

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0189	Issue Date: MAR 29 2002	QBL: 341 A022001
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Location of Construction: 75 Maggie Ln	Owner Name: Cala Mirela &	Owner Address: 75 Maggie Ln	Phone: 207-797-9304
Business Name: n/a	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Multi Family	Zone: R-5

Past Use: Multi Family / 3 Unit	Proposed Use: Multi Family / Build two 12' x 24' decks and one 12' x 16' deck. <i>3 unit only in bldg</i>	Permit Fee:	Cost of Work: \$2,000.00	CEO District: 1
Proposed Project Description: Build two 12' x 24' decks and one 12' x 16' deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: JB 3/29/02 <i>[Signature]</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 03/01/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Review <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Decks only NO STAIRS</i> <i>ok with conditions</i> Date: 3/1/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>[Signature]</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

NEED:

- 1) COLUMN SPACING
- 2) ~~ROOF PLAN~~
BALUSTERS TOO FAR
APART!

Called Owner - 3/20/02
@ 12:30 pm

020189

All Purpose Building Permit Application

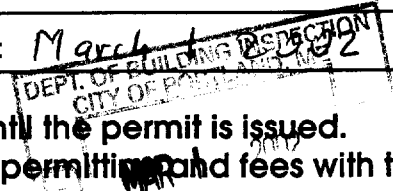
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>77 Maggie Lane Portland, ME 04103</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>341</u> Block# <u>A</u> Lot# <u>022</u>	Owner: <u>Fotag Cala</u> <u>Fred</u>	Telephone: <u>XX Call</u> <u>(207) 797-9304</u> <u>W# 761-0807 X 7131</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>77 Maggie Lane</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>2000.00</u> Fee: \$ <u>37.00</u>
Current use: <u>Duplex 3 UNIT</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>same</u>		
Project description: <u>Build 2 Decks 12' x 24' and 12' x 16'</u>		
Contractor's name, address & telephone: <u>owner</u>		
Who should we contact when the permit is ready: _____		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Fotag Cala</u>	Date: <u>March 25, 2002</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

March 1' 2002

City of Portland
389 Congress Street
Portland, ME 04101

Attn: Building Permit Department.

Reference: Maggie Lane
Lot nr° 12

Subject: Permit to build 2 Wooden Decks
on the side of the building.

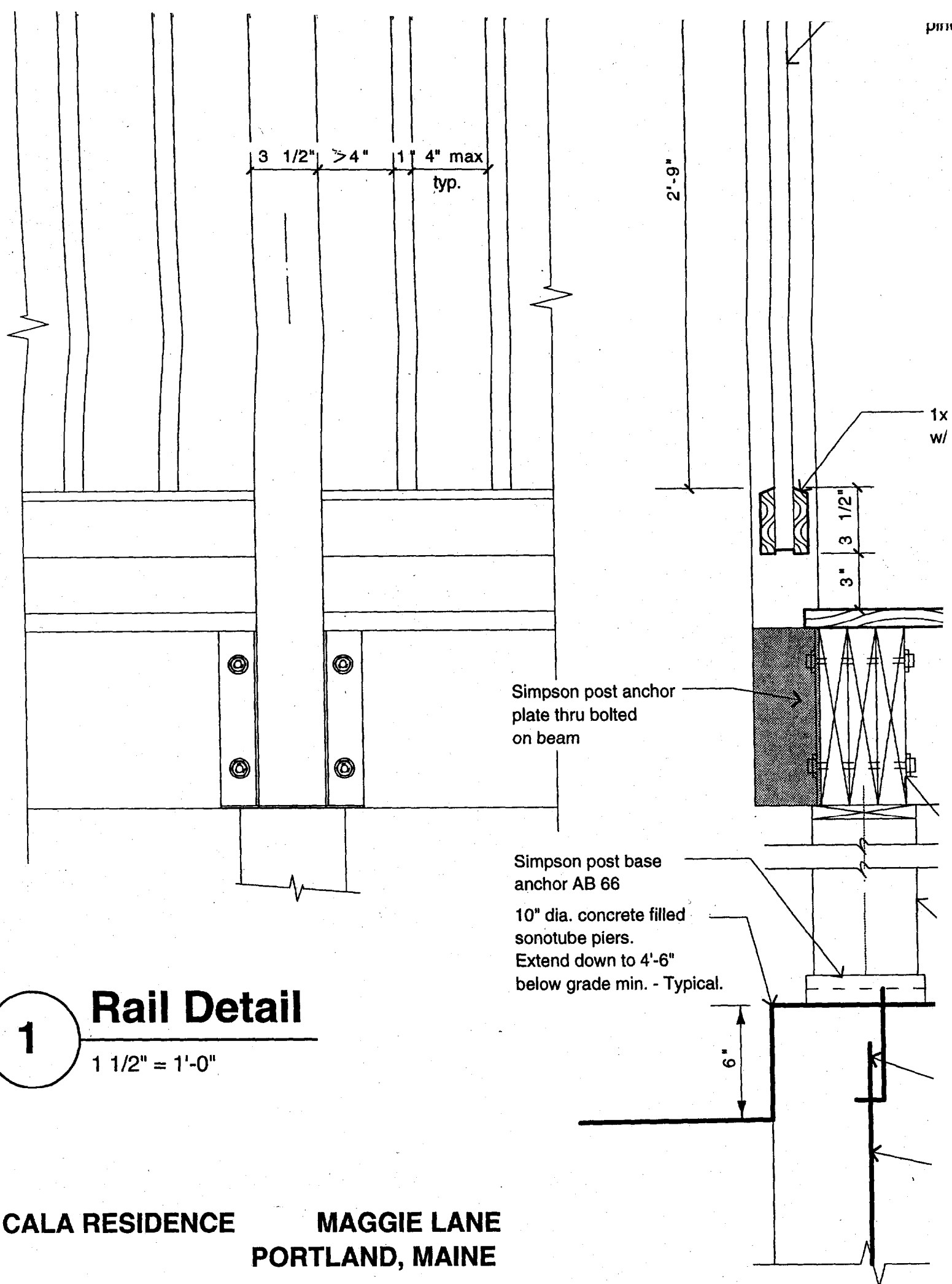
Deck # 1 / Owners Unit

Size 12x24 Deck with 3'6" Railing.

Deck # 2 / Rental Units

Size 12x16 with a wooden separator
6' high down the center with 3'6"
Railing.

Estimate Cost \$2000.⁰⁰



1

Rail Detail

1 1/2" = 1'-0"

Simpson post anchor plate thru bolted on beam

Simpson post base anchor AB 66

10" dia. concrete filled sonotube piers. Extend down to 4'-6" below grade min. - Typical.

CALA RESIDENCE

MAGGIE LANE
PORTLAND, MAINE

Application ID Number: 2-0189

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date: 03/29/2002

Given On Date: 03/13/2002

OK to Issue Permit

Name: Mike Nugent

Date: 03/29/2002

Date 2:

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Balluster must be LESS than 4" apart

Create Date: 03/06/2002 By gg

Update Date: 03/29/2002 By gg

Application ID Number: 2-0189

Department: Zoning

Status: Approved with Conditions

Approvers: Marge Schmuckal

Comments: 75-77 Maggie Ln

Approval Date: 03/11/2002

Allowance Date: 03/07/2002

OK to Issue Permit Name: Marge Schmuckal Date: 03/11/2002

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

This is an approval for decks only. THERE SHALL BE NO STAIRS FROM THE DECKS TO THE GROUND.

