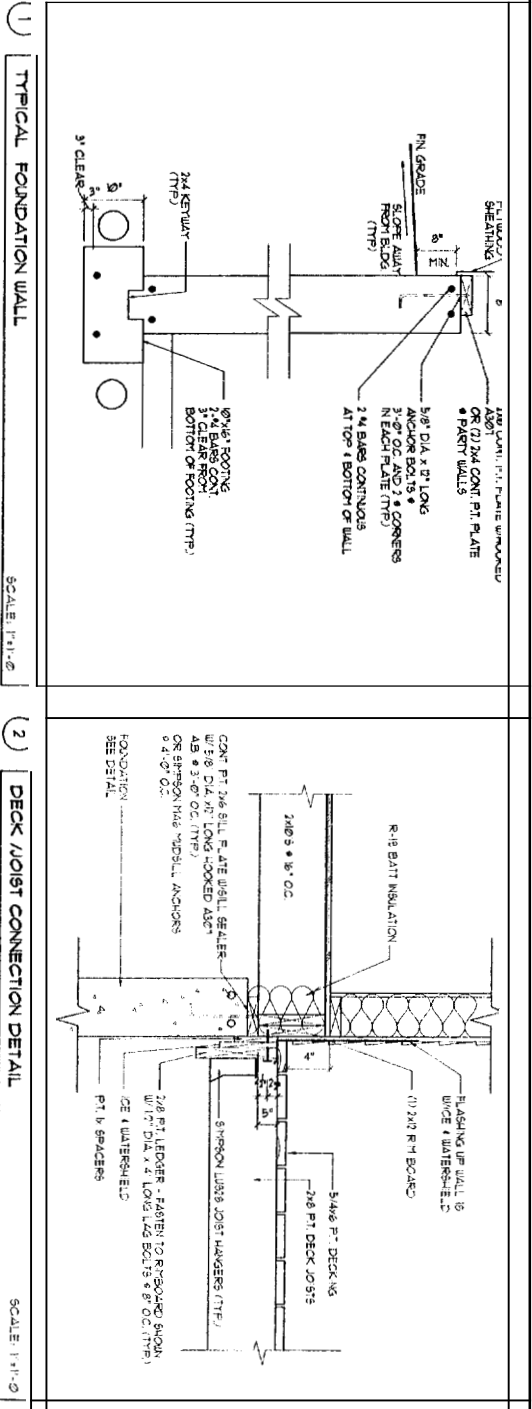
1. PROVIDE 3/4" SEALER ON TOP OF ALL FOUNDATION WALLS ON SOIL SURFACES.
2. ALL STEEL REINFORCING REBAR TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
3. ALL REBAR FROM BOTTOM OF FOOTING TO TOP OF FOUNDATION WALLS TO BE 2" CLEAR FROM FACE OF WALL.
4. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVE PRESERVATIVE TREATED WOOD TO 6" OF RETENTION PER AREA.
5. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROBE, 1" LIGHT BROWN FINISH.
6. SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
7. SQUANT HEAT NAILS.
8. FRONT FLOOR SLABS SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH 1" MINIMUM CONCRETE COVER. JOINTS & BARS BRACING (TYPICAL).
9. ALL CONCRETE SHALL BE 3000 PSI (72) STRENGTH AT 28 DAYS.
10. ALL CONCRETE SHALL BE AIR ENHANCED 4.0%.
11. ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.

NOTE: BUILDING TO BE SHEKLEHER PER NFPA-101

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
JUN 25 2004
SUPERSEDES ALL
PRIOR DATED PLANS



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



FOUNDATION / FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET	
FOUNDATION PLAN	DATE: 06/24/04
ROOF PLAN	
DETAILS	

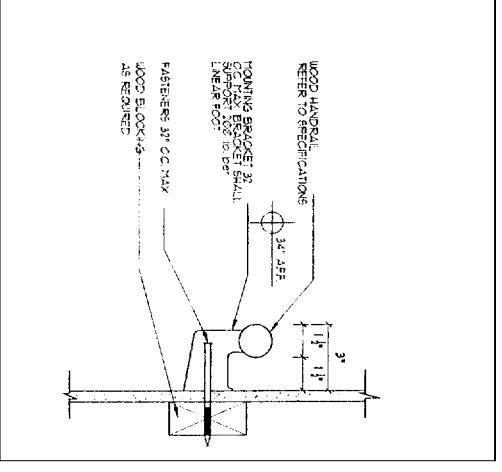
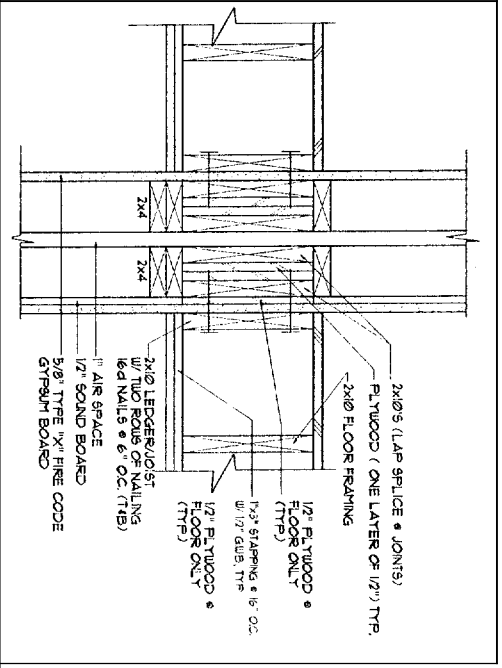
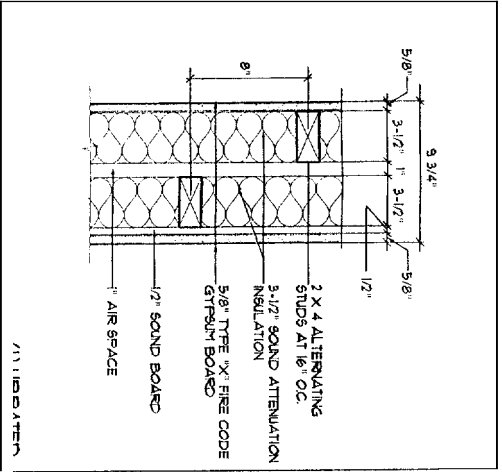
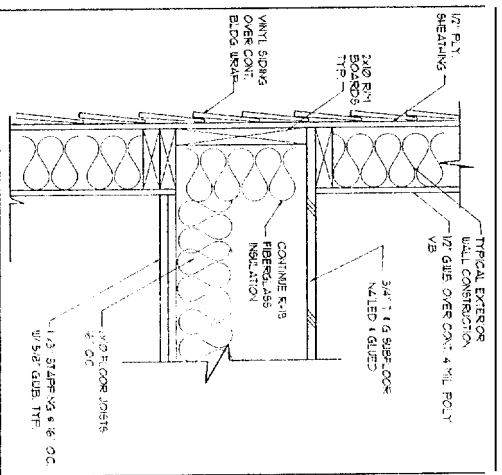
30 x 40 UNIT
(FULL BASEMENT)
SCHEME 'B'

