

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 77 Maggie Lane (lot # 12)		Owner: Custom Built Homes		Phone: 892-3149		Permit No: 00096	
Owner Address: 27 Main Street, Windham, ME		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: ***Custom Built Homes		Address: 27 Main Street, Windham, ME		Phone: ***892-3149		Permit Issued: FEB 12 2001	
Past Use:  Vacant		Proposed Use:  3 Units		COST OF WORK: \$		PERMIT FEE: \$ 30.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group R-2 Type: 5B BOCA99 <i>H. P. [Signature]</i>	
Proposed Project Description:  AMENDMENT to Permit # 001330 ( <i>bdy configuration change</i> )		Signature:		Signature: <i>[Signature]</i>		Date: <i>2/10/01</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <i>ok with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Jodine & Gayle		Date Applied For: December 5, 2000 GG					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: *[Signature]*

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

December 5, 2000

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

**PERMIT ISSUED WITH REQUIREMENTS**  
CEO DISTRICT

BUILDING PERMIT REPORT

DATE: 6 December 2000 ADDRESS: 77 Maggie Lane (Lot #12) CBL: 341-A-022

REASON FOR PERMIT: To Amend permit No. #001330.

BUILDING OWNER: Custom BUILT Homes

PERMIT APPLICANT: CONTRACTOR Custom BUILT Homes.

USE GROUP: R-2 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \_\_\_\_\_ PERMIT FEES: \$30.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*3, \*22, #3, #3,

- ~~1.~~ This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- ~~2.~~ Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- ~~3.~~ Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements. *This permit is only Amending the building configuration. No open, exterior stairs are allowed*

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *above ground*

33. Bridging shall comply with Section 2305.16.

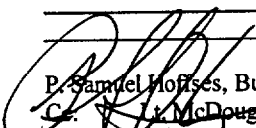
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All flashing shall comply with Section 1406.3.10.

36. All signage shall be done in accordance with Section 2102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

~~37. All requirements of permit No. 001330 shall be adhere to.~~

~~38. No changes have been approved to originally approved setbacks.~~

  
 P. Samuel Hoffes, Building Inspector  
 C. J. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000157  
I. D. Number

**Custom Built Homes of Maine**

Applicant  
27 Main Street, Windham, ME  
Applicant's Mailing Address  
Danny McCarthy  
Consultant/Agent  
892-1383  
Applicant or Agent Daytime Telephone, Fax

07/26/2000  
Application Date  
Maggie Lane #77 - lot 12  
Project Name/Description  
77 - 77 Maggie Ln, Portland Maine  
Address of Proposed Site  
341 A 022  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 77 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant coordinate with the developer and the developer's contractor for all grading utilities and curb openings to insure compliance with approved subdivision plans.

The applicant shall be responsible for installation and maintenance of erosion control devices. The applicant shall be responsible to clean up any tracking of mud or debris onto Maggie Lane or Forest Avenue as result of this project-street sweeping may be required.

The site grading shall be accomplished to avoid any ponding of water or concentrated flow of runoff onto adjacent properties.

**Planning Conditions of Approval**

1. That the building shall have a minimum 7 in 12 roof pitch.
2. That the building elevations on the left and right side shall have a minimum number of windows as required by the the planning office.
3. Common driveway pavement shall be expanded as shown on the attached site plan. Site plan shall be revised accordingly for review and approval. Prior to the issuance of a certificate of occupancy for lot 12, the common driveway easement for lot 12 and 13 shall b

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000157  
I. D. Number

Custom Built Homes of Maine

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27 Main Street, Windham, ME

Applicant's Mailing Address

Danny McCarthy

Consultant/Agent

892-1383

Applicant or Agent Daytime Telephone, Fax

07/26/2000

Application Date

Maggie Lane #77 - lot 12

Project Name/Description

77 - 77 Maggie Ln, Portland Maine

Address of Proposed Site

341 A 022

Assessor's Reference: Chart-Block-Lot

driveway easement for lot 12 and 13 shall be revised accordingly.

4. The parallel parking spaces shown on the plan shall be a minimum 20 feet long.

**Inspections Conditions of Approval**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. No decks off the story above the grade level on the rear are shown on your plans and are not being approved with this permit. The shall require separate  
It is noted that you have shown the deck egress for the exit on the rear grade level only.
3. Please note that open, exterior stairways above the grade level entries ARE NOT ALLOWED ABOVE THE GRADE LEVEL. However a deck with no stairs is allow  
if it meets setbacks
4. Please note that the minimum lot width SHALL be 90 feet at a minimum. The inspectors will be measuring this requirement.
5. Separate permits shall be required for future decks, sheds, pools, and/or garage
6. It is a condition of approval that prior to the issuance of a temporary or permanent certificate of occupancy, each dwelling unit in the subdivision shall be outfitted with a Fire Protection Sprinkler system in accordance with NFPA 13 d or r.
7. Tree clearing, construction buildings, filling, regrading, or other obstructions SHALL BE PROHIBITED within the private drainage easements, unless approved in writing by the Planning Division under site plan review.

**Fire Conditions of Approval**

Revised Approval

SPACE AND BULK REQUIREMENTS - LOT 12

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

NOTE: ORIGINAL CONDITION OF APPROVAL AND STAMPED PLAN OF 11-16-00 STILL APPLY. THE APPROVED CHANGE IS ONLY FOR THE BUILDING CONFIGURATION



CITY OF PORTLAND

APPROVED SITE PLAN

SUBJECT TO DEPARTMENTAL  
ORDINANCES

DATE OF APPROVAL 12-14-00

Design: DER	Date: APR 2000
Draft: LAN	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

**GP** Traffic and Civil Engineering Services  
 PO Box 1237, 26 Main Street  
 Gray, ME 04039  
 207-657-6910

Drawing Name: Space & Bulk Requirements Lot 12  
 Project: MAGGIE LANE, PORTLAND

Figure No.  
 1

EACH UNIT ON LOT 12 MAY HAVE A FUTURE REAR DECK WITH OPTIONAL STEPS TO THE GROUND. *Not allowed from ground level*  
 CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