Create Date: 03/07/2002 By: jodinea Update Date: 03/11/2002 By: mes

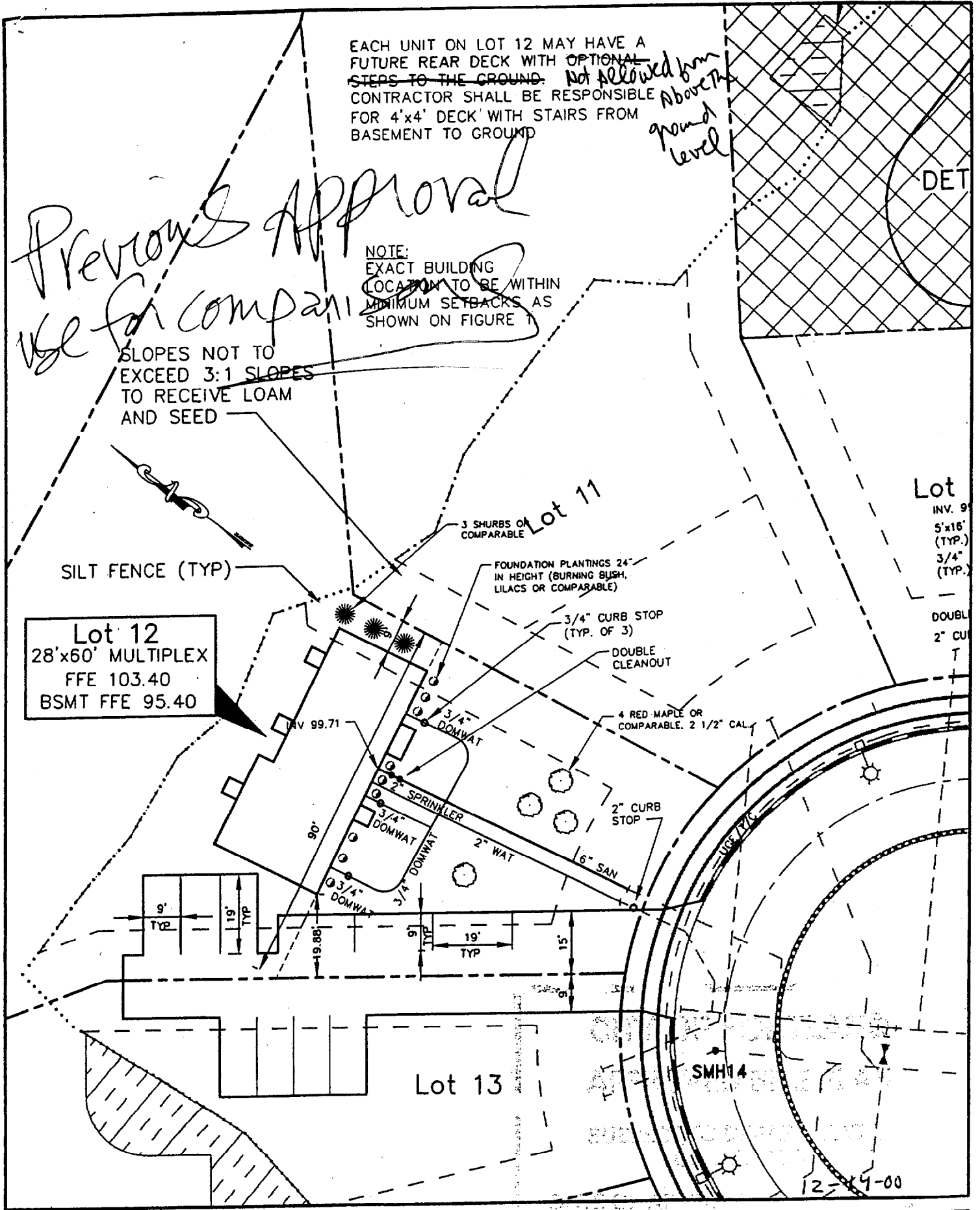
EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL ~~STEPS TO THE GROUND~~. *Not Allowed from ground level*
 CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

*Previous Approval
 Use for comparison*

NOTE:
 EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1

SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

Lot 12
 28'x60' MULTIPLEX
 FFE 103.40
 BSMT FFE 95.40



Lot
 INV. 9'
 5'x16'
 (TYP.)
 3/4"
 (TYP.)
 DOUBL
 2" CU
 T

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Corrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237, 26 Main Street
 Gray, ME 04039
 207-657-6910

Drawing Name:
Layout & Utilities-Lot 12 & 13
 Project:
MAGGIE LANE, PORTLAND

Figure No.
2

STATUTORY WARRANTY DEED
(Maine Statutory Short Form)

CUSTOM BUILT HOMES OF MAINE, INC., a Maine Corporation, with a principal place of business in the Town of Windham, County of Cumberland and State of Maine.

For Consideration Paid, GRANTS with WARRANTY COVENANTS TO:

MIRELA CALA and FOTAQ CALA, with a mailing address of 10 Whitebirch Lane, #1, Portland, Maine 04103 as Joint Tenants

A certain lot or parcel of land with any improvements thereon situated northeasterly of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 12 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, as amended in Plan Book 200, Page 412.

The herein conveyance is subject to and together with the benefit of the following:

1. The rights in common with others to Maggie Lane as shown on said Plan.
2. Easement of Deed from Maggie Lane Development, LLC to the City of Portland dated April 11, 2000 and recorded in Book 15413, Page 102.
3. Easement Deed from Maggie Lane Development, LLC to Portland Water District dated April 11, 2000 and recorded in Book 15413, Page 104.
4. Easements as set forth in the deed from W.A. One, Inc. to Maggie Lane Development, LLC dated April 11, 2000 and recorded in Book 15413, Page 106.
5. Declaration of Restrictions and Covenants, Maggie Lane dated June 7, 2000 and recorded in Book 15522, Page 54.
6. Easement and encumbrances as set forth on said plan for Maggie Lane Development, LLC dated February 2, 1999 and recorded in Plan Book 200, Page 412.
7. Notes as set forth on said plan of Maggie Lane Subdivision recorded in Plan Book 200, Page 412.
8. Common Driveway Easement with Lot 13 as shown on said plan. The lot herein conveyed and said Lot 13 shall share equally in the use, maintenance and repair of said driveway, and no occupants of either lot shall do anything to interfere with the use of said driveway by the occupants of the other lot.

This conveyance is subject to the following restrictions, which the Grantees covenant and

agree by acceptance of the herein deed shall be binding upon the Grantees, their heirs and assigns:

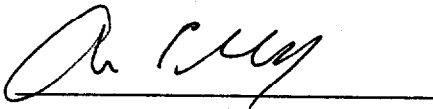
1. The lot herein conveyed shall not be further subdivided without Maggie Lane Development, LLC's written, recorded approval. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purposes.
2. The herein conveyance specifically excludes any rights in a certain twenty-five (25) foot right-of-way extending from the northeasterly sideline of Forest Avenue to the southwesterly sideline of Lot 17 as shown on said plan.
3. Lot 12 shall be limited to not more than three (3) residential units.

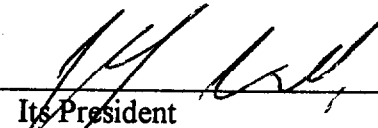
This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantor herein by Deed of Maggie Lane Development, LLC, dated November 16, 2000 and recorded in the Cumberland County Registry of Deeds in Book 15859, Page 281.

Witness my hand this 13 day of April, 2001.

CUSTOM BUILT HOMES OF MAINE, INC.



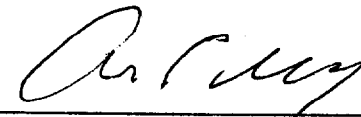
By: 
Its President

THE STATE OF MAINE

Cumberland, ss.