A1

RTLAND MAINE
CONSTRUCTION PLANS

JUN 25 2004

ALL SHEETS ALL
DATED PLANS



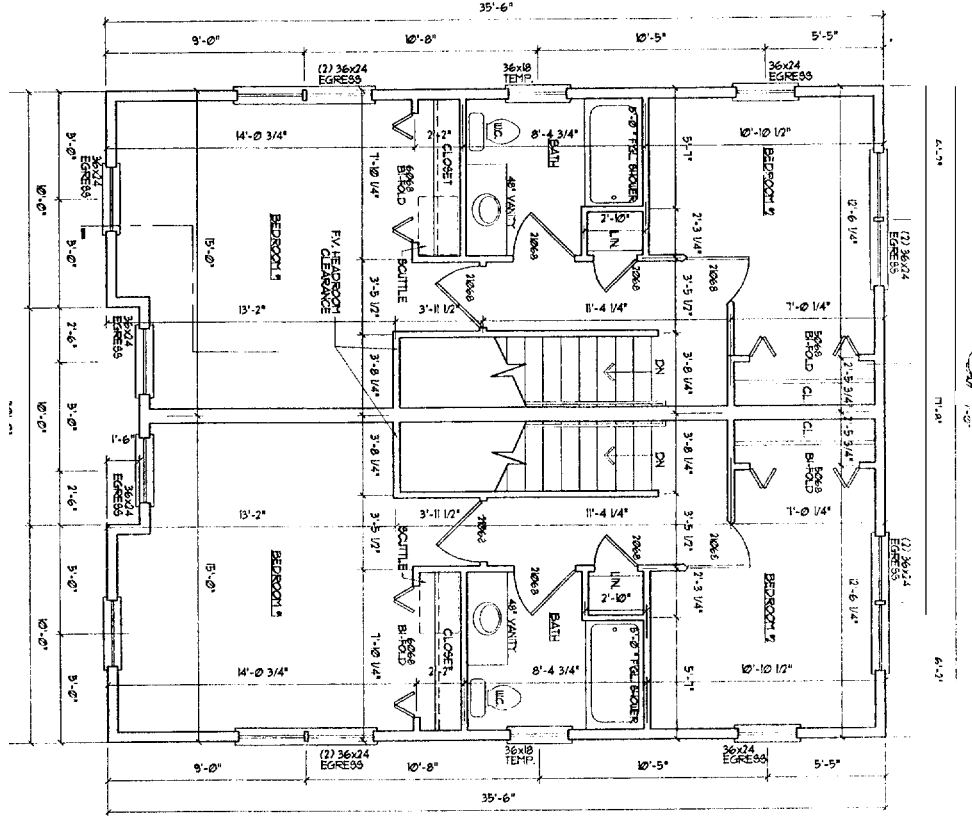
1 FLOOR FRAMING DETAIL
1/8" = 1'-0"

2 PARTY WALL DETAIL
1/8" = 3'-0"

3 SECTION - PARTY WALL DETAIL
1/8" = 1'-0"

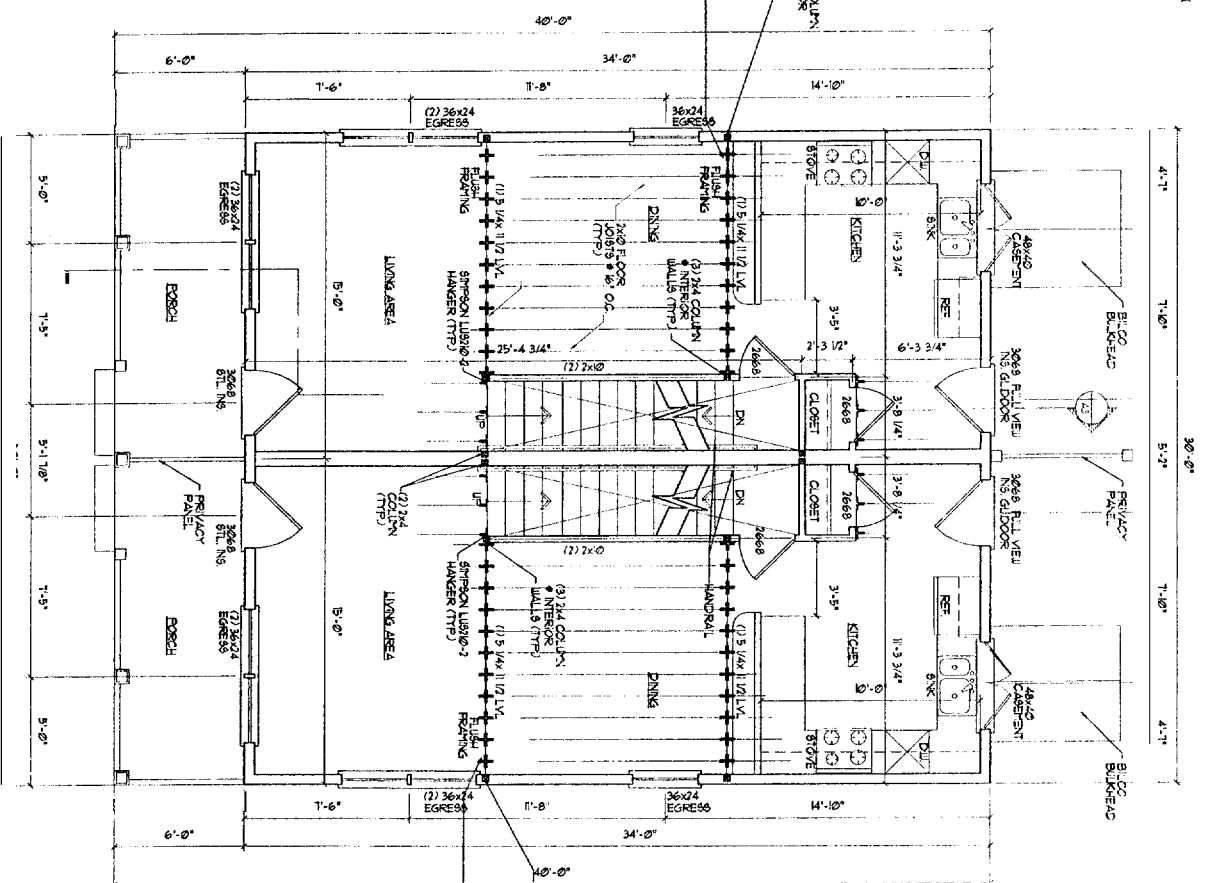
4 HANDRAIL DETAIL
1/8" = 1'-0"