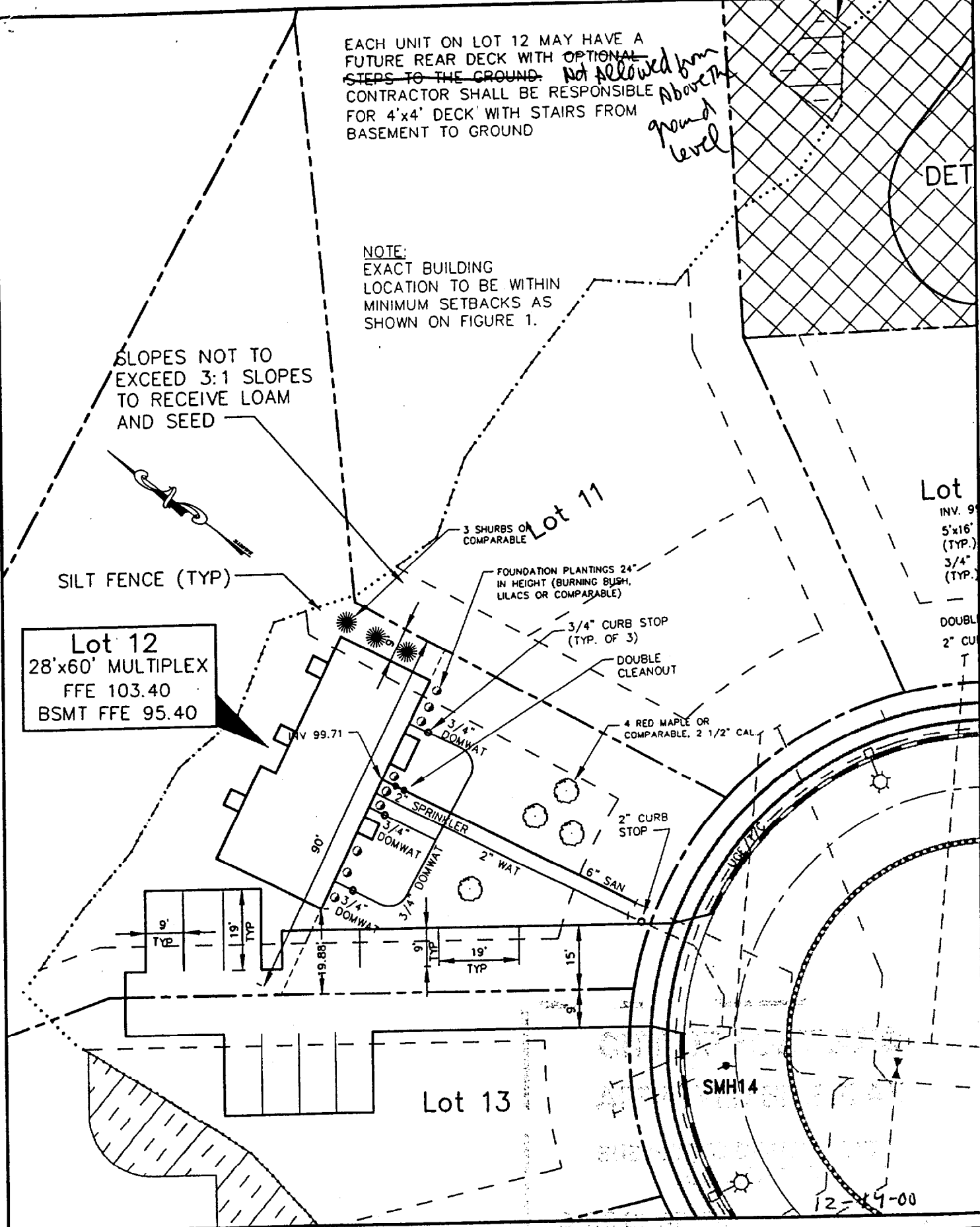
NOTE:  
 EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACKS AS SHOWN ON FIGURE 1.

SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

**Lot 12**  
 28'x60' MULTIPLEX  
 FFE 103.40  
 BSMT FFE 95.40

**Lot**  
 INV. 99'  
 5'x16'  
 (TYP.)  
 3/4"  
 (TYP.)

DOUBLE  
 2" CU  
 T



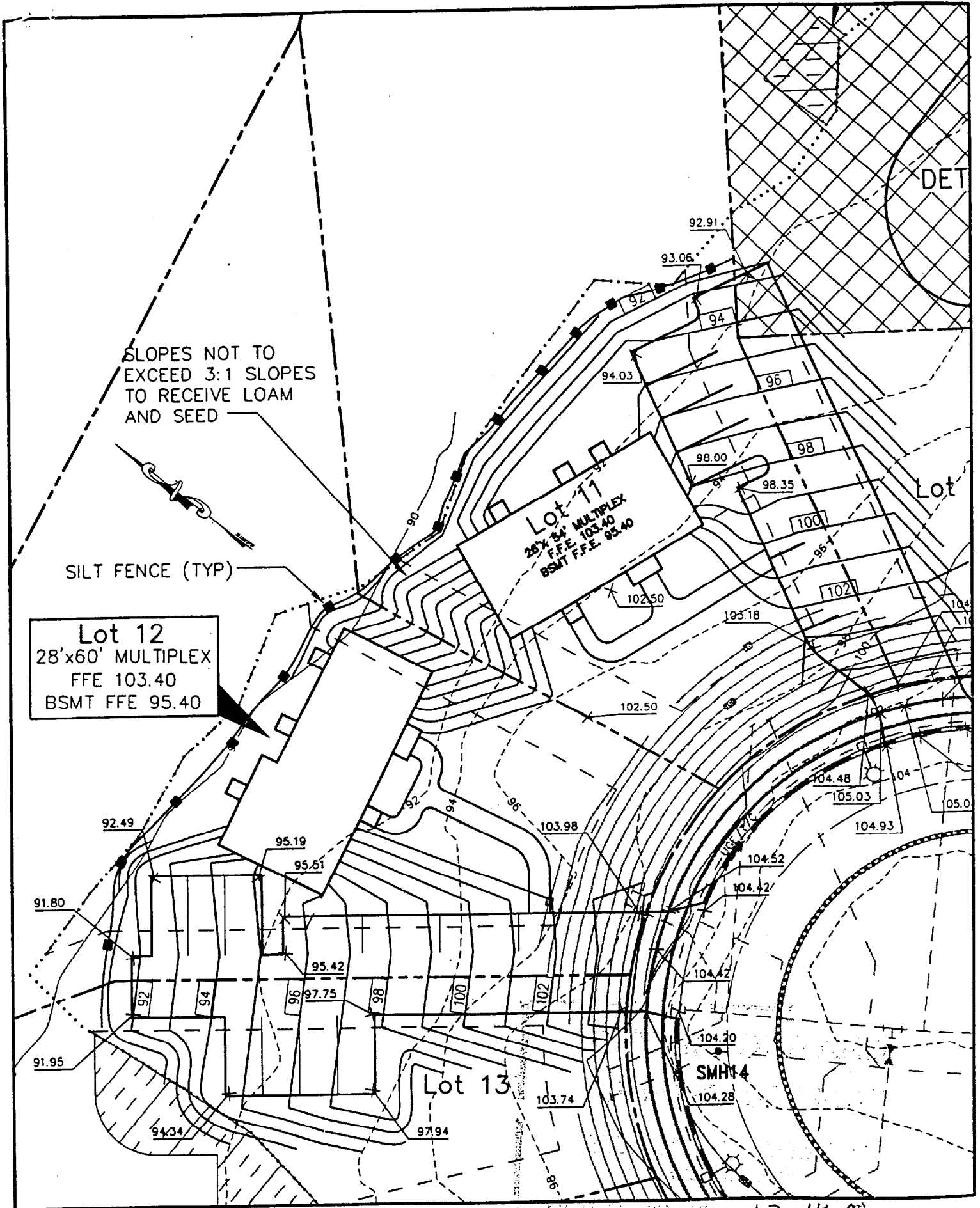
Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