April 13, 2001

Then personally appeared the above-named Ronald S. Smith, Jr., of Custom Built Homes of Maine, Inc., and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.



Attorney at Law/Notary Public
Alan C. Wolf

File No: 00031018

Exhibit A - Mortgage

A certain lot or parcel of land with the buildings and improvements thereon situated in Portland, County of Cumberland, and State of Maine and being bounded and described as follows:

Being Lot 12 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded in the Cumberland County Registry of Deeds in Plan Book 200, Page 412.

Meaning and intending to describe and mortgage the same premises conveyed to the mortgagor(s) by deed of near or even date to be recorded herewith.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- N/A Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Fotag Cgla

Signature of applicant/designee

Date

3/29/02

Signature of Inspections Official

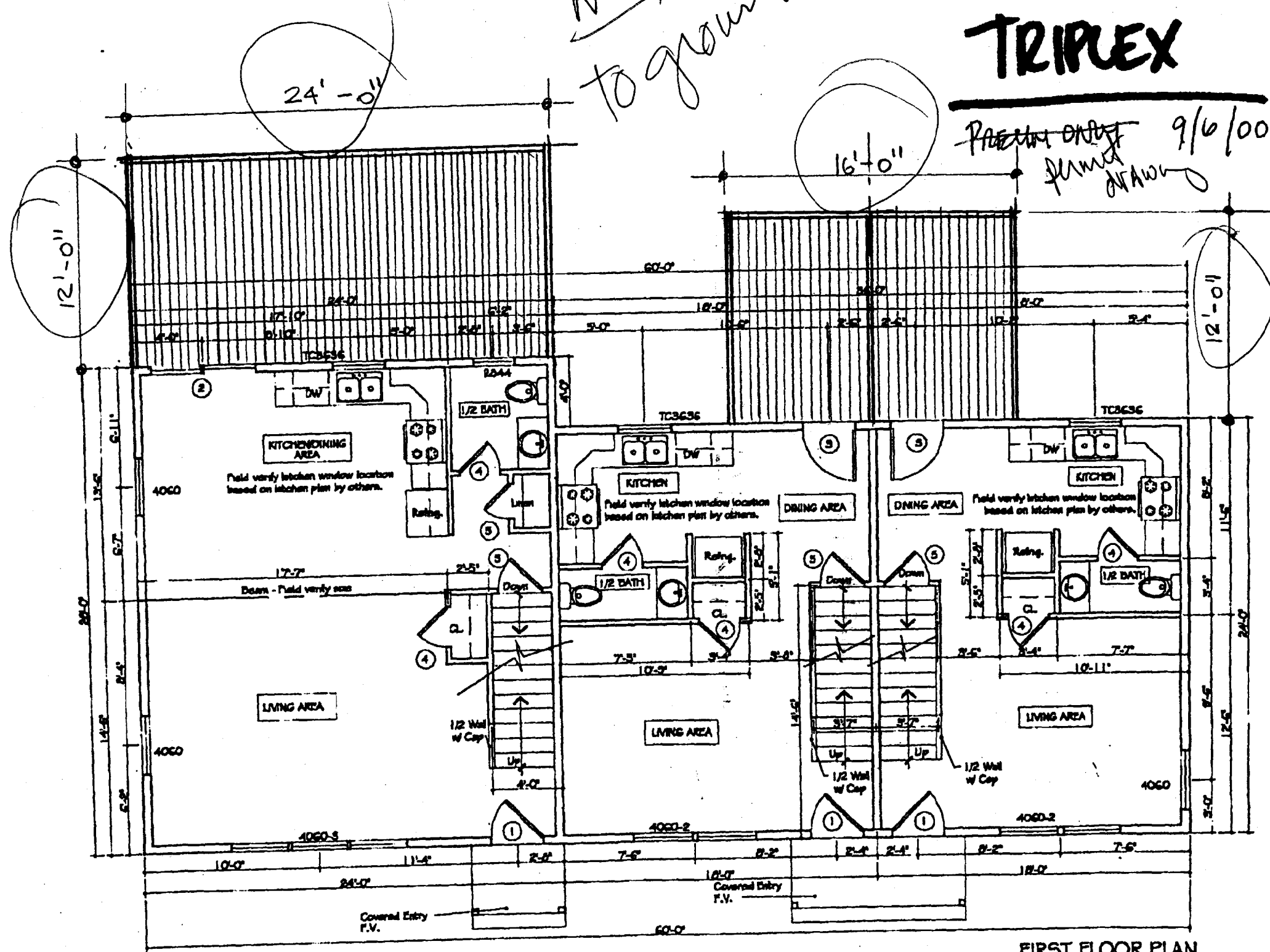
Date

CBL: 341A022 Building Permit #: 020189

No stairs allowed to ground allowed

TRIPLEX

PERMITTED DRAWING 9/6/00



FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

SILT FENCE (TYP)

Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

NEW DECK ADDITION

CALA RESIDENCE

Lot 11
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

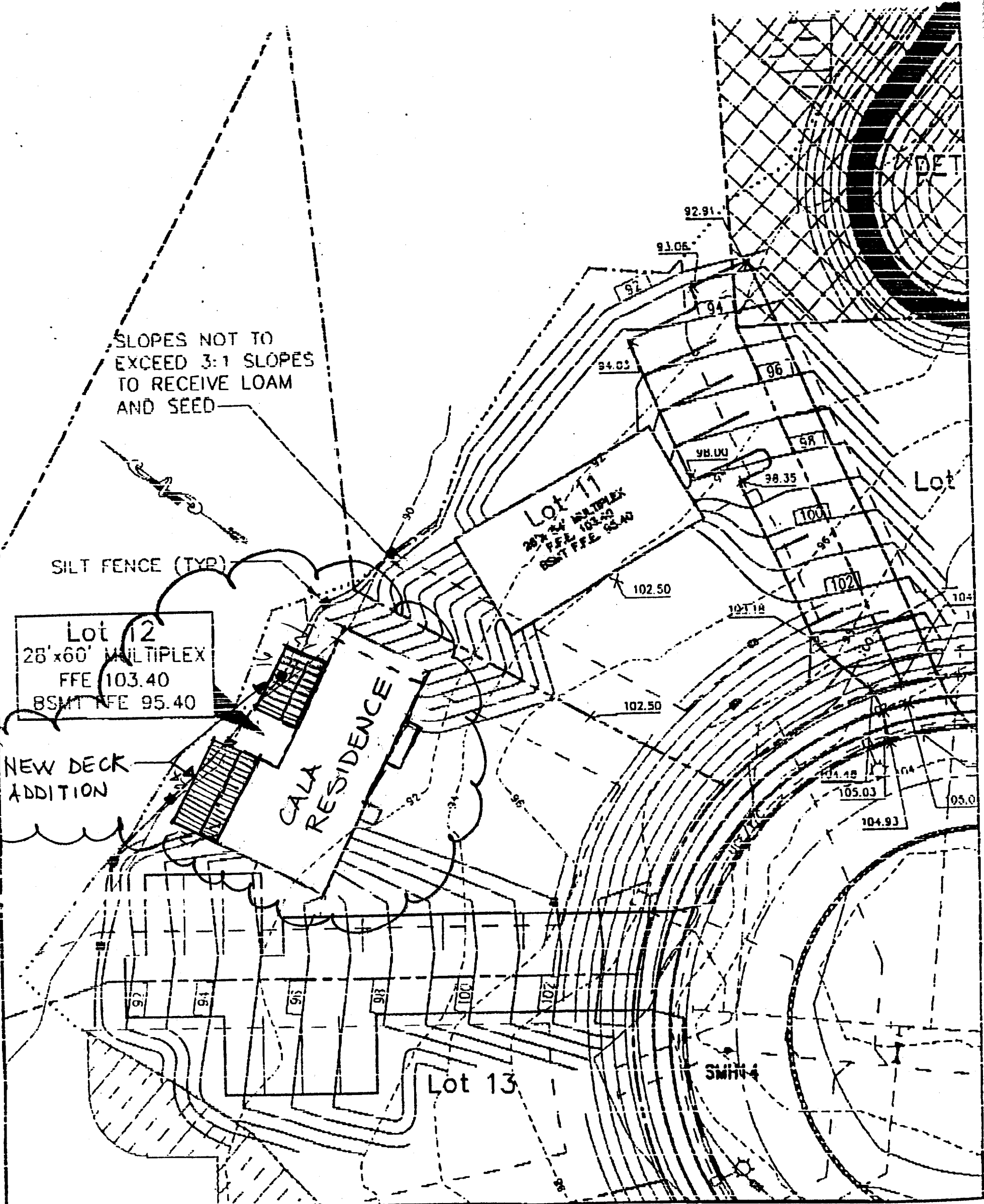
Lot 13

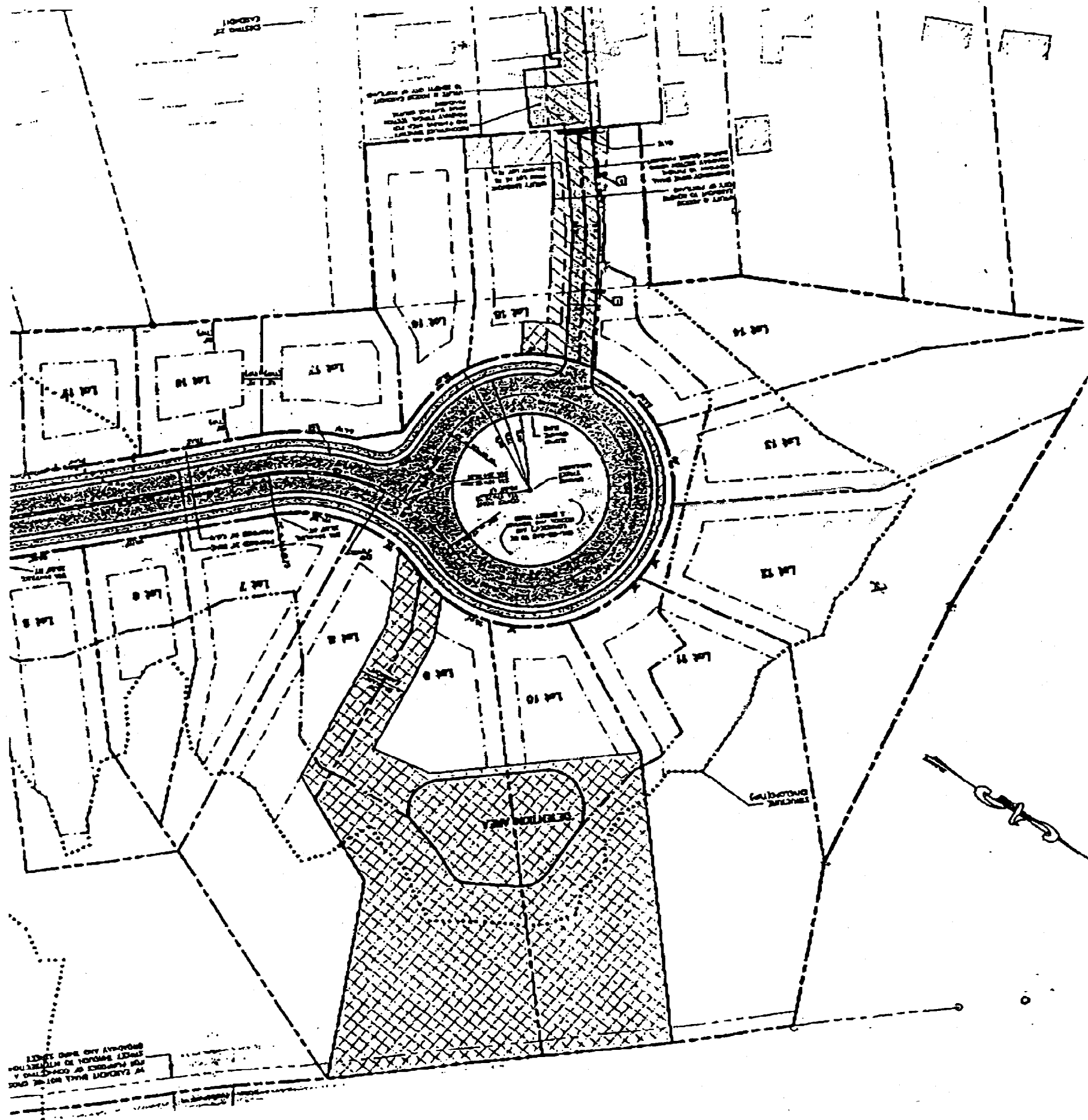
SMH 4

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: ALP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

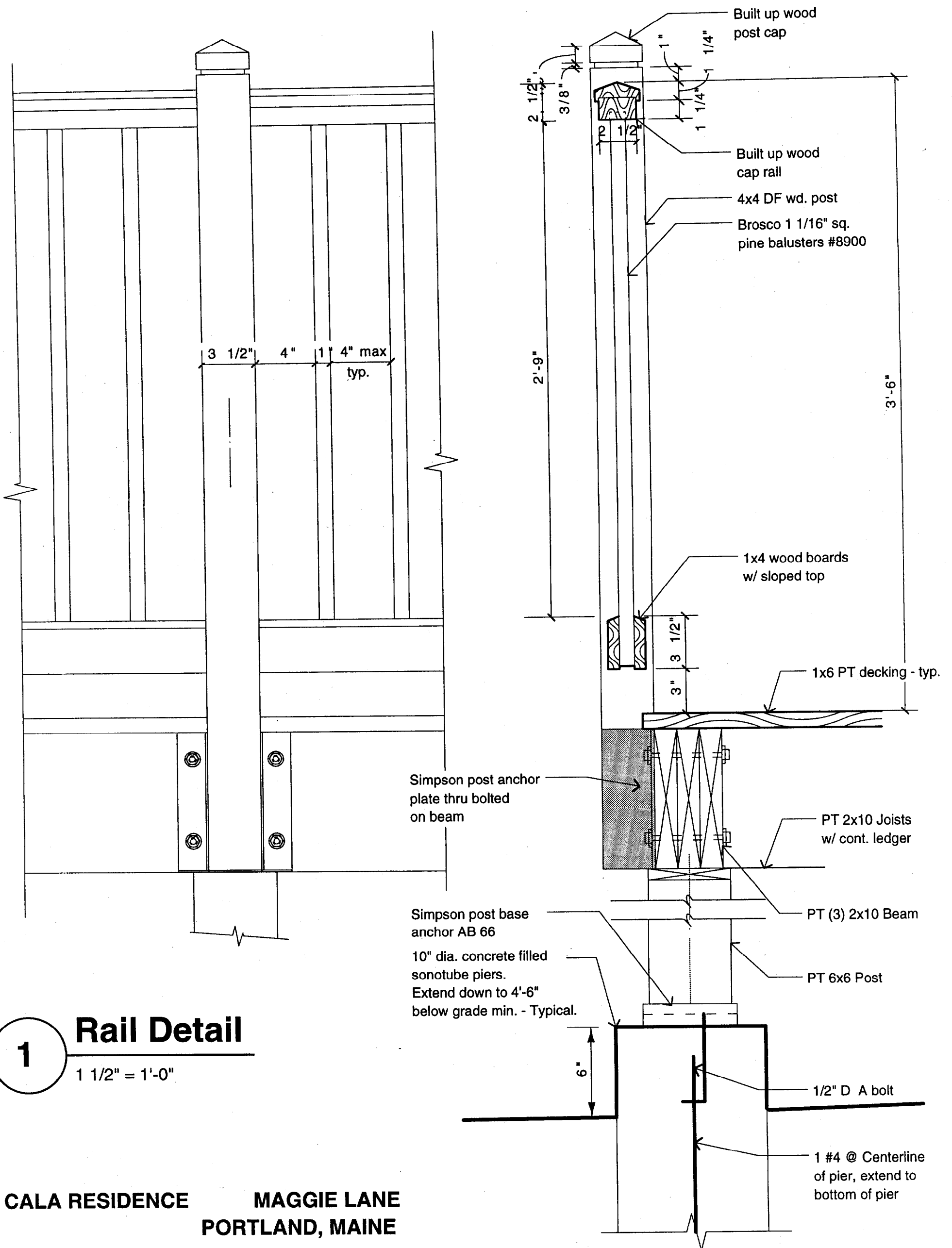
GP Givelli-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 28 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:	Figure No.
Project: MAGGIE LANE, PORTLAND	