GENERAL NOTE FOR PARTY / SHEAR WALL:
1. PROVIDE 3M BLOOMING • ALL PANEL EDGES & INTERMEDIATE PROVIDE SCREWS @ 6" O.C. • PANEL EDGES & INTERMEDIATE
2. RUN 2x4 WALL TO UNDERICE OF ROOF DECK (IN ATTIC SPACE) ALLOWED UNDER OF THE 2x4 WALLS IN THE PARTY WALL BELOW PROVIDE 10' LATERAL 4x4 BRACED BEARING ONE SIDE ONLY PROVIDE 4x4 WALLS @ 6" O.C. • PANEL EDGES & INTERMEDIATE
3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING 90MIN.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



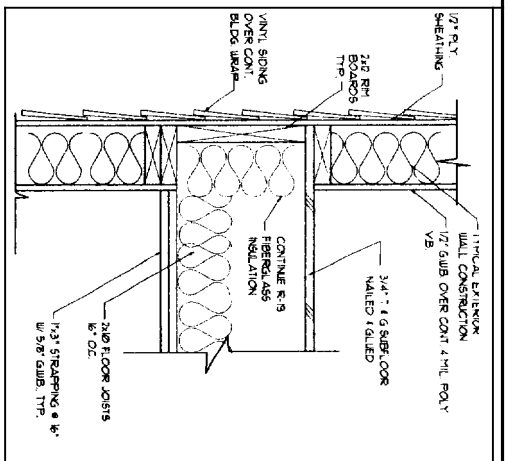
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