**GP** Corrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237, 26 Main Street  
 Gray, ME 04039  
 207-657-6910

Drawing Name:  
**Layout & Utilities-Lot 12 & 13**  
 Project:  
**MAGGIE LANE, PORTLAND**

Figure No.  
**2**





SLOPES NOT TO EXCEED 3:1 SLOPES TO RECEIVE LOAM AND SEED

SILT FENCE (TYP)

**Lot 12**  
 28'x60' MULTIPLEX  
 FFE 103.40  
 BSMT FFE 95.40

**Lot 11**  
 28'x54' MULTIPLEX  
 FFE 103.40  
 BSMT FFE 93.40

**Lot 13**

SMH14

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

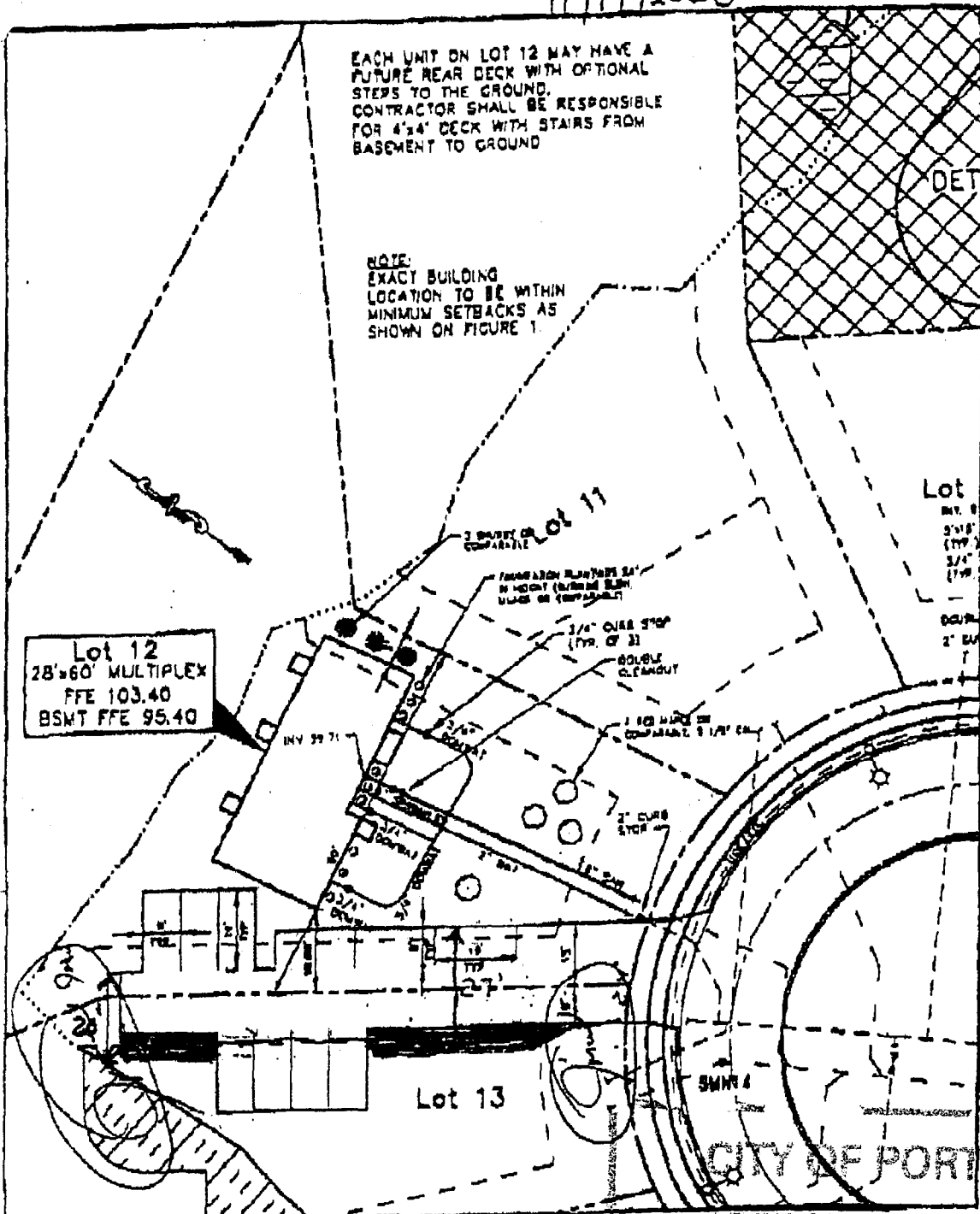
**GP** Gorill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 PO Box 1237, 26 Main Street  
 Gray, ME 04039  
 207-657-6910

Drawing Name: **Grading & Drainage- Lot 12**  
 Project: **MAGGIE LANE, PORTLAND**

