

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0087	Issue Date: FEB 13 2002	CBL: 341 A023001
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Location of Construction: 79 Maggie Ln (lot #13)	Owner Name: C G B Properties Llc	Owner Address: 84 Country Ln	Phone:
Business Name: n/a	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone: 2077728629
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Multi Family	Zone:
Past Use: Multi Units	Proposed Use: Multi Units / Build 2 Decks to existing building; 8' x 5' and 8' x 3'	Permit Fee:	Cost of Work: \$1,000.00
Proposed Project Description: Build 2 Decks 8' x 5' and 8' x 3'.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <input checked="" type="checkbox"/> Type: SB BOCA 99
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: gg	Date Applied For: 01/29/2002	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>[Signature]</i> 1/11/02	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

02 0087

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

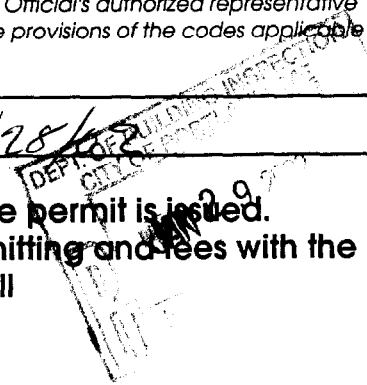
Location/Address of Construction: <u>MAGGIELANE SUB DIVISION LOT 13 MAGGIELANE</u>		
Total Square Footage of Proposed Structure <u>2 DECKS</u>	Square Footage of Lot <u>16,629</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>341</u> Block# <u>A</u> Lot# <u>023</u>	Owner: <u>DWIGHT BRACKETT</u>	Telephone: <u>772,8629</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>1,000</u> Fee: \$ <u>30.00</u>
Current use: <u>MULTI UNIT</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>BUILD 2 DECKS TO EXIT BUILDING</u>		
Project description:		
Contractor's name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE PORTLAND ME,</u>		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-8629</u>		

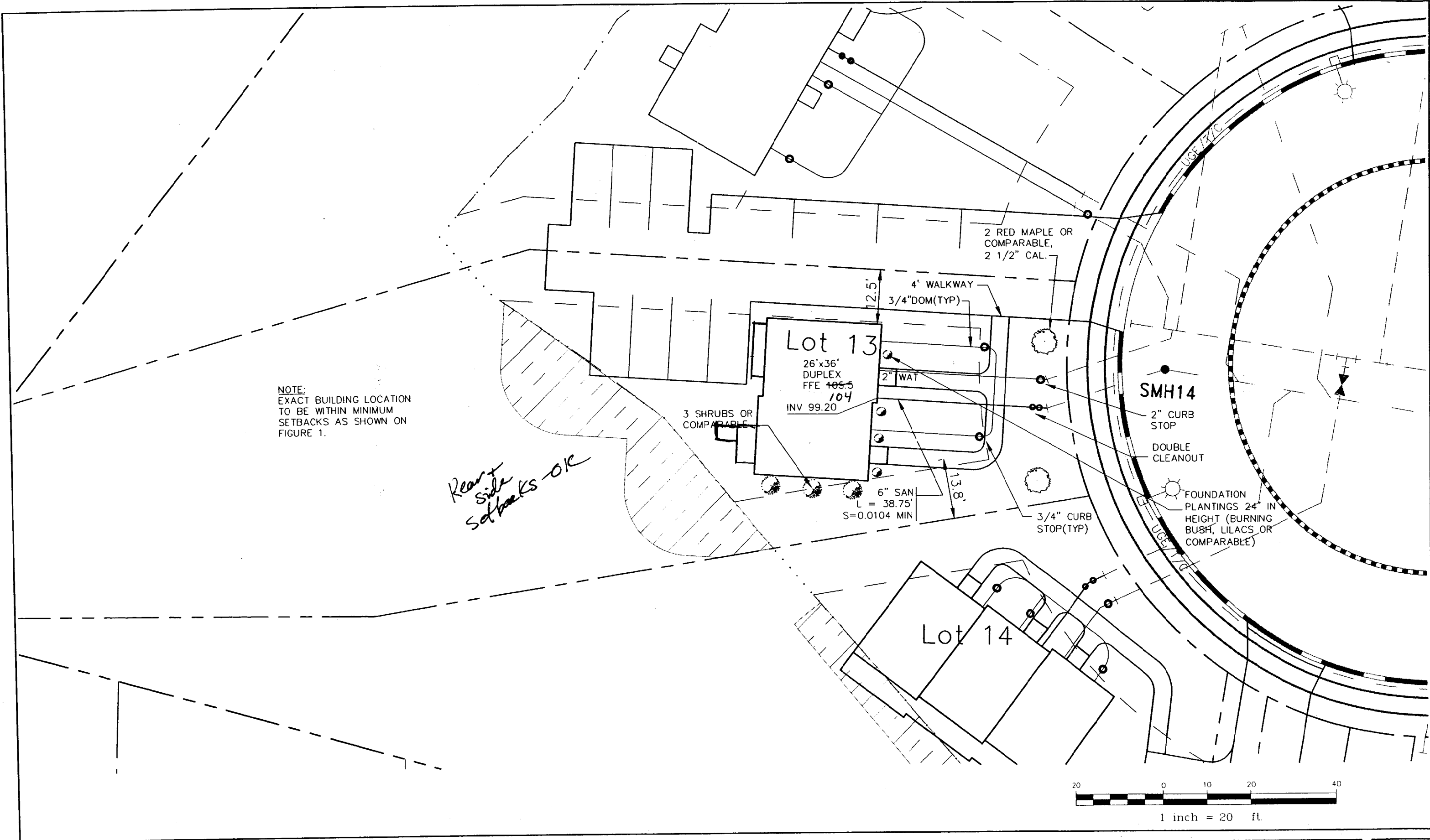
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dwight Brackett</u>	Date: <u>1/28/02</u>
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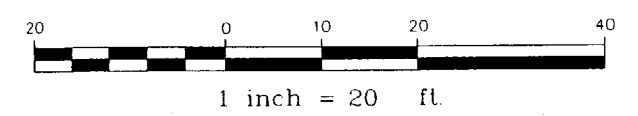
This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