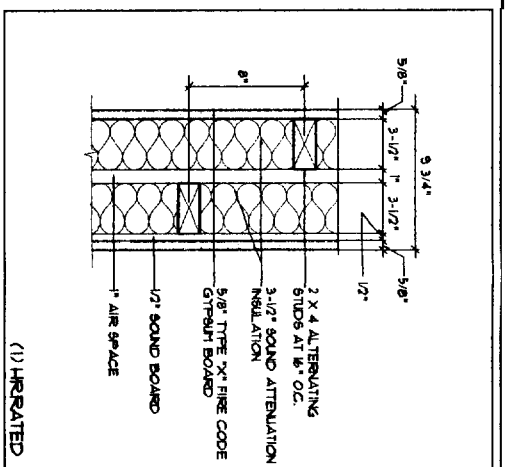
DRAWINGS THIS SHEET	30 x 40 UNIT (FULL BASEMENT)	SCHEME 'B'
FLOORPLANS DETAILS		

A2

06/14/04

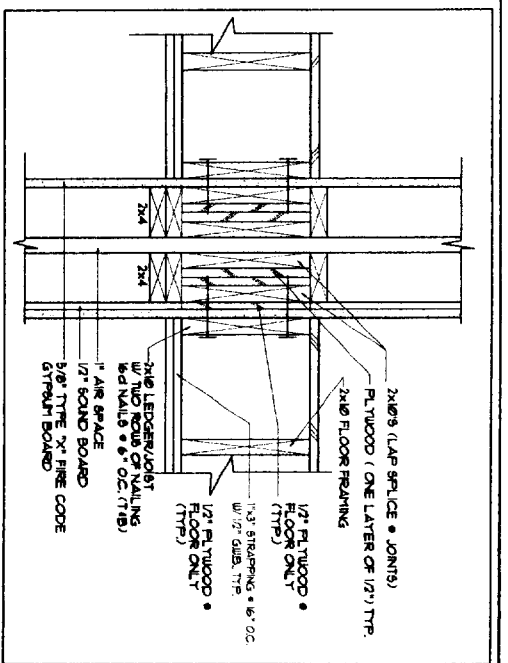


1 FLOOR FRAMING DETAIL 1/8" = 1'-0"

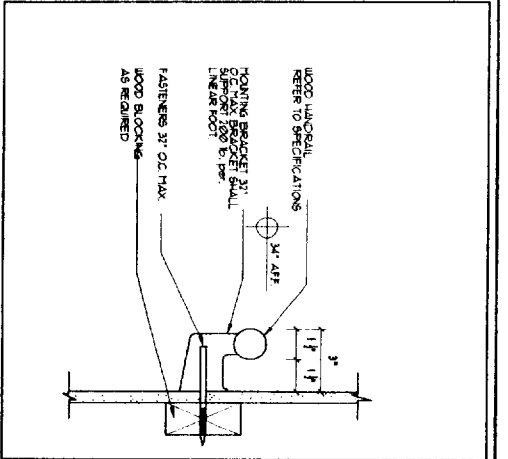


2 PARTY WALL DETAIL 1/8" = 1'-0"

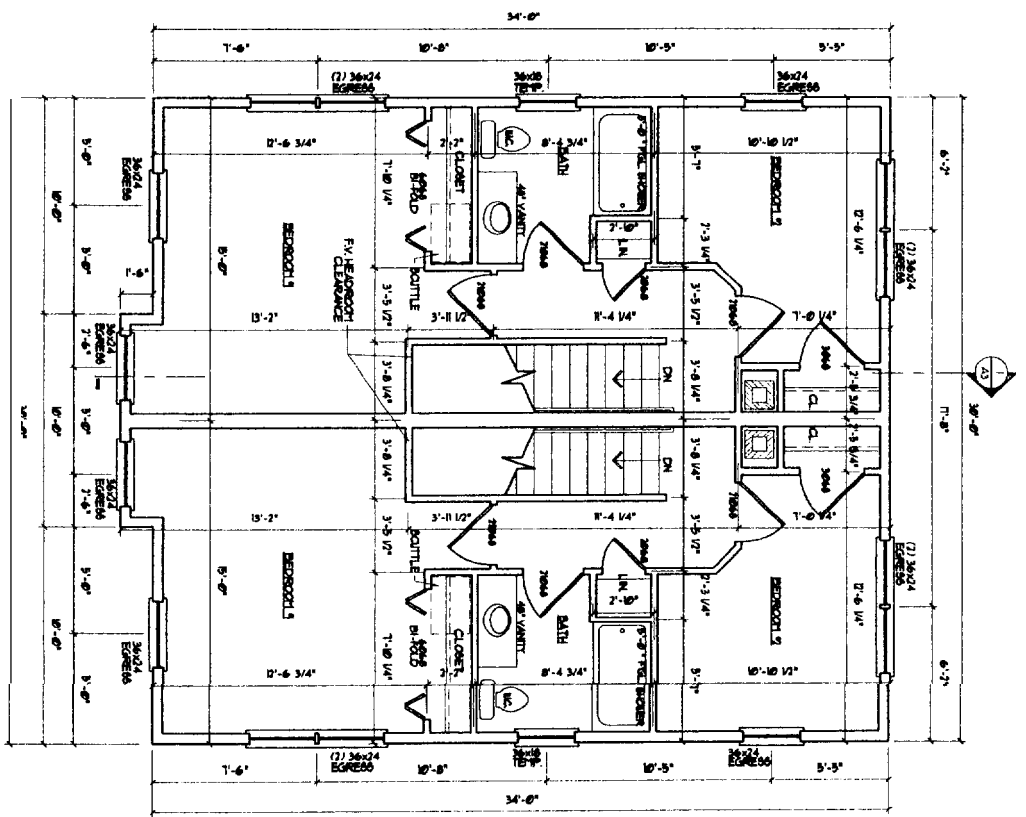
GENERAL NOTE FOR PARTY / SHEAR WALL:
 1. PROVIDE 3/4" BLOCKING • ALL PANEL EDGES • INTERMEDIATE
 PROVIDE SCREWS • 6" O.C. • PANEL EDGES • INTERMEDIATE
 2. RAFTED WALL TO JUNCTION OF ROOF DECK (N. ATTIC SPACE)
 PROVIDE 2x4 BLOCKING • ALL PANEL EDGES • INTERMEDIATE
 PROVIDE 2x4 STUDS • ALL PANEL EDGES • INTERMEDIATE
 PROVIDE 2x4 BLOCKING • ALL PANEL EDGES • INTERMEDIATE
 PROVIDE 2x4 STUDS • ALL PANEL EDGES • INTERMEDIATE
 3. OBTAIN LETTERS APPROVAL FROM AUTHORITY HAVING JURISDICTION
 FOR FIRE RATED PARTING SHOW.



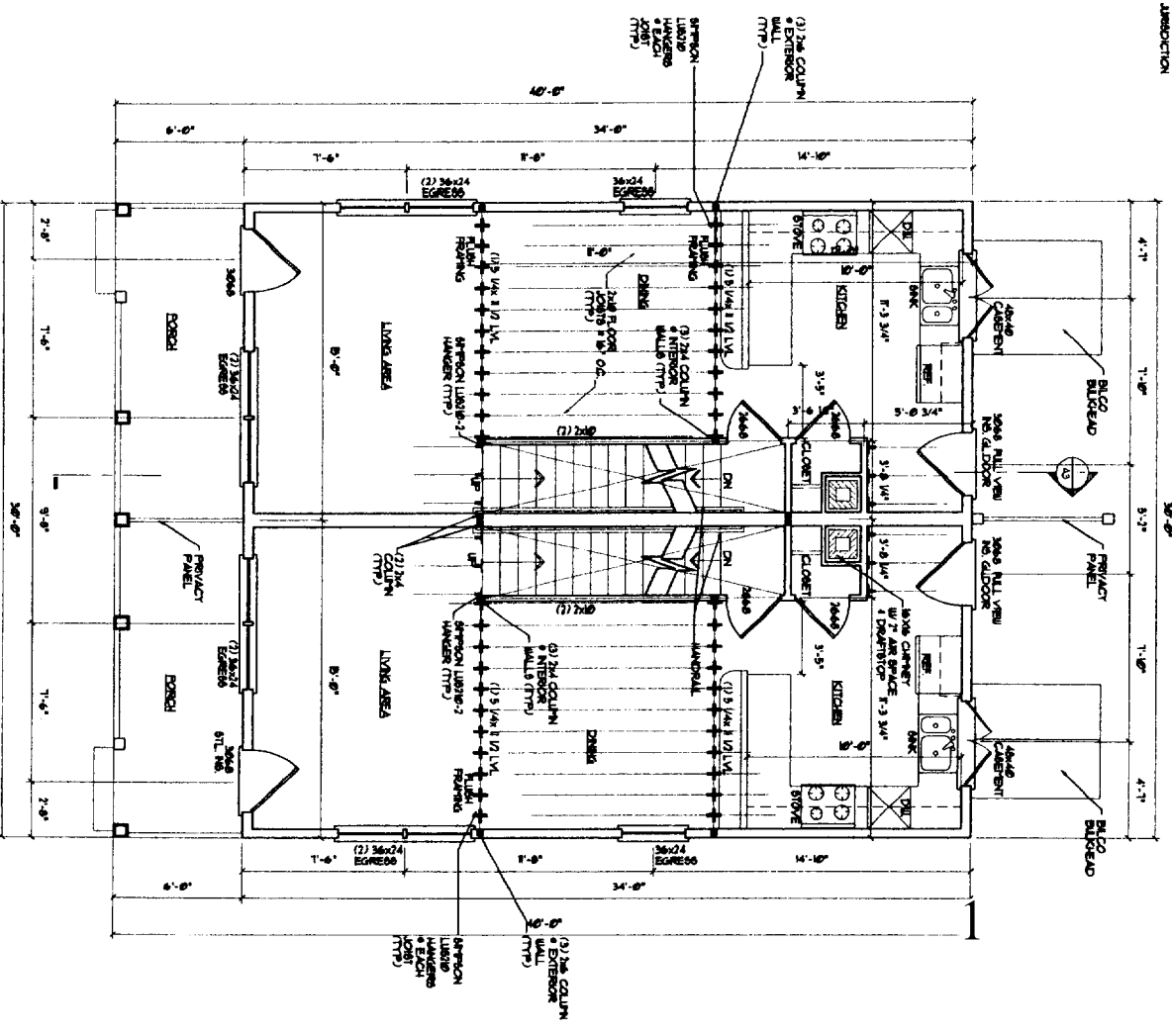
3 SECTION • PARTY WALL DETAIL 1/8" = 1'-0"