Figure No. **3**

756

11/14/2000



DATE	BY	NO.	REV.
11/14/2000	GP	103.40	1
11/14/2000	GP	95.40	1
11/14/2000	GP	103.40	2

**GP** General Planning, Consulting Engineers, Inc.  
 Survey and Civil Engineering Division  
 20 S.W. 1237, 24 Main Street  
 OREGON, OR 97036  
 503-457-8918

Project: **MAGGIE LANE, PORTLAND**  
 Layout & Utilities - Lot 12 & 13

PROJECT PLAN  
**2**  
 PRELIMINARY

CITY OF PORTLAND

CONDITIONS

11-14-2000

11-14-2000

11-14-2000

**Site Review Pre-Application  
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling  
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Custom Built Home of Mainy 7/25/2000

Applicant 27 Main St Woodham Application Date Maggie Lane Lot 12

Applicant's Mailing Address Danny McCarty Project Name/Description Lot #12 Maggie Lane

Consultant/Agent \_\_\_\_\_ Address Of Proposed Site \_\_\_\_\_

Applicant/Agent Daytime telephone and FAX 892-1383 Assessor's Reference, Chart#, Block, Lot# 341-A-022

Proposed Development (Check all that apply)  New Building \_\_\_\_\_ Building Addition \_\_\_\_\_ Change of Use  Residential \_\_\_\_\_ Office \_\_\_\_\_ Retail \_\_\_\_\_  
 \_\_\_\_\_ Manufacturing \_\_\_\_\_ Warehouse/Distribution \_\_\_\_\_ Other(Specify) \_\_\_\_\_

Proposed Building Square Footage and /or # of Units \_\_\_\_\_ 24,136 \_\_\_\_\_ Zoning \_\_\_\_\_

Acreage of Site

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
  - 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist. 2 extra Site Plans
- (Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>Daniel T. McCarty</u>	Date: <u>7/27/2000</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

DEC 5 2000

Amendment for Lot # 12  
Site Review

**Site Review Pre-Application**  
**Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling**  
**or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

<u>Custom Built Homes</u>		<u>12/5/00</u>
Applicant	<u>27 Main St Windham</u>	Application Date <u>Lot # 12 Maggie Lane</u>
Applicant's Mailing Address	<u>Danny McCarthy</u>	Project Name/Description <u>77 Maggie Lane</u>
Consultant/Agent	<u>892-3149 892-1383</u>	Address Of Proposed Site _____
Applicant/Agent Daytime telephone and FAX	_____	Assessor's Reference, Chart#, Block, Lot# _____
Proposed Development (Check all that apply)	<input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail	
	<input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Other(Specify) <u>Amendment</u>	
Proposed Building Square Footage and /or # of Units	_____	Acreage of Site
		Zoning

You must Include the following with you application:

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Signature of applicant: <u>Daniel J. McCarthy</u>	Date: <u>12/5/00</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*** If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction (include Portion of Building): <u>Lot #12 Maggie Lane</u>		
Total Square Footage of Proposed Structure: <u>2,880</u>	Square Footage of Lot: <u>24,136</u>	
Tax Assessor's Chart, Block & Lot Number Chart: <u>341</u> Block: <u>A</u> Lot: <u>22</u>	Owner: <u>Custom Built Homes</u>	Telephone: <u>892-3149</u>
Owner's Address: <u>27 main st windham, ME</u>	Lessee/Buyer's Name (if Applicable): .	Cost Of Work: <u>\$175,000</u> Fee: <u>\$1,074.00</u>
Proposed Project Description: (Please be as specific as possible) <u>townhouse style</u> <u>3 units 1 unit 2 Bdr 1.5 Bath 1,155 sq ft</u> <u>2 units 2 Bdr 1.5 Bath 864 sq ft</u>		
Contractor's Name, Address & Telephone <u>Custom Built Homes of ME</u> <u>27 main st. Windham</u>		Rec'd By: <u>Guy</u>
Current Use: <u>land</u>	Proposed Use: <u>3 unit</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

- 4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Daniel J. McCall</u>	Date: <u>10/23/2000</u>
---	-------------------------

Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.  
Additional Site review and related fees are attached on a separate addendum

\* If available also submit plans on ADJSE FORMS

OCT 23 2000

REG 111

*Already did site review*

BUILDING PERMIT REPORT 77

DATE: 24 October 2000 ADDRESS: 207\*12 Bldg. 3 Maggie Lane CBL: 341-A-022

REASON FOR PERMIT: 3 dwelling units

BUILDING OWNER: Custom BUILT Homes

PERMIT APPLICANT: MULTIPLE Single Family Dwelling Section 310.5 - CONTRACTOR Custom BUILT Homes

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 175,000. PERMIT FEES: \$1,034.6

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*3, \*4, \*5, \*6, \*7, \*8, \*9, \*10, \*11, \*13, \*14, \*15, \*19, \*22, \*26, \*27, \*28, \*29, \*30, \*32, \*33, \*34, \*36, \*37, #31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- \*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- \*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- \*6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- \*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- \*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- \*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- \*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

- \*19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- \*22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard. *NFPA #13A*
- \*23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- \*26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*28. All requirements must be met before a final Certificate of Occupancy is issued.
- \*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \*30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *All the requirements and conditions on the attached Development Review shall be met.*
- \*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- \*33. Bridging shall comply with Section 2305.16.
- \*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \*36. All flashing shall comply with Section 1406.3.10.
- \*37. *Fire partitions shall comply with section 711 -*
- \*38.

*[Signature]*  
 P. Samuel Hoopes, Building Inspector  
 Lt. McDougall, PFD  
 Margo Schmuckal, Zoning Administrator  
*[Signature]*

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

**...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000157  
I. D. Number

**Custom Built Homes of Maine**

Applicant  
27 Main Street, Windham, ME  
Applicant's Mailing Address  
Danny McCarthy  
Consultant/Agent  
892-1383  
Applicant or Agent Daytime Telephone, Fax

07/26/2000  
Application Date  
Maggie Lane #77 - lot 12  
Project Name/Description  
77 - 77 Maggie Ln, Portland Maine  
Address of Proposed Site  
341 A 022  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 77 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant coordinate with the developer and the developer's contractor for all grading utilities and curb openings to insure compliance with approved subdivision plans.