NOTE:
EXACT BUILDING LOCATION
TO BE WITHIN MINIMUM
SETBACKS AS SHOWN ON
FIGURE 1.

*Rear +
Side
Setbacks - OK*



Rev.	Dcte	Revision

Design: DER	Date: MAY 2001
Draft: RAT	Job No: 99103
Checked: AMP	Scale: 1"=20'
File Name: 99103-ALL-LOTS2.DWG	

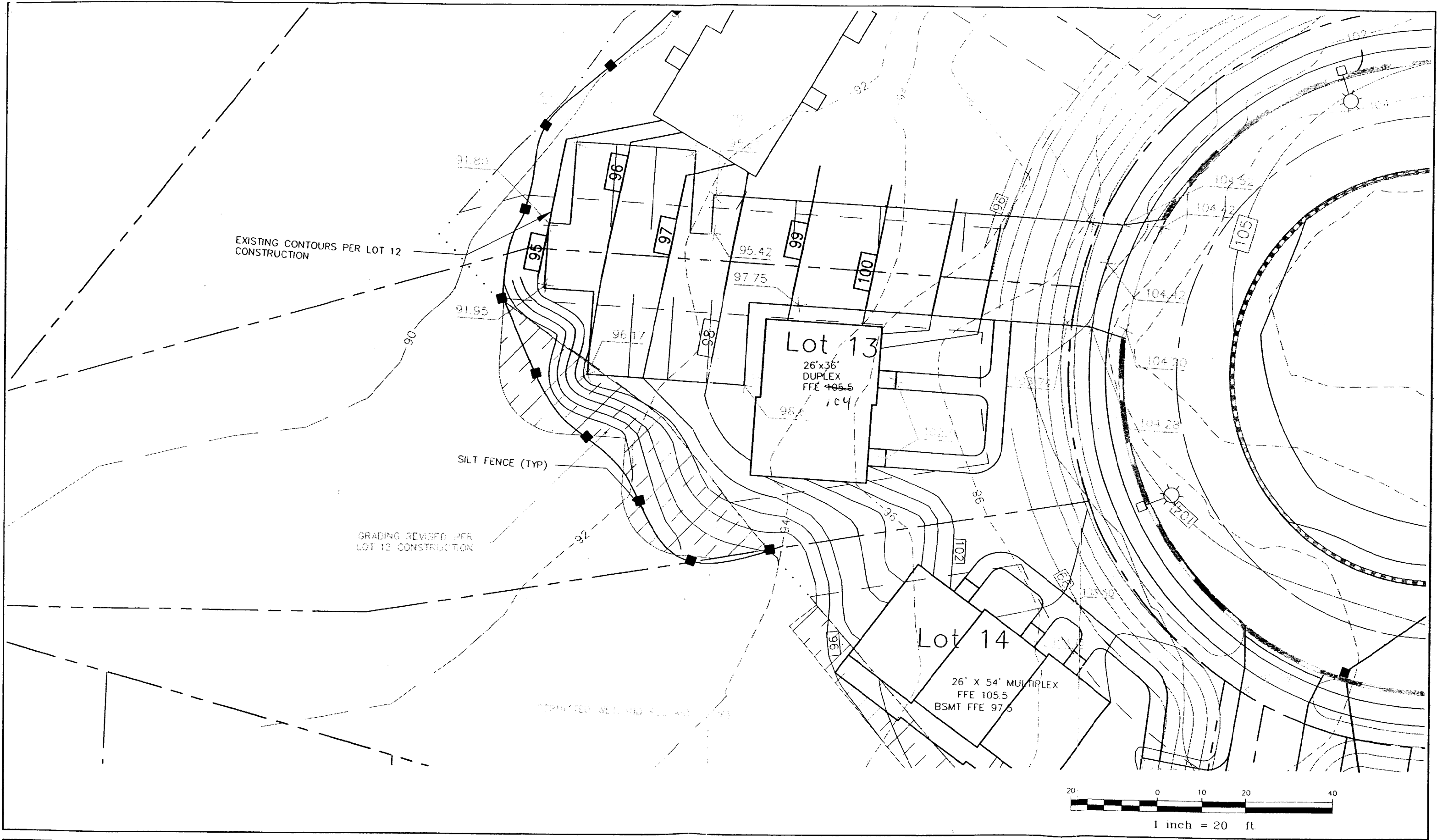
GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
 26 Main Street
 Gray, ME 04039