4 HANDRAIL DETAIL 1/8" = 1'-0"



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET	
FLOORPLANS	
DETAILS	

30 x 40 UNIT
 (FULL BASEMENT)

SCHEME 'A'

A2

GENERAL NOTES:

1. All work shall be in accordance with BOCA Basic Building Code (NBC), NFPA 70, National Electric Code, International Building Code, ASHRAE 55, NFPA 704, American with Disabilities Act (ADA), and all local, State and Federal requirements.
2. All applicable Federal, State and Municipal regulations shall be followed including the Federal, Department of Labor Occupational Safety and Health Act.
3. All required City and State permits must be obtained before any construction begins.
4. It is the contractor's sole responsibility to determine accurate procedures and sequences to ensure the safety of the building and its occupants during the construction period. The contractor shall provide the necessary engineering, design and construction documents to the property of the contractor after completion of the project.
5. Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
6. All the settings indicated shall be in accordance with the related ceiling or underside of roof deck. All openings & mechanical penetrations with approved fire rating material.
7. Building shall be completed in accordance with NFPA-103 Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance with NFPA-103. Life Safety Code, Smoke Detectors.
8. Building shall have approved smoke detectors in accordance with NFPA-72 Life Safety Code. Smoke detectors shall be installed in the sleeping rooms of each unit.
9. Firefighter's escape routes shall be provided in all hazardous areas in accordance with NFPA-103 Local authority having jurisdiction needs to provide other requirements.
10. Discontinue work within 4' guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second level of safety.
11. HVAC Installation to be in accordance with ASHRAE, NFPA-96A, NFPA-90A and all Federal, local and State codes. Ventilation of fume equipment shall be in accordance with NFPA-96, NFPA-91, NFPA-93.

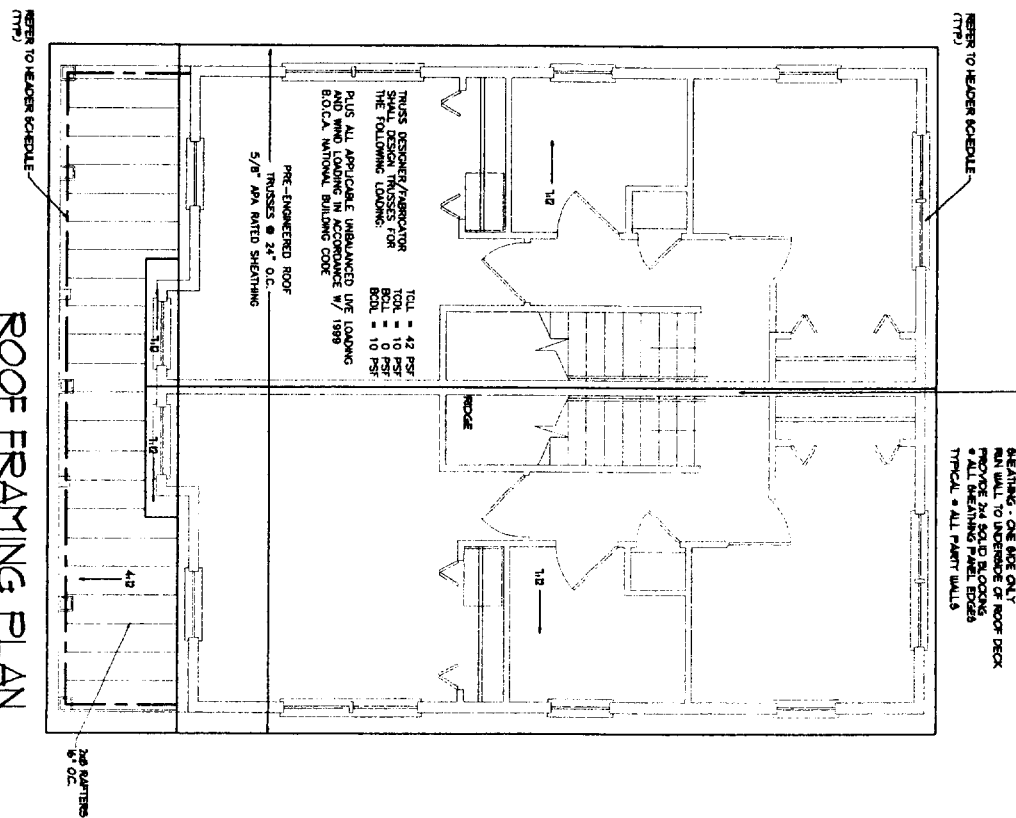
FRAMING NOTES:

1. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS 4" X 12" O.C. W/ 1/2" GIPS AND VAPOR BARRIER 5' MINCE FACE OF WALL. 5' PART INSULATION (R-5), AND 1/2" APA RATED SHEATHING 5' EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS UNLES NOTED OTHERWISE W/ ONE LAYER 1/2" GIPS EACH SIDE.
3. INITIAL BLOCKING BEHIND ALL SURFACE APPLIED FINISHES, TRIM AND MOLDINGS INSTALLED ON WALLS.
4. THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" UNLES NOTED OTHERWISE FROM ADJACENT WALLS.