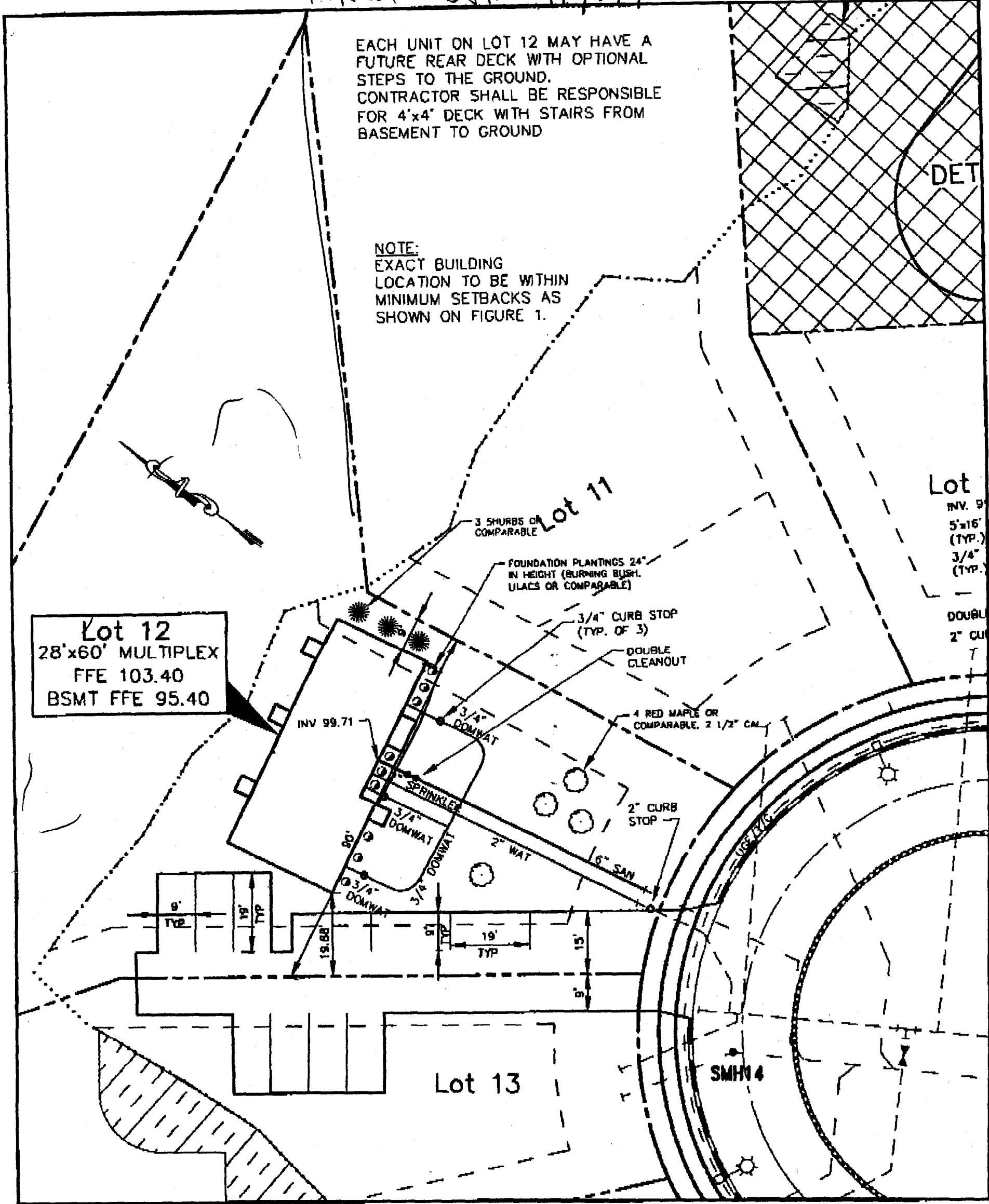
APR-5-2000 09:21A FROM: 2078921383



Final DJM 11/14/2000 ok 11/16

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR 4"x4" DECK WITH STAIRS FROM BASEMENT TO GROUND

NOTE: EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.



Lot 12
28'x60' MULTIPLEX
FFE 103.40
BSMT FFE 95.40

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:
Layout & Utilities-Lot 12 & 13

Project:
MAGGIE LANE, PORTLAND

Figure No.
2

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK --- PAGE --- COUNTY Cumberland
PLAN BOOK 199 PAGE 499 LOT 12