207-657-6910
 FAX: 207-657-6912
 E-Mail: gpcei@maine.rr.com

Drawing Name:	Layout & Utilities Lot 13
Project:	MAGGIE LANE DEVELOPMENT, LLC.

Figure No.
2



Rev.	Date	Revision

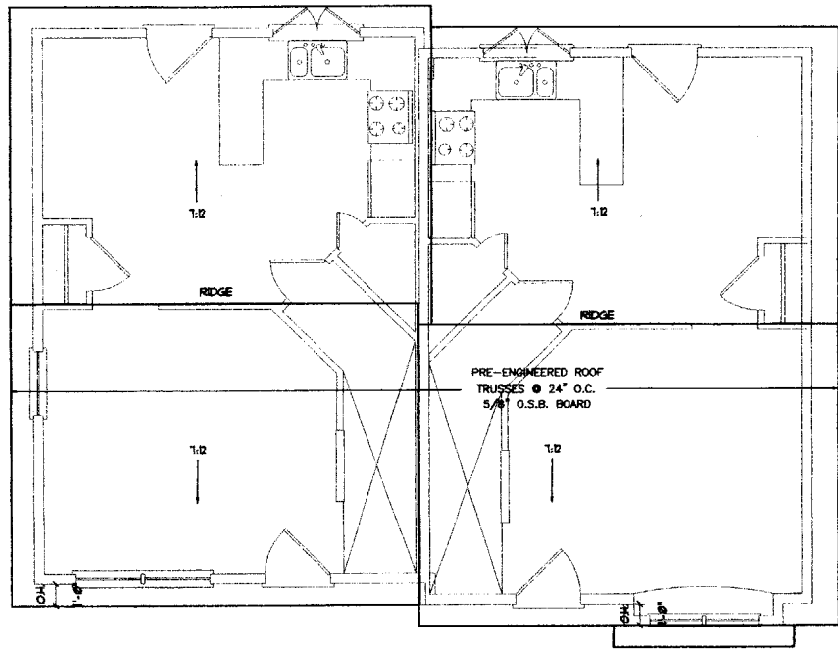
Design	DER	Date	MAY 2001
Draft	RAT	Job No.	99103
Checked	AMP	Scale	1"=20'
File Name: 99103-ALL-LOTS2.DWG			

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
 26 Main Street
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: gpcer@iname.com

Drawing Name:	Grading & Drainage Lot 13
Project:	MAGGIE LANE DEVELOPMENT, LLC.