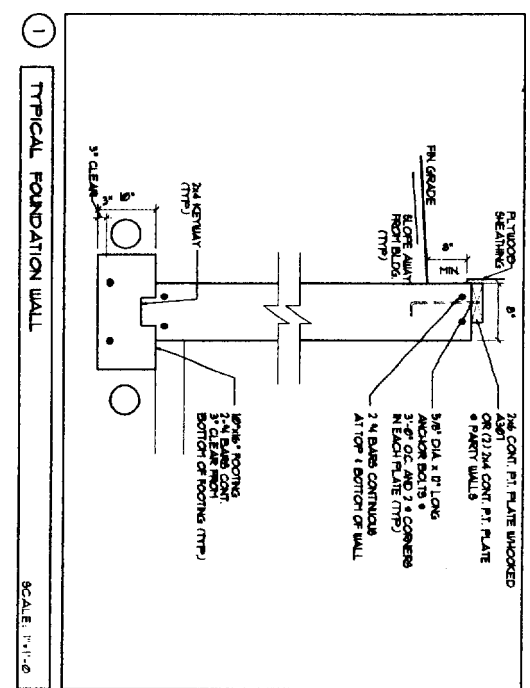
FOUNDATION NOTES:

1. REMOVE ALL SEALERS ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE BACKFILLED MULTILAYEREDLY ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE #11@12" x 3' CLEAR FROM BOTTOM OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE #11@12" x 3' CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVE PRESERVATIVE TREATED WOOD TO 8" W/2" RETENTION PER APA TYPICAL FLIGHT SPOUT FRAME.
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROUSSER TIGHT SPOUT FRAME.
1. SET BOTTOM OF FOOTING MIN 4" BELOW GRADE.
2. SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
3. RADIANT HEAT IN SLAB.
4. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ REINFORCING PROVIDE CONCRETE JOINTS & S/D BRACING OTHER.
5. ALL CONCRETE SHALL BE 3000 PSI (F) STRENGTH AT 28 DAYS.
6. ALL CONCRETE SHALL BE AIR ENTRAINED 4-5%.
7. ALL OTHER ADJUSTMENTS SHALL BE PRE-APPROVED.

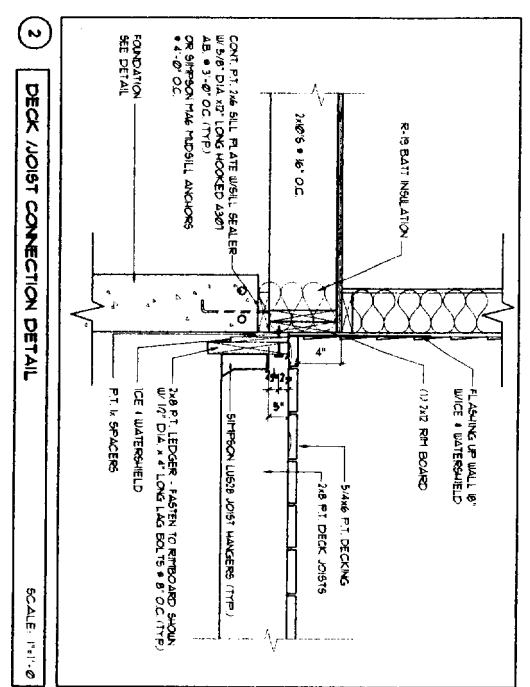
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13



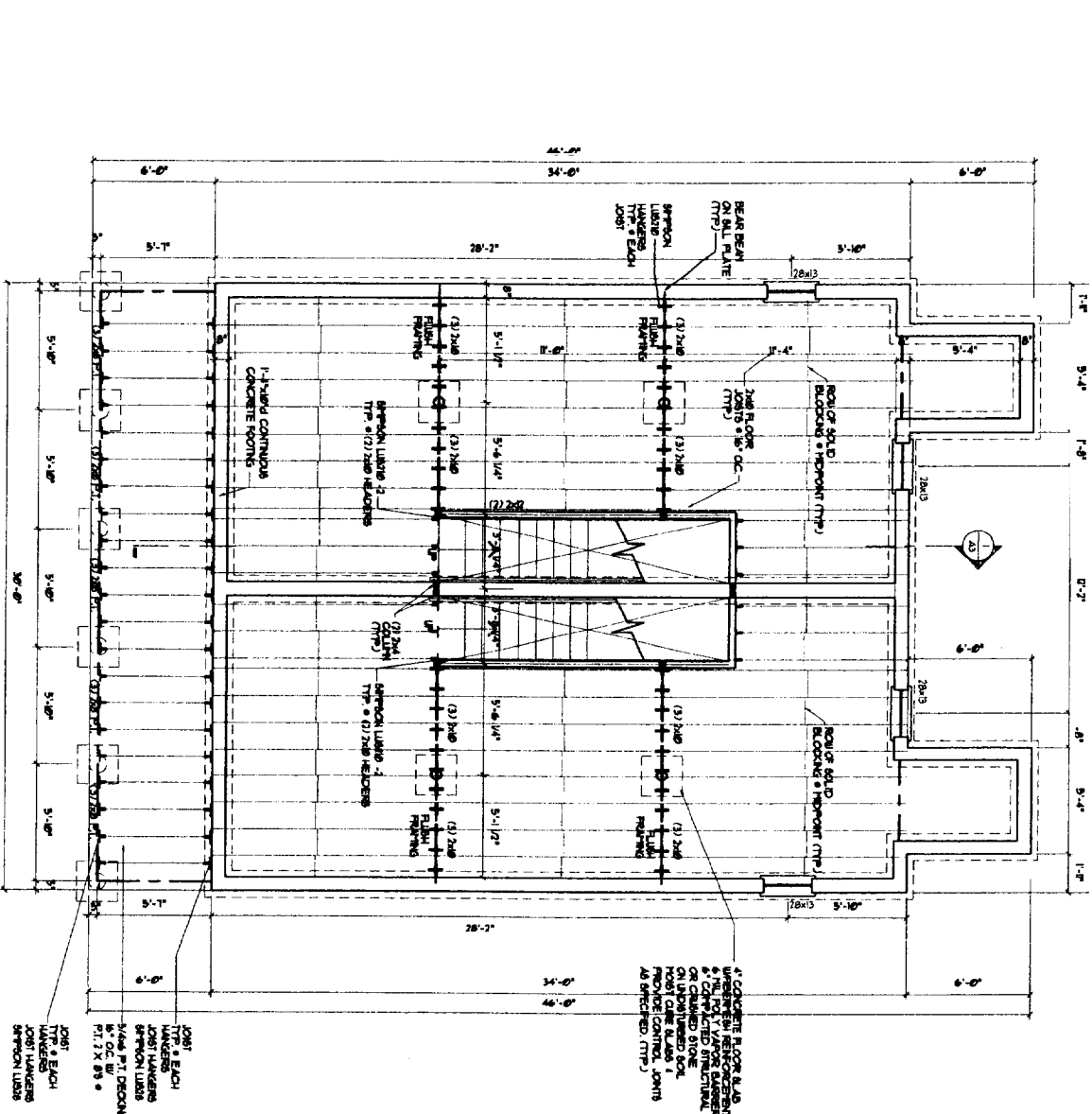
ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"