ADDRESS: Lot 12, Maggie Lane, Portland, Maine

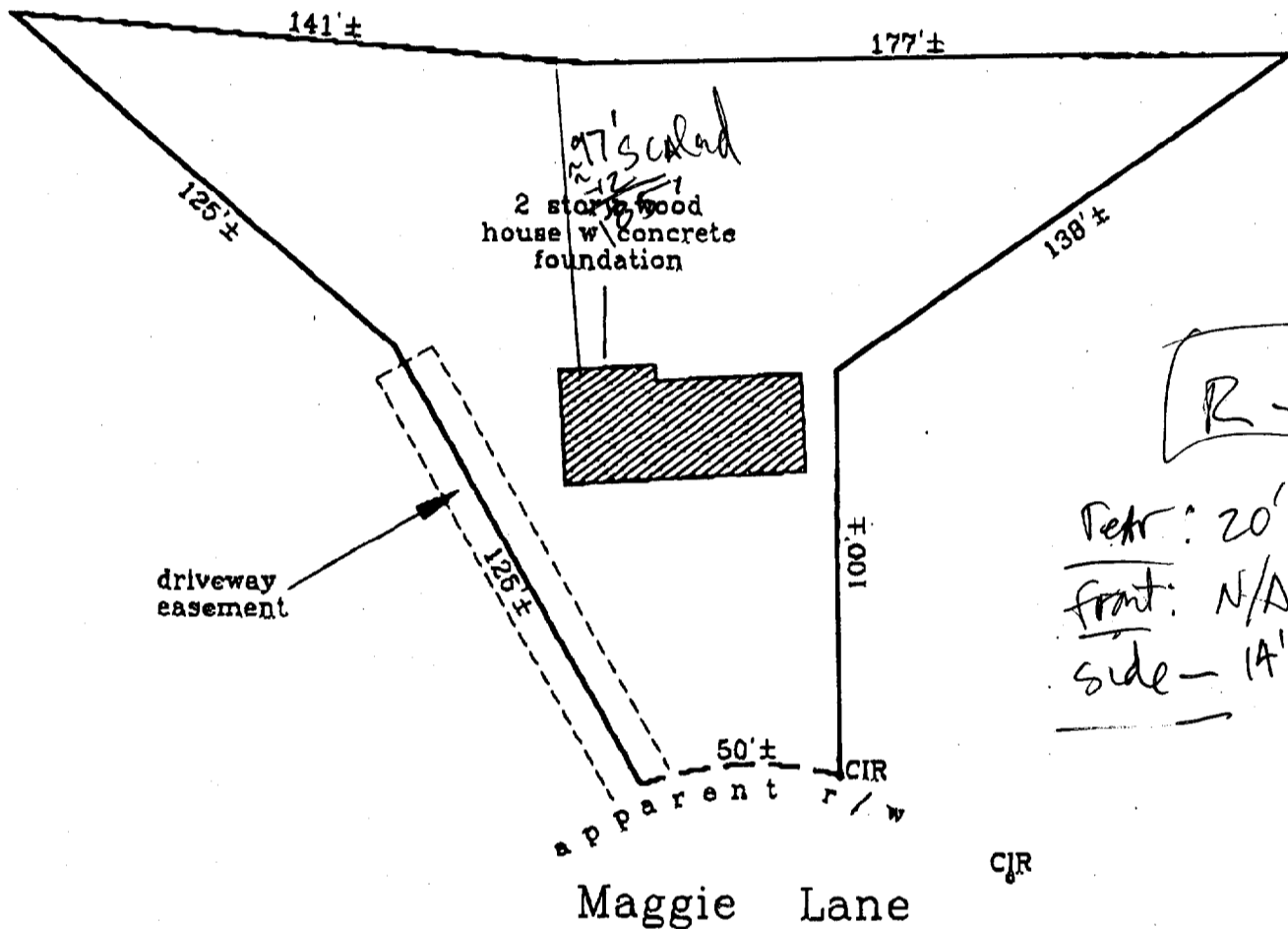
Job Number: 317-22

Inspection Date: 2-21-01

Scale: 1" = 80'

Buyers: Mirela & Fotag Cala

Seller: Custom Built Homes of Maine



R-5 Zone

Retr: 20' req - 20' show
front: N/A
side - 14' req - 20' show

DLTA

I HEREBY CERTIFY TO: Stewart Title of Northern New England, Inc.
Waterfield Financial Corp. and its title insurer.

Monuments found did not conflict with the deed description.
The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel 230051-0007C:

The structure does not fall within the special flood hazard zone.
The land does not fall within the special flood hazard zone.
A wetlands study has not been performed.

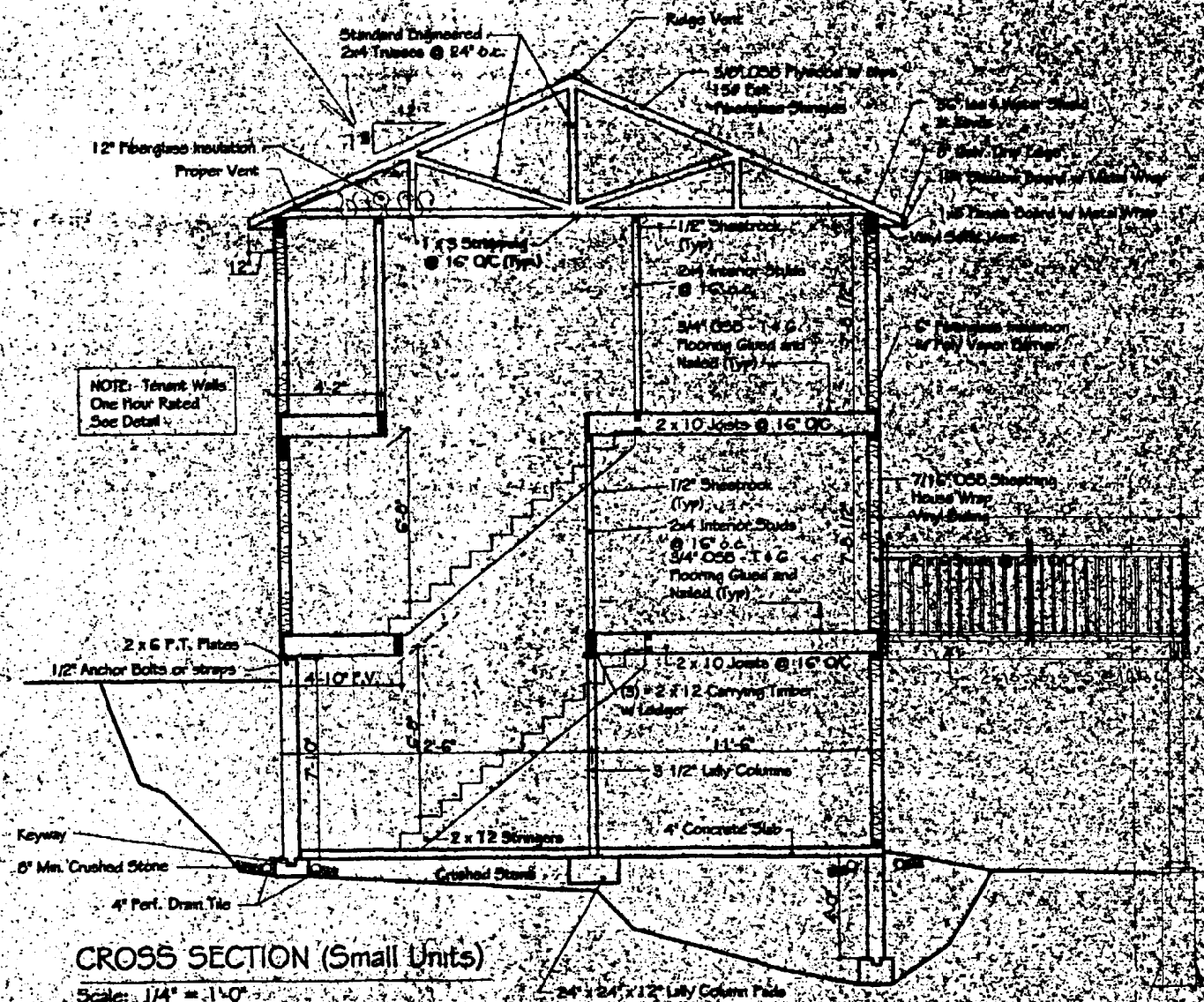
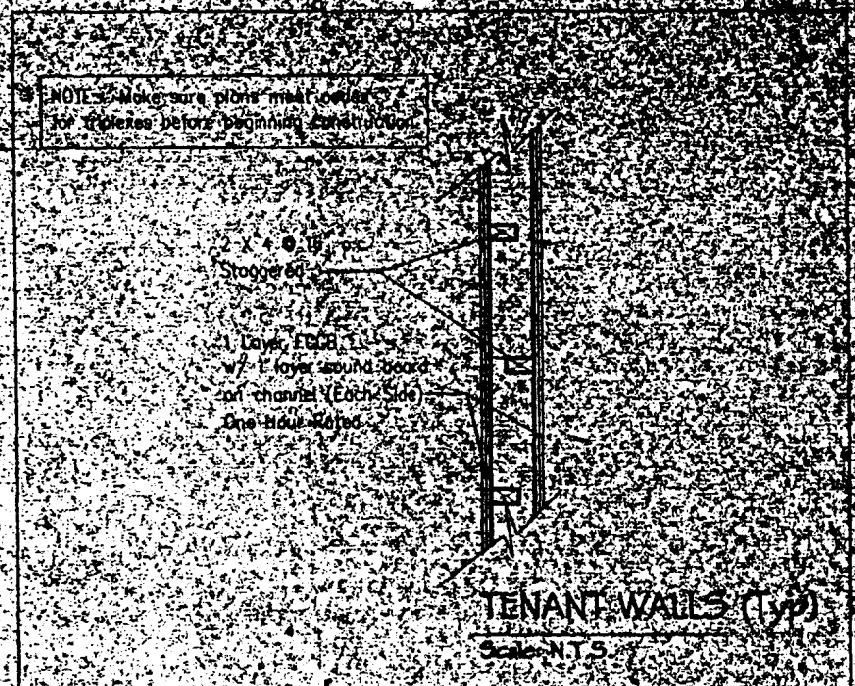
APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright 1994