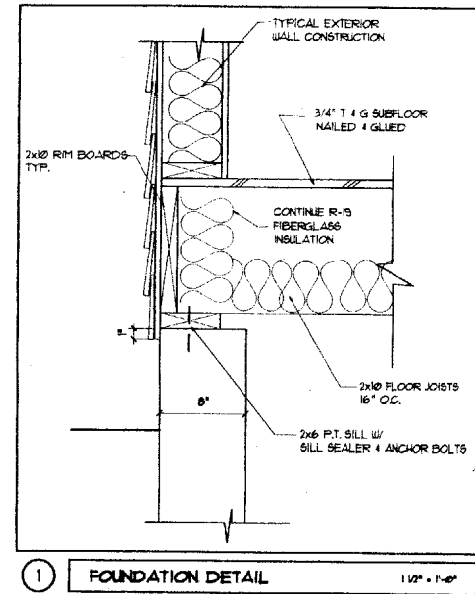
Figure No
3



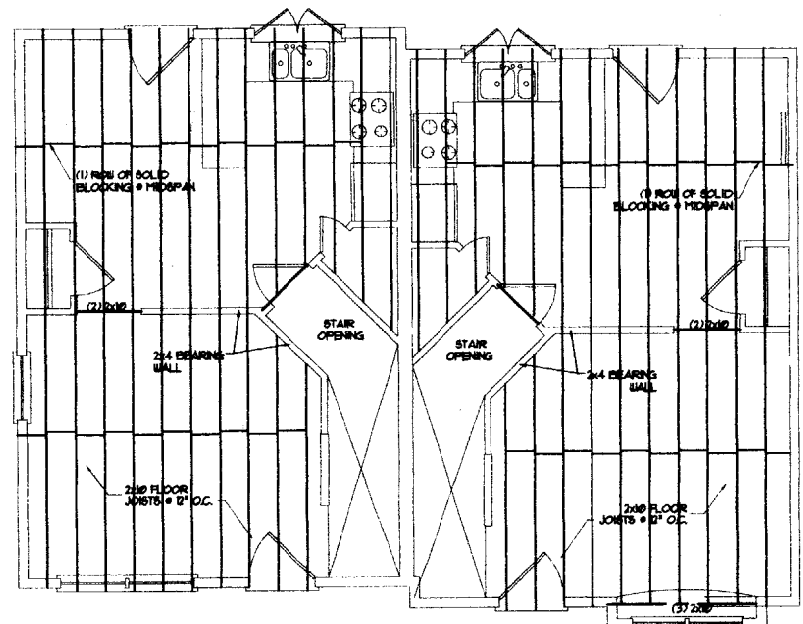
ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

FOUNDATION NOTES:

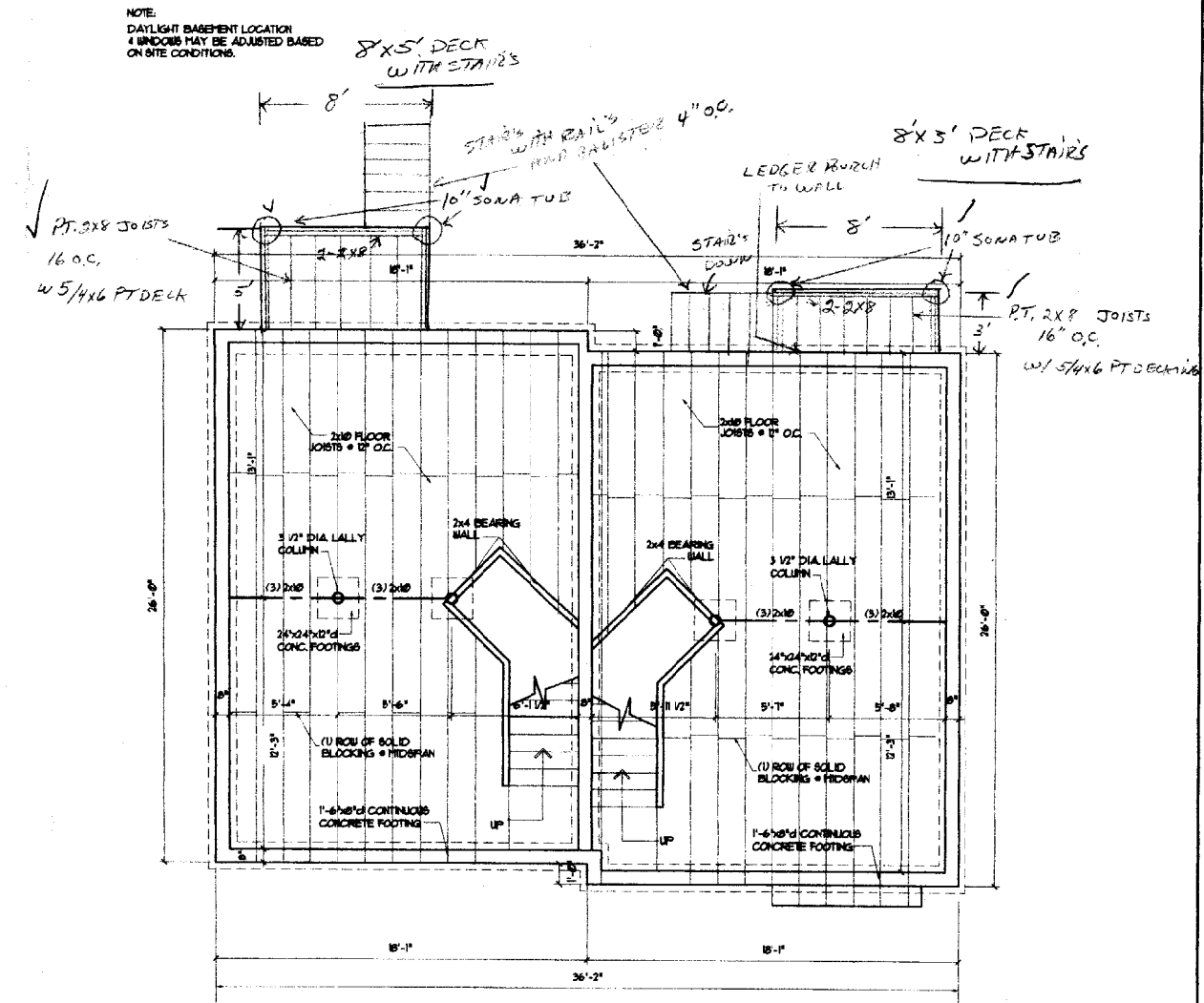
1. PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. DOUBLE FLOOR FRAMING BELOW ALL PARTITIONS AND KITCHEN CABINET FACES / TOES.
9. SET ALL FOOTINGS ON UNDISTURBED SOIL.