1 TYPICAL FOUNDATION WALL SCALE: 1/4" = 1'-0"



2 DECK JOIST CONNECTION DETAIL SCALE: 1/4" = 1'-0"



FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

<p>DATE: 04/18/24</p> <p>DRAWINGS THIS SHEET:</p> <p>FOUNDATION PLAN</p> <p>ROOF PLAN DETAILS</p>	<p>30 x 40 UNIT</p> <p>(FULL BASEMENT)</p> <p>SCHEME 'A'</p>
---	--

RECEIVED JUN 19 2004 OF PORTLAND

APPROVED SITE PLAN

Subject to Dept. Conditions

NOTES: Date of Approval: 6-9-04

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.

2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.

3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

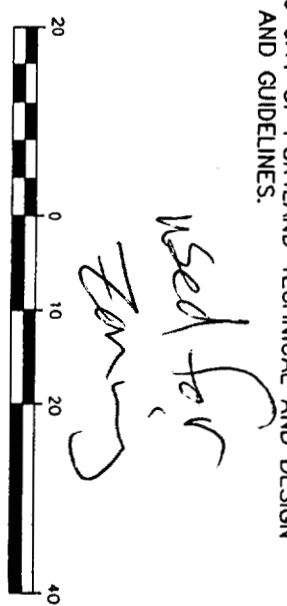
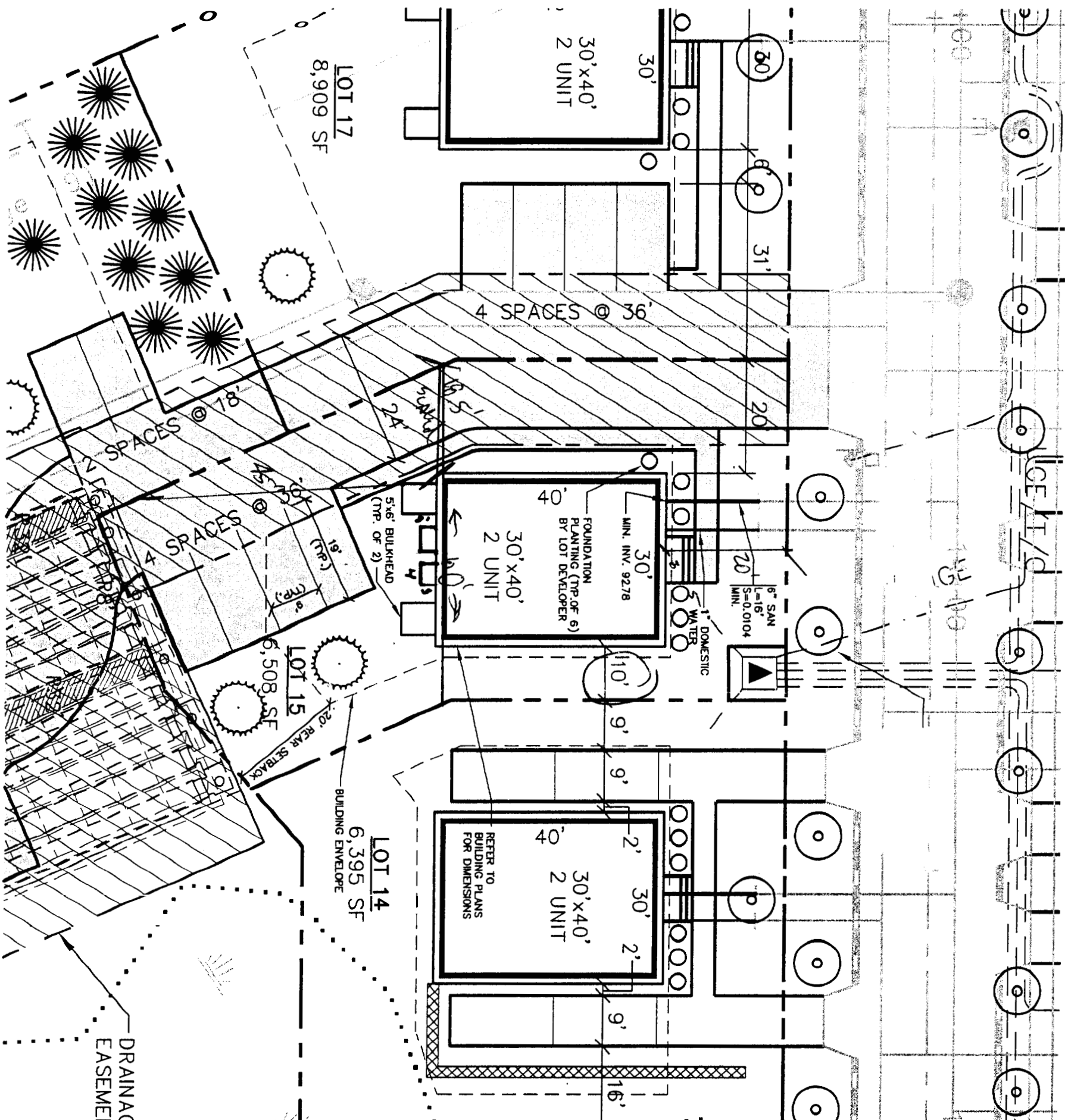
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.