Livingston - Hughes
Professional Land Surveyors & Foresters
88 Guinea Road
Kennebunkport - Maine 04046
207-987-9761 phone 207-987-4891 fax

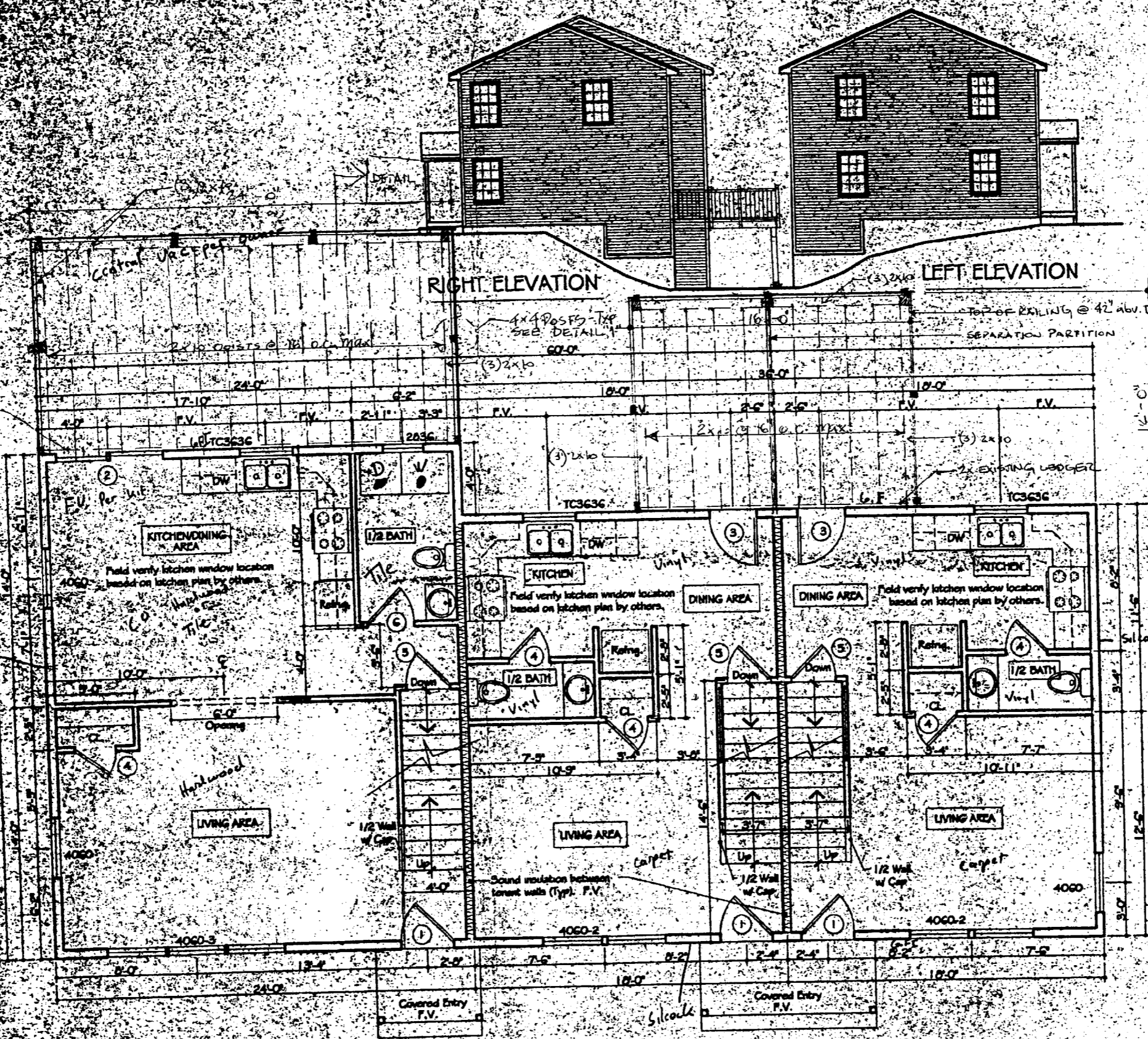
THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

FRAME SPECIFICATIONS	
FLOOR SYSTEM:	
Joists as indicated	
Drainage as indicated	
2 x 6 joist, all spans	
Subfloor as indicated	
Finish floor as per specs	
EXTERIOR WALLS:	
2 x 6 studs as indicated	
Sheathing as indicated	
Air infiltration wrap	
Vapor barrier	
Sealing/finish as indicated	
INTERIOR WALLS:	
2 x 4 studs as indicated	
ROOF SYSTEM:	
Rafter/trusses as indicated	
Sheathing as indicated	
1 1/2" underlayment	
Ice shield up to 5' min.	
Shingles as indicated	
INSULATION:	
Exterior walls - R19	
Attic cap - R30	
Slab - R10	
VENTILATION:	
Soffits - 2" cont. strip	
Rafts - cont. ridge vent	
Vent/lowers as indicated	
Proper vents between rafter/trusses	
HEADERS:	
3 - 2 x 6 w/ plywood - 40' max. span	
3 - 2 x 6 w/ plywood - 72' max. span	
Beams as indicated	
Min. 6" brg. all beams	
INTERIOR FINISH:	
1/2" gyp. lnd. on walls/ceilings	
Paint/finish as per specs	



PLEASE BE ADVISED THAT JAG DESIGNS, INC. IS NOT CERTIFIED AS A STATE OF MAINE ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS MAY WANT TO CONSULT AN ENGINEER AND/OR ARCHITECT TO CONFIRM THE DESIGN CAPABILITIES AND SUITABILITY BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION.

CALA TRIPLE
 Section Detail and Framing Note
 1/4"



DOOR SCHEDULE

- 1. 7'-0" x 6'-0" Entry
- 2. 6'-0" x 6'-0" Sliding
- 3. 6'-0" x 6'-0" Hall Lin. Entry
- 4. 2'-4" x 6'-0" Interior
- 5. 2'-0" x 6'-0" Interior
- 6. 4'-0" x 6'-0" Interior
- 7. 3'-0" x 6'-0" Interior
- 8. 4'-0" x 6'-0" Interior

FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

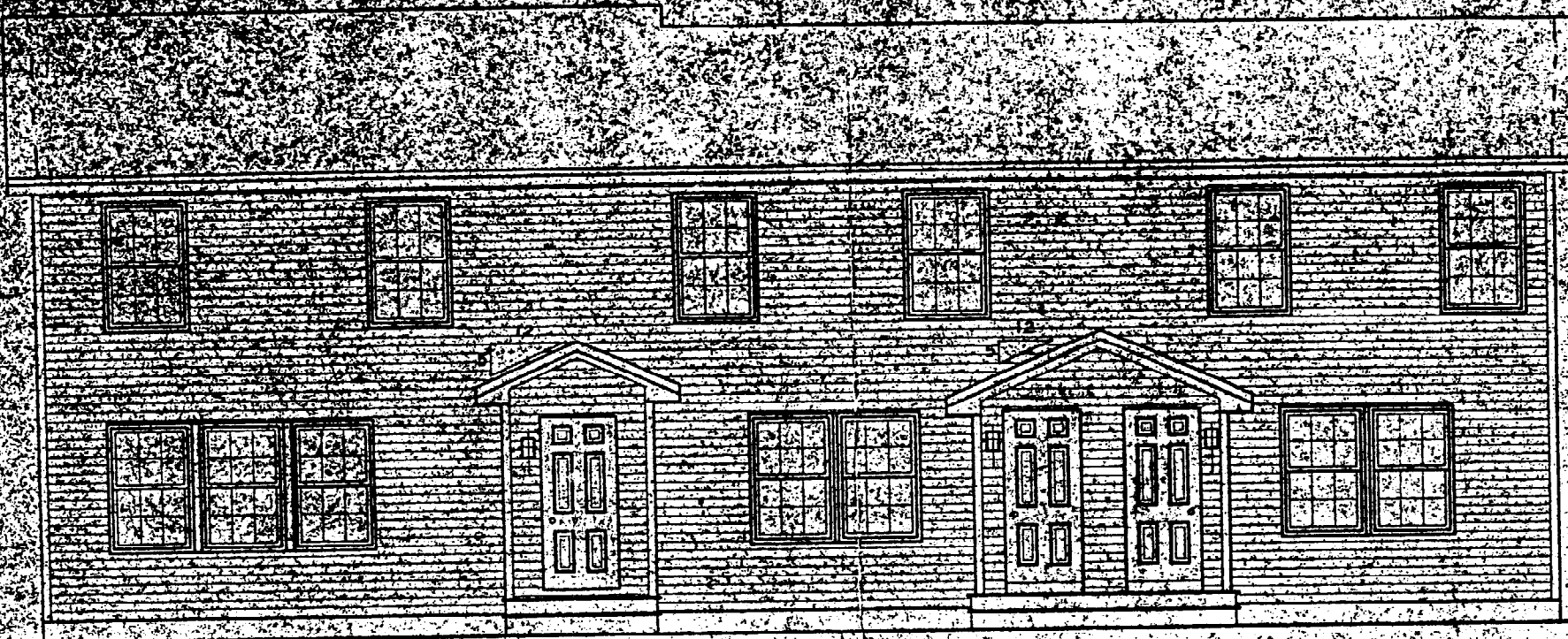
Field drawn:	9/7/00
Auto loaded:	9/7/00
Drawn by:	JMG
Scale:	NOTED

Project number:	2002
Revision:	
Date:	11/14/99

Project: **CALA TRIPLEX**
First Floor Plan, Side Elevation, Door Schedule

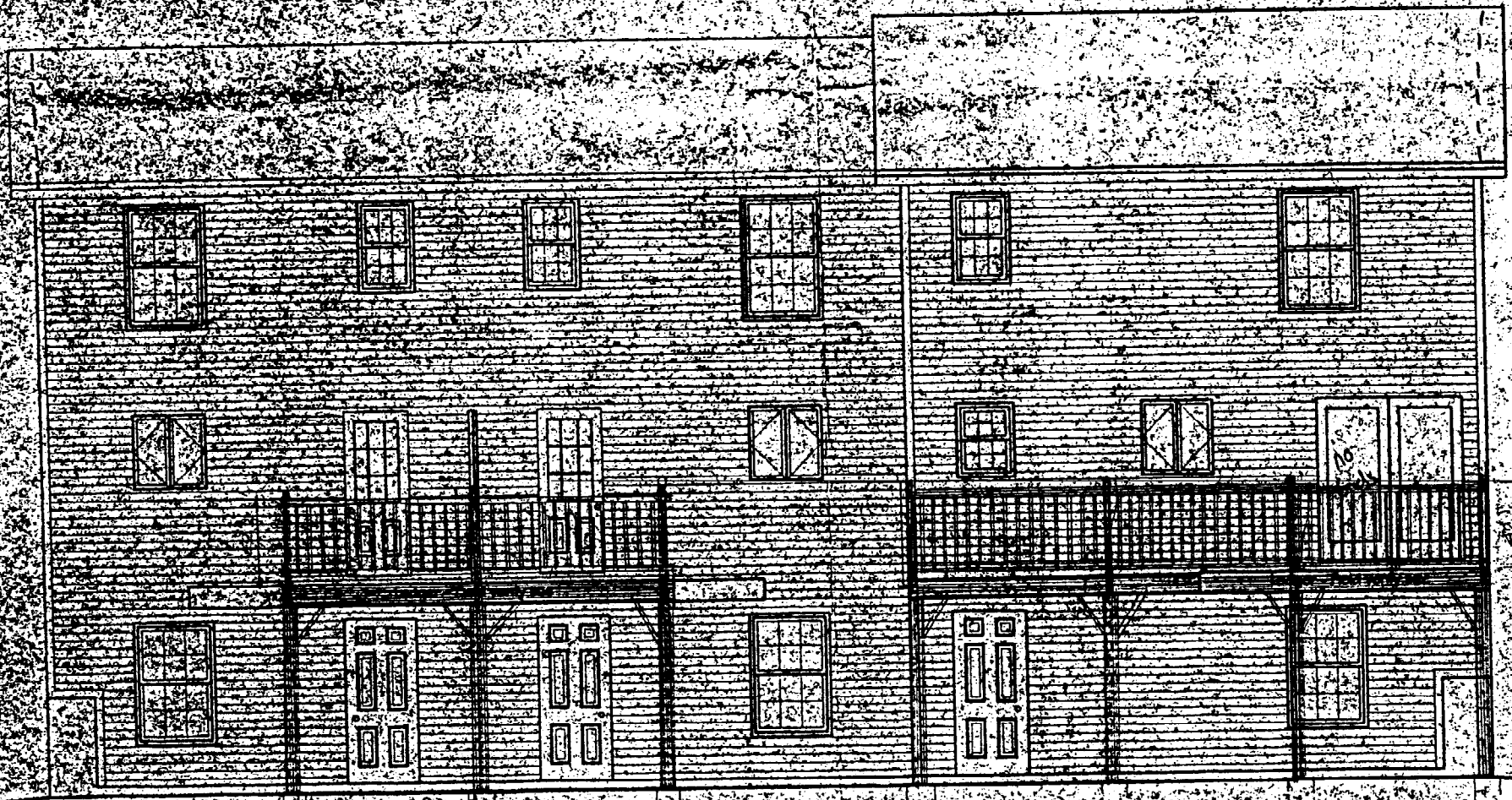
A2

PLEASE BE ADVISED THAT JMG DESIGN, INC. IS NOT CERTIFIED AS AN ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS MAY WANT TO CONDUCT AN ENGINEER ANALYSIS TO CONFIRM THE DESIGN'S CAPABILITIES AND SOUNDNESS BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION.



FRONT ELEVATION

No Ralic



REAR ELEVATION

No Ralic

PLEASE BE ADVISED THAT THIS DESIGN, INC. IS NOT LICENSED AS A STATE OF MARYLAND ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. IF YOU ARE INTERESTED AND WANT TO CONDUCT AN ENGINEER AND/OR ARCHITECT TO CONFIRM THE DESIGN CAPABILITIES AND SUITABILITY BEFORE TAKING ANY ACTION REGARDING CONSTRUCTION.

DATE DRAWN: 9/7/08	DATE REVISED:
DRAWN BY: J. J. JONES	REVISED BY:
CHECKED BY:	DATE:

PROJECT NUMBER: 1000	DATE: 9/7/08
PROJECT NAME:	DATE:

FROM: CALA TRIPLEX
 Front and Rear Elevations

AL