① FOUNDATION DETAIL 1/2" = 1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"



FOUNDATION / FRAMING PLAN
SCALE: 1/4" = 1' - 0"

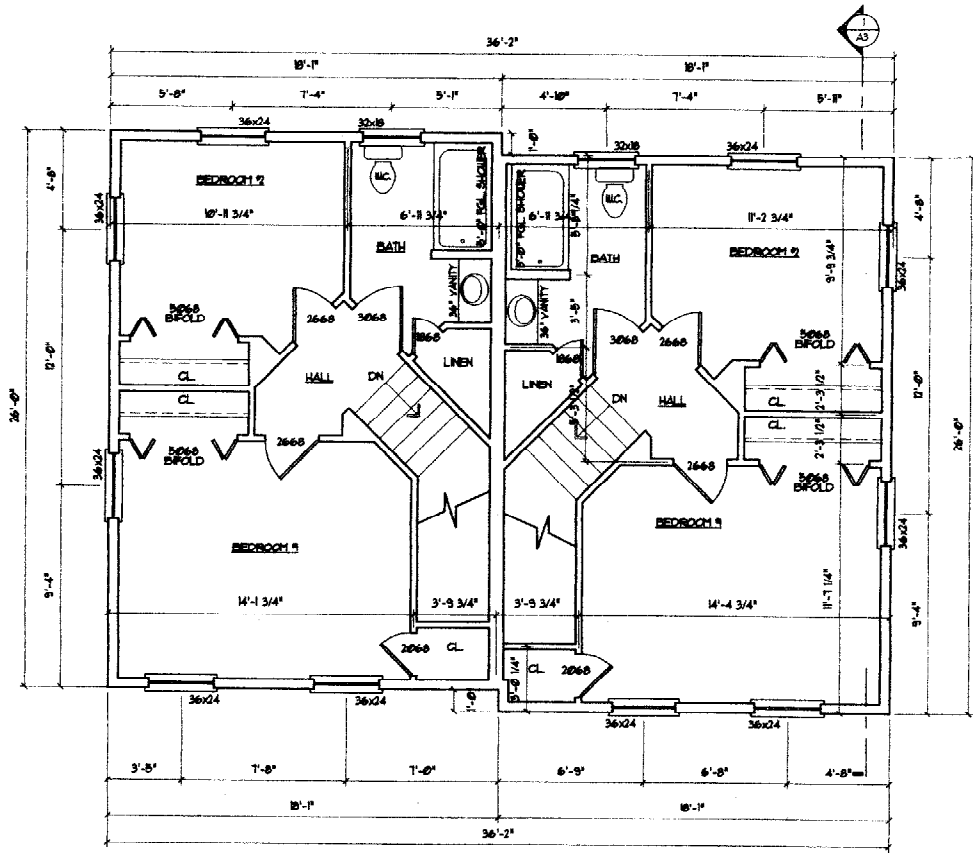
NO.	DATE	REVISIONS DESCRIPTION
1	5/28/01	PLAN REVISIONS

DUPLEX UNIT

DRAWINGS THIS SHEET
 FOUNDATION PLAN / FRAMING PLANS

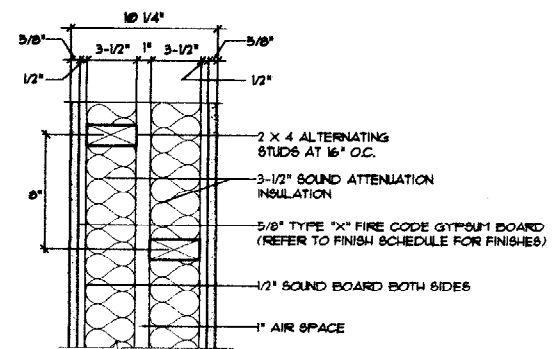
NUMBER	DATE
N/A	05/22/01
DRAWN	CHECKED
DL6	DL6