The applicant shall be responsible for installation and maintenance of erosion control devices. The applicant shall be responsible to clean up any tracking of mud or debris onto Maggie Lane or Forest Avenue as result of this project-street sweeping my be required.

The site grading shall be accomplished to avoid any ponding of water or concentrated flow of runoff onto adjacent properties.

**Planning Conditions of Approval**

1. That the building shall have a minimum 7 in 12 roof pitch.
2. That the building elevations on the left and right side shall have a minimum number of windows as required by the the planning office.
3. Common driveway pavement shall be expanded as shown on the attached site plan. Site plan shall be revised accordingly for review and approval. Prior to the issuance of a certificate of occupancy for lot 12, the common driveway easement for lot 12 and 13 shall b



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

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07/26/2000

Application Date

Maggie Lane #77 - lot 12

Project Name/Description

77 - 77 Maggie Ln, Portland Maine

Address of Proposed Site

341 A 022

Assessor's Reference: Chart-Block-Lot

driveway easement for lot 12 and 13 shall be revised accordingly.

4. The parallell parking spaces shown on the plan shall be a minimum 20 feet long.

**Inspections Conditions of Approval**

1. This permit is being approved onb the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. No decks off the story above the grade level on the rear are shown on your plans and are not being approved with this permit. The shall require separate  
It is noted that you have shown the deck egress for the exit on the rear grade level only.
3. Please note that open, exterior stairways above the grade level entries ARE NOT ALLOWED ABOVE THE GRADE LEVEL. However a deck with no st
4. Please note that the minimum lot width SHALL be 90 feet at a minimum. The inspectors will be measuring this requirement.
5. Separate permits shall be required for future decks, sheds, pools, and/or garage
6. It is a condition of approval that prior to the issuance of a temporary or permanent certificate of occupancy, each dwelling unit in the  
subdivision shall be outfitted with a Fire Protection Sprinkler system in accordance with NFPA 13 d or r.
7. Tree clearing, construction or buildings, filling, regrading, or other obstructions SHALL BE PROHIBITED within the  
private drainage easements, unless approved in writing by the Planning Division under site plan review.

**Fire Conditions of Approval**



**Egress (Chapter 10)**

- X One exit from dwelling unit (1010.2)
- SR Sleeping room window (1010.4)
- X EXIT DOOR (1017.3) 32" W 80" H
- SR Landings (1014.3.2) stairway
- NO Ramp slope (1016.0)
- SR Stairways (1014.3) 36" W
- SR Treads (1014.6) 10" min.
- SR Riser (1014.6) 7 3/4" max.
- X Solid riser (1014.6.1)
- NO Winders (1014.6.3)
- NO Spiral and Circular (1014.6.4)
- SR Handrails (1022.2.2.) Ht.
- SR Handrail grip size (1022.2.4) 1 1/4" to 2"
- SR Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- SR Location and interconnection
- SR Power source

**Dwelling Unit Separation**

Table 602

SR, 1 Hr. Fire Partition  
see 711.4

Electrical

NFPA # 70

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>48 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

### Glazing (Chapter 24)

- SA Labeling (2402.1)
- X Louvered window or jalousies (2402.5)
- X Human impact loads (2405.0)
- SA Specific hazardous locations (2406.0)
- NA Sloped glazing and skylights (2404)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Private Garages (Chapter 4)

- NA General (407)
- NA Beneath rooms (407.3)
- NA Attached to rooms (407.4)
- NA Door sills (407.5)
- NA Means of egress (407.8)
- NA Floor surface (407.9)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- ~~MA~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~SA~~ Approved materials (1404.1)
- \_\_\_\_\_ Performance requirement (1505)
- \_\_\_\_\_ Fire classification (1506)
- \_\_\_\_\_ Material and installation requirements (1507)
- ~~MA~~ Roof structures (1510.0)
- ~~V~~ Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- ~~MA~~ Masonry (1206.0)
- ~~MA~~ Factory - built (1205.0)
- ~~MA~~ Masonry fireplaces (1404)
- ~~MA~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- ~~\_\_\_\_\_~~
- ~~\_\_\_\_\_~~
- ~~\_\_\_\_\_~~
- ~~\_\_\_\_\_~~
- ~~\_\_\_\_\_~~

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

## Foundations (Chapter 18)

### Wood Foundation (1808)

NA Design  
NA Installation

### Footings (1807.0)

X Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.  
NA Insulated footing provided  
X Soil bearing value (table 1804.3)  
X Footing width  
X Concrete footing (1810.0) .3.1, 3.2  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Foundation Walls

X Design (1812.1)  
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)  
SR Water proofing and damp proofing Section 1813  
X Sill plate (2305.17)  
SR Anchorage bolting in concrete (2305.17)  
X Columns (1912)  
NA Crawl space (1210.2) Ventilation  
NA Crawl opening size (1210.2.1)  
SR Access to crawl and attic space ( 1211.0 )  
\_\_\_\_\_

### Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)  
X Joists - Sleeping area LL30PSF (Table - 1606)  
X Grade  
X Spacing  
X Span  
X Girder 4" bearing 2305.6.1





CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling

Valuation: \$175,000.00 Plan Review # 1629/2K

Fee: \$1,074.00 Date: 24 OCT. 2K.

Building Location: 201<sup>#12</sup> Bldg<sup>#3</sup> Maggie Lane CBL: 341-A-022

Building Description: Multiple Single Family (Section 310.5)

Reviewed By: S. Niffes

Use or Occupancy: R-3 Type of Construction: 5B

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and bldg. Code requirements shall be completed before a Certificate of Occupancy can or will be issued	118.0 111.0
2.	All lot line shall be clearly marked before calling for a foundation inspection	113.2
3.	Foundation drains shall comply with section 1813.5.2	1813.5.2
4.	Foundation anchors shall comply with section 2305.12	2305.12
5.	Water proofing & damp proofing shall comply with section 1813.0	1813.0
6.	Concrete shall be protect as per section 1908.0	1908.0
7.	All Chimneys and vents shall comply with NFPA 211 - BOCA Mech 93 or as per manufactures requirements.	NFPA 211
8.	Guandrails and handrails shall comply with section 1021-1022	1021.0 1022.0
9.	Stairs shall comply with section 1014.0	1014.0
10.	Headroom in stairs shall comply with section 1014.4	1014.4
11.	Sleeping room egress windows shall comply with section 1010.4	1010.4
12.	Smoke detectors shall comply with section 920.2.2	920.2.2