5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

8.



REGISTERED PROFESSIONAL ENGINEER
 DOUGLAS E. REYNOLDS
 NO. 9868
 5-13-04

Rev.	Date	Revision

Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOT5	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gory, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: malbox@gorrillpalmer.com

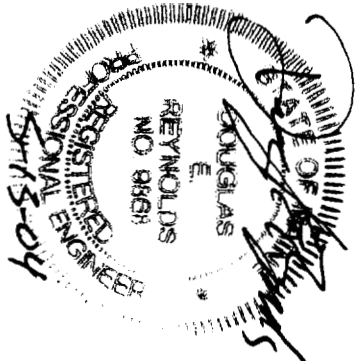
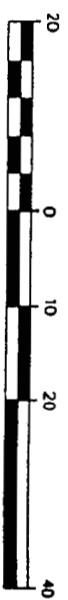
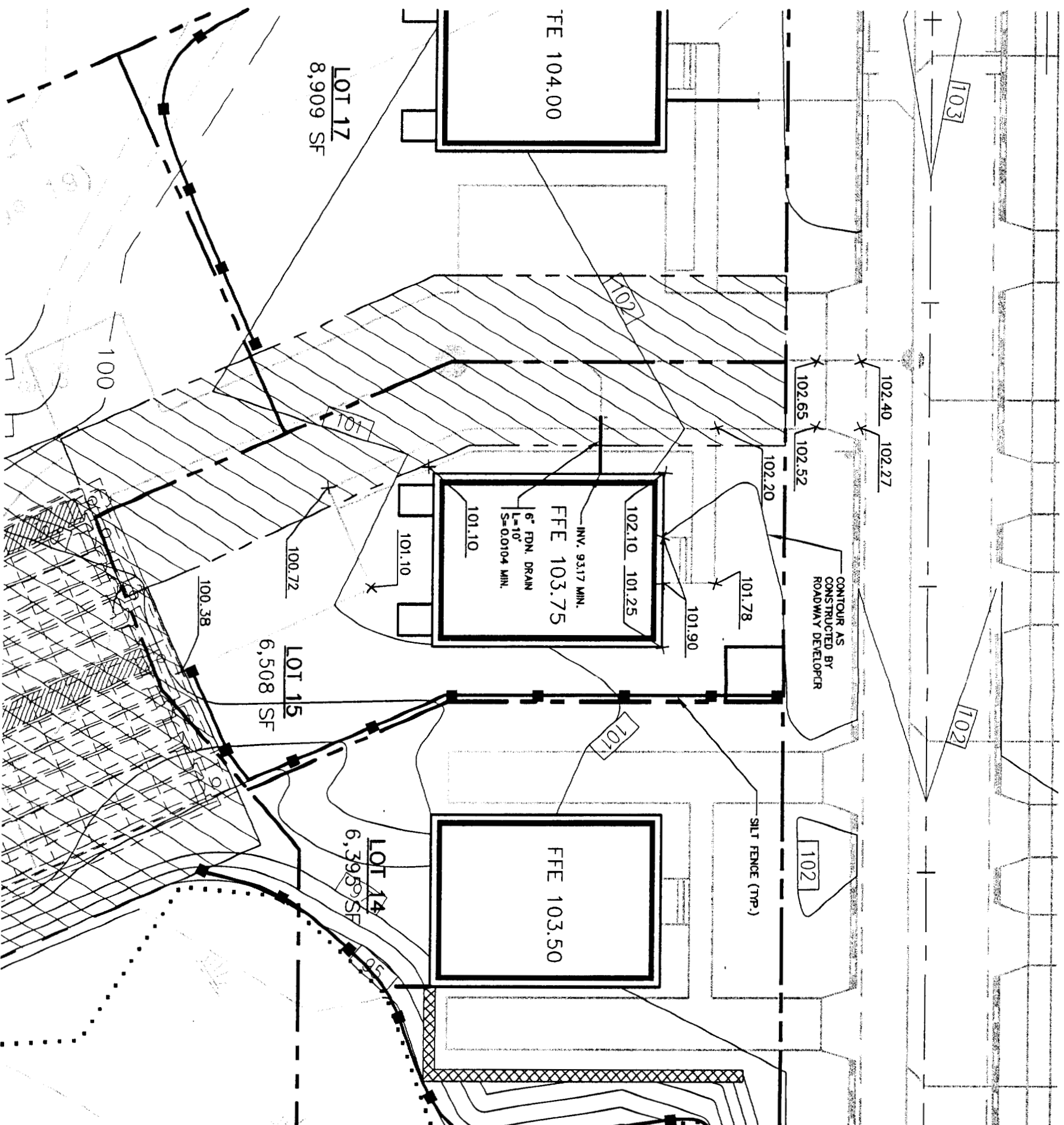
Drawing Name: **Lot 15 Lot Layout and Utility Plan**
 Project: **CARRIAGE LANE**
 Figure No. **1**

RECEIVED JUN 3 2004

NOTES:

1. ALL DISTURBED AREAS NOT SUBJECT TO EROSION CONTROL MEASURES SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: *6-24-04*



Rev	Date	Revision

Design:	DER	Date:	4/04
Draft:	CAH	Job No.:	632
Checked:	DER	Scale:	1"=20'
File Name:	632-1015		

GP
 Gorill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 P.O. Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912

Drawing Name:
 Project: **Lot 15 Grading Plan**
CARRIAGE LANE

Figure No.: **2**