A1



SECOND FLOOR PLAN

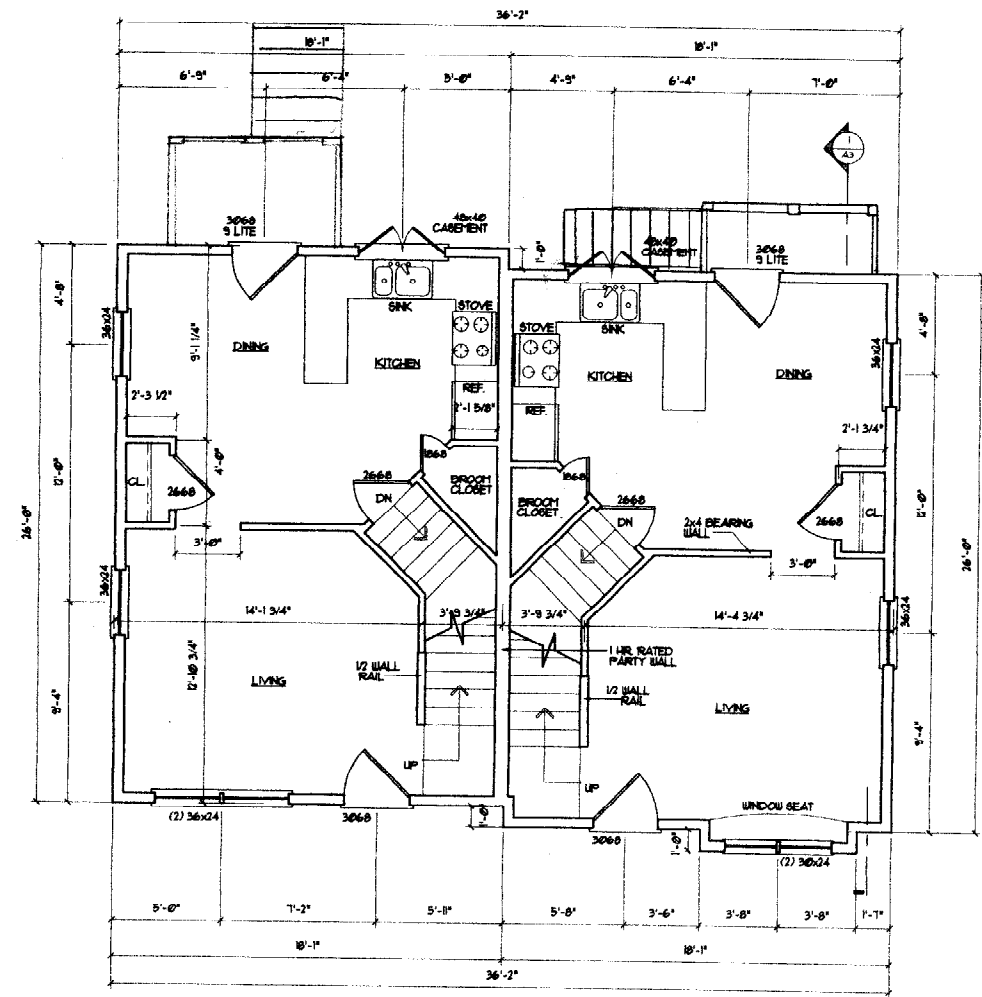
SCALE: 1/4" = 1'-0"



1 PARTY WALL (1) HRRATED 1 1/2" = 1'-0"

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/16" O.S.B. SHEATHING @ EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
3. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
4. THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