REV: PSH 4-7-00

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**20000157**  
I. D. Number

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Applicant

**27 Main Street, Windham, ME**

Applicant's Mailing Address

**Danny McCarthy**

Consultant/Agent

**892-1383**

Applicant or Agent Daytime Telephone, Fax

**07/26/2000**

Application Date

**Maggie Lane #77 - lot 12**

Project Name/Description

**77 - 77 Maggie Ln, Portland Maine**

Address of Proposed Site

**341 A 022**

Assessor's Reference: Chart-Block-Lot

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**Public Works - Engineering Comment**

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**Public Works - Sewer Comments**

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**Public Works - Traffic Comments**

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**Parks and Recreation Comments**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Department Copy**

20000157

I. D. Number

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**892-1383**

Applicant or Agent Daytime Telephone, Fax \_\_\_\_\_

**7/26/00**

Application Date

**Maggie Lane lot 12**

Project Name/Description

**77 - 77 Maggie Ln, Portland Maine**

Address of Proposed Site

**341 A022**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **3 unit**

**24,136**

**R-5**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$400.00** Subdivisio \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date **7/26/00**

**Planning Approval Status:**

Reviewer rk

- Approved  **Approved w/Conditions**  
See Attached  Denied

Approval Date 11/16/00 Approval Expiration 11/16/01 Extension to \_\_\_\_\_  Additional Sheets Attached

OK to Issue Building Pemi r.knowland 11/16/00  
signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
D.R.C. Copy**

20000157

I. D. Number

**Custom Built Homes of Maine**

Applicant \_\_\_\_\_

**27 Main Street, Windham, ME**

Applicant's Mailing Address \_\_\_\_\_

**Danny McCarthy**

Consultant/Agent \_\_\_\_\_

**892-1383**

Applicant or Agent Daytime Telephone, Fax \_\_\_\_\_

**7/26/00**

Application Date \_\_\_\_\_

**Maggie Lane lot 12**

Project Name/Description \_\_\_\_\_

**77 - 77 Maggie Ln, Portland Maine**

Address of Proposed Site \_\_\_\_\_

**341 A022**

Assessor's Reference: Chart-Block-Lot \_\_\_\_\_

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **3 unit**

**24,136**

**R-5**

Proposed Building square Feet or # of Units \_\_\_\_\_

Acreage of Site \_\_\_\_\_

Zoning \_\_\_\_\_

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$400.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: **7/26/00**

**DRC Approval Status:**

Reviewer **Chris Earl**

- Approved  **Approved w/Conditions**  Denied  
 see attache

Approval Date **11/16/00** Approval Expiration **11/16/01** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Chris Earl** **11/16/00**  
 signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000157  
I. D. Number

**Custom Built Homes of Maine**

Applicant  
**27 Main Street, Windham, ME**  
Applicant's Mailing Address  
**Danny McCarthy**  
Consultant/Agent  
**892-1383**  
Applicant or Agent Daytime Telephone, Fax

**7/26/00**  
Application Date  
**Maggie Lane lot 12**  
Project Name/Description  
**77 - 77 Maggie Ln, Portland Maine**  
Address of Proposed Site  
**341 A022**  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now **77 Maggie Lane**, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant coordinate with the developer and the developer's contractor for all grading utilities and curb openings to insure compliance with approved subdivision plans.

The applicant shall be responsible for installation and maintenance of erosion control devices. The applicant shall be responsible to clean up any tracking of mud or debris onto Maggie Lane or Forest Avenue as result of this project-street sweeping may be required.

The site grading shall be accomplished to avoid any ponding of water or concentrated flow of runoff onto adjacent properties.

**Planning Conditions of Approval**

1. That the building shall have a minimum 7 in 12 roof pitch.
2. That the building elevations on the left and right side shall have a minimum number of windows as required by the the planning office.
3. Common driveway pavement shall be expanded as shown on the attached site plan. Site plan shall be revised accordingly for review and approval. Prior to the issuance of a certificate of occupancy for lot 12, the common driveway easement for lot 12 and 1 driveway easement for lot 12 and 13 shall be revised accordingly.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000157  
I. D. Number

**Custom Built Homes of Maine**

Applicant

**27 Main Street, Windham, ME**

Applicant's Mailing Address

**Danny McCarthy**

Consultant/Agent

**892-1383**

Applicant or Agent Daytime Telephone, Fax

**7/26/00**

Application Date

**Maggie Lane lot 12**

Project Name/Description

**77 - 77 Maggie Ln, Portland Maine**

Address of Proposed Site

**341 A022**

Assessor's Reference: Chart-Block-Lot

---

4. The parallel parking spaces shown on the plan shall be a minimum 20 feet long.

---

**Inspections Conditions of Approval**

---

**Fire Conditions of Approval**

MARGE

GORRILL-PALMER CONSULTING  
ENGINEERS INC.  
PO BOX 1237  
GRAY, MAINE 04039

TELEPHONE# 207-657-6910 FAX # 207-657-6912  
EMAIL - GPCEI@MAINE.RR.COM

FACSIMILE TRANSMITTAL SHEET

To: Chris Earle Fax: 879-0896

From: Doug Reynolds Pages: 2  
Re: Lot 22 Date: 11/15/00

Urgent  For Review  Please Comment  Please Reply  For Your Information

Please Let me know if  
you need anything ELSE.

didn't address the parking  
issues

↓  
ok per Rick -  
got something from Jim Wolf  
initialed allowing for an  
extra width of easement





P.O. Box 10127  
Portland, ME 04104  
TEL. (207) 773-4988  
FAX (207) 773-8875

**Diversified Properties, Inc.**

# Fax

To: Marge Schumaker From: Jim Wolf  
Fax: 874-8949 Pages: 2  
Phone: \_\_\_\_\_ Date: 8/24/00  
Re: Maggie Lane CC: \_\_\_\_\_  
 Urgent     For Review     Please Comment     Please Reply     Please Recycle

• Comments:

Pursuant to your request, here is a concept plan showing parking on lot 13

Custom Built Homes of Maine, Inc.  
27 Main Street Windham, Maine 04062  
Phone: (207) 892-3149  
Fax: (207) 892-1383  
E-MAIL: cbhm@gwi.net



Received  
11/14/00

To: Marge Smuckle

Fax#: 874-8716

From: Denny McCarty

Date: \_\_\_\_\_

Re: \_\_\_\_\_

Page(s) including cover

removed the  
grading plan



27 Main Street  
Windham, Maine 04062  
(207) 892-3149  
1-877-892-3149  
Fax: (207) 892-1383  
E-mail: cbhm@gwi.net

Portland Planning Department

11/14/00

RE: Response to your comments on lot # 12 Maggie Lane

1. The decks and stairs *Not Allowed* have been added to the site plan.
2. Gorrill-Palmer & Steve Bushy from Deluca - Hoffman, both agree that RipRap is an acceptable slope stabilization measure. There is no way to get a 3 to 1 slope with a 12' drop over 24'. Both the Buyers for lots 11 & 12 do not want retaining walls between buildings for liability and maintenance reasons. If we bring the slopes out past the front of the Buildings the sides would have to become a daylight basement, this would effect our building envelope, grading and final appearance that the purchasers are looking for. We have been patient with this process but we feel it is putting extra burden and is unreasonable to force the purchasers into something they do not want.
3. The silt fence is in place, but we will add it to the site plan.
4. The set back issues have been addressed with Marge at my meeting with her last week. There is a 12' setback because less then  $\frac{1}{2}$  of the building is daylight walls, if more then  $\frac{1}{2}$  was daylight then it would have been 2.5 stories.
5. We will ad an extra window per your request. This will be done in the field and can be part of your C. O. Approval.
6. Extra bushes will be added, we have already escrowed \$2,000 with the city for final site work completion.

As you can see all the issues have been addressed, we can not wait any longer to start, please call after your meeting.

Thank You



27 Main Street  
Windham, Maine 04062  
(207) 892-3149  
1-877-892-3149  
Fax: (207) 892-1383  
E-mail: cbhm@igwi.net

**Custom Built Homes of Maine proposes to build a 3 unit, 2 story, Multi Family building on lot # 12, Maggie Lane. Two of the units will consist of 2 bedrooms, 1.5 bath with a total sq. Ft. of 864. The third unit will be a 3 bedroom 1.5 bath with a I. Total sq. Ft. of 1,152**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

**20000157**

I. D. Number

**Custom Built Homes of Maine**

Applicant

**27 Main Street, Windham, ME**

Applicant's Mailing Address

**Danny McCarthy**

Consultant/Agent

**892-1383**

Applicant or Agent Daytime Telephone, Fax

**7/26/00**

Application Date

**Maggie Lane lot 12**

Project Name/Description

**Maggie Ln, Portland Maine**

Address of Proposed Site

**341-A-022**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) 3 unit

**24,136**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan **\$400.00** Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: **7/26/00**

**Fire Approval Status:**

Reviewer Lt. Mc Dougall *UJM*

- Approved**  **Approved w/Conditions**  
see attached  **Denied**

Approval Date 7/27/00 Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance Lt. Mc Dougall 7/27/00  
signature date

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

MAGGIELN  
(sent1299)

PLAN DIST: #5 St code # 2219 Maggie Lane  
NEIGHBORHOOD # 7  
WORKSHEET IN PROCESS ZONE

4/1/00  
SELLER

NEW  
Plan  
lots

MAGGIE LANE SUBDIVISION

proposed not final |||||

	Act NO	CHT	BL	LOT	ST #S	Max Units	Lot SF	BLD #
1	00	292	F	1	19	2	12,638	19
2	00	292	F	2	?	3	19,934	?
3	00	292	G	3	31	2	8,466	31
4	00	292	G	4	35	2	8,081	35
5	00	292	G	5	39	2	12,911	39
6	00	292	G	6	45	2	8,362	45
7	00	292	G	7	49	2	11,179	49
8	00	342	A	11	61	2	21,388	61
9	00	342	A	12	65	2	28,037	65
10	00	342	A	13	69	2	20,158	69
11	00	341	A	21	73	4	26,768	73
12	00	341	A	22	77	4	24,136	77
13	00	341	A	23	79	2	16,629	79
14	00	342	A	24	85	3	18,233	85
15	00	292	A	35	89	2	9,633	89
16	00	292	A	36	93	2	8,866	93
17	00	292	A	37	56	2	6,080	56
18	00	292	A	38	50	2	6,030	50
19	00	292	A	39	44	2	6,027	44
20	00	292	A	40	38	2	6,576	38
21	00	292	A	41	30	2	11,347	30
22	00	342	A	14	?	2	64,159	?
total:						50	355,638	

proposed not final |||||

Propose plan - not final

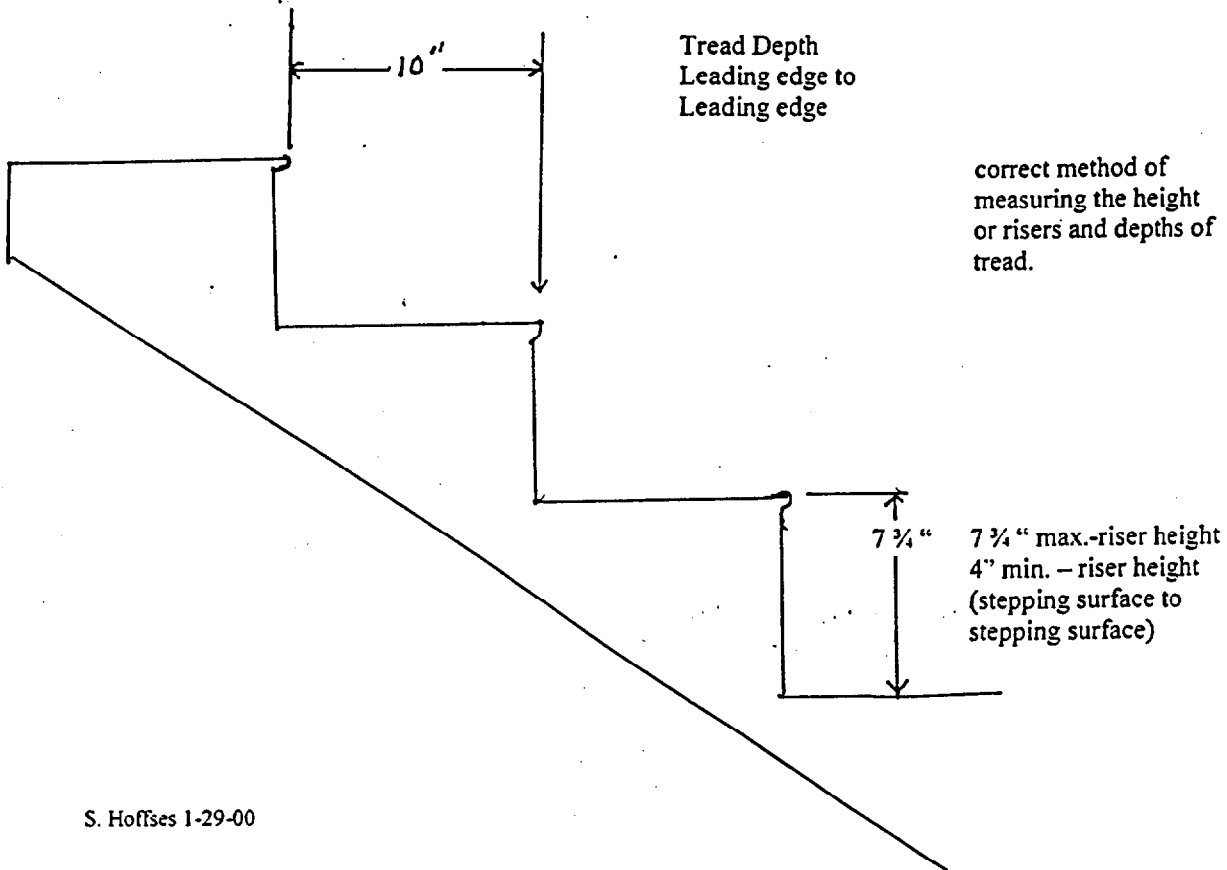
# TREAD/RISER DIMENSIONS

## ONE & TWO FAMILY

### BOCA NATIONAL BUILDING CODE/1999

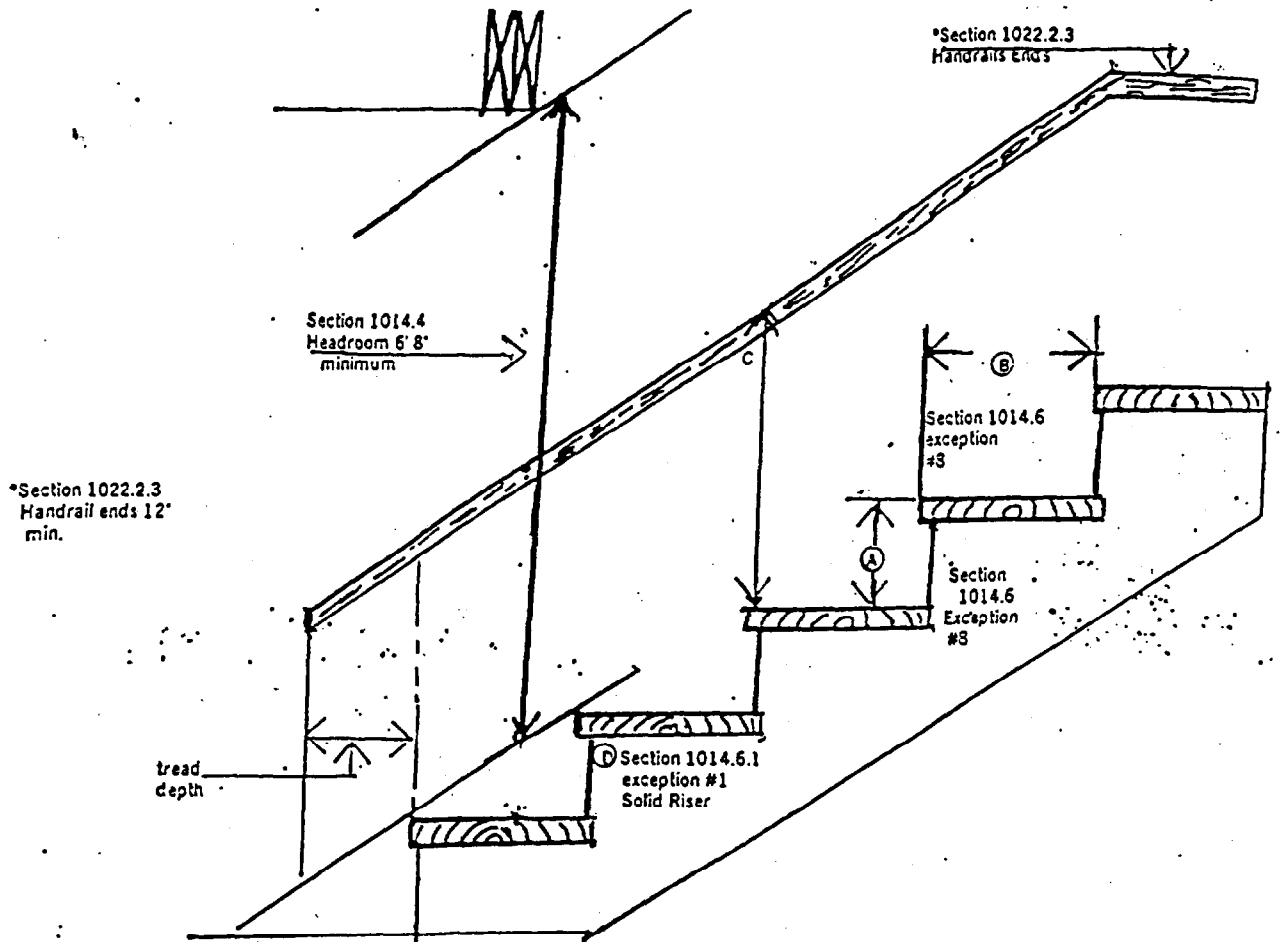
#### SECTION 1014.6 TREADS & RISERS

**EXCEPTION:** NO. 8 – In occupancies in use group R-3, within dwelling units in occupancies Use Group R-2 and in occupancies in Use Group U which are accessory to an occupancy in Use Group R-3. The maximum riser height shall be 7 ¾ inches (197mm) and the minimum tread depth shall be 10 inches (254mm). A nosing not less than ¾ inches but not more than 1 ¼ inches (32mm) shall be provided on stairways with solid risers where the depth is less than 11 inches (279mm).