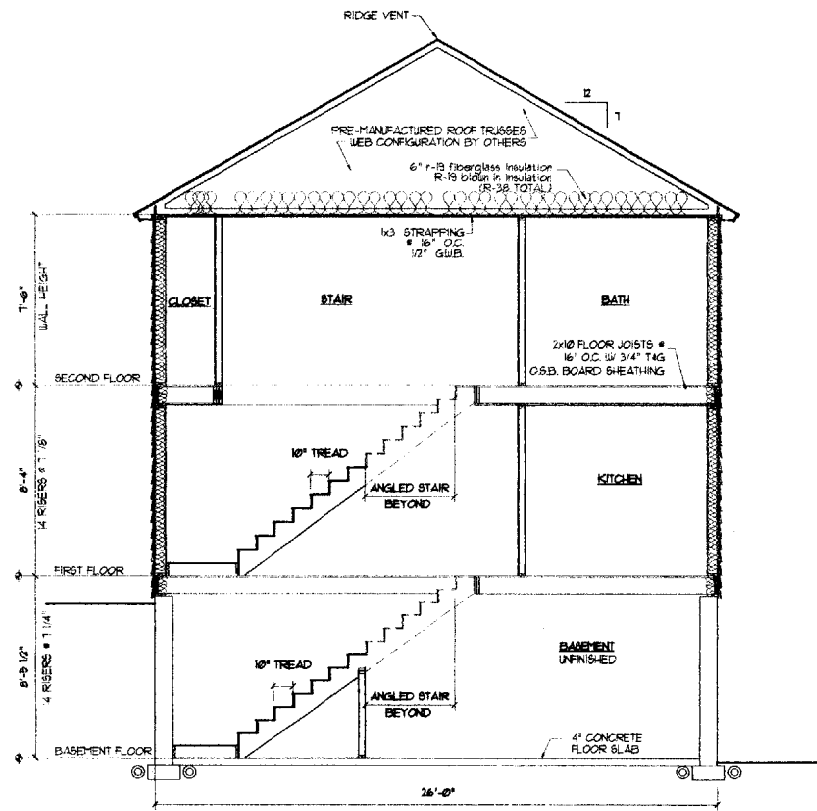
NO.	DATE	REVISIONS	DESCRIPTION

DUPLEX UNIT

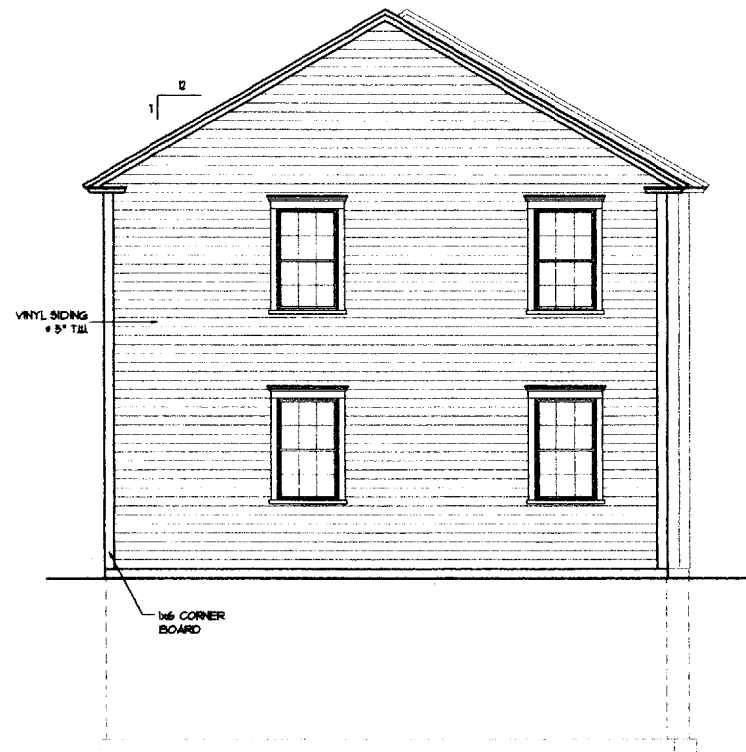
FIRST FLOOR PLAN / SECOND FLOOR PLAN

NUMBER	DATE
N/A	05/22/01
DRAWN	CHECKED
DL6	DL6

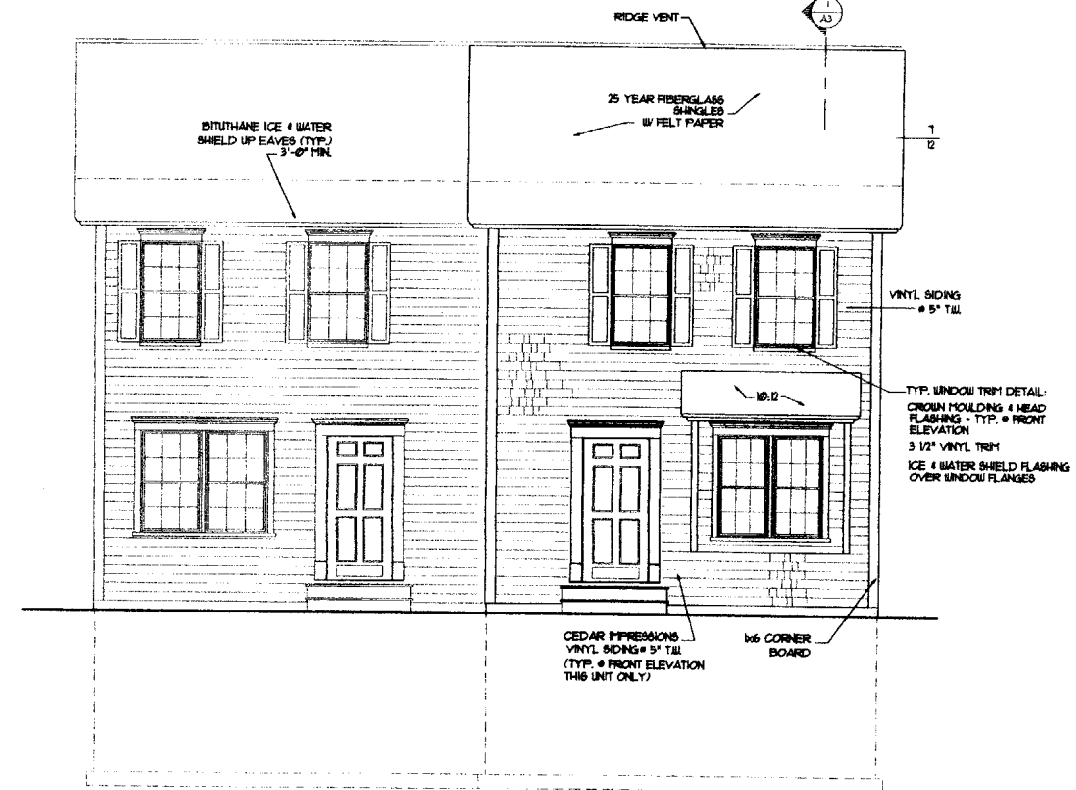
A2



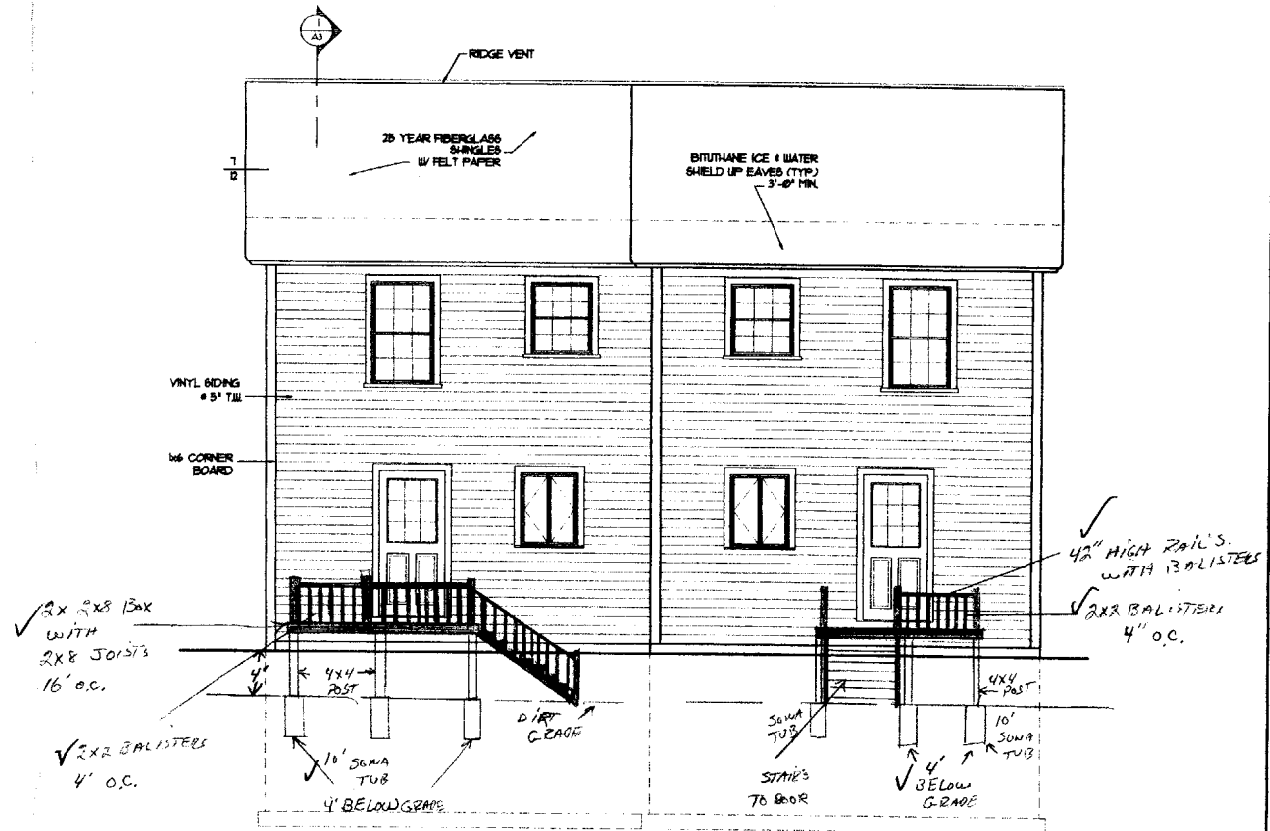
SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"



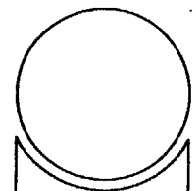
RIGHT SIDE ELEVATION
(LEFT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"



NO.	DATE	REVISIONS	DESCRIPTION
1	8/28/01	PLAN REVISIONS	

DUPLEX UNIT

DRAWINGS THIS SHEET
ELEVATIONS / SECTION

NUMBER	DATE
N/A	05/12/01
DRAWN	CHECKED
DLB	DLB

A3

SPACE AND BULK REQUIREMENTS - LOT 13

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Yon Eud

Design: DER	Date: MAY 2001
Draft: RAT	Job No.: 334
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

GP	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 13
Project: MAGGIE LANE, PORTLAND

Figure No.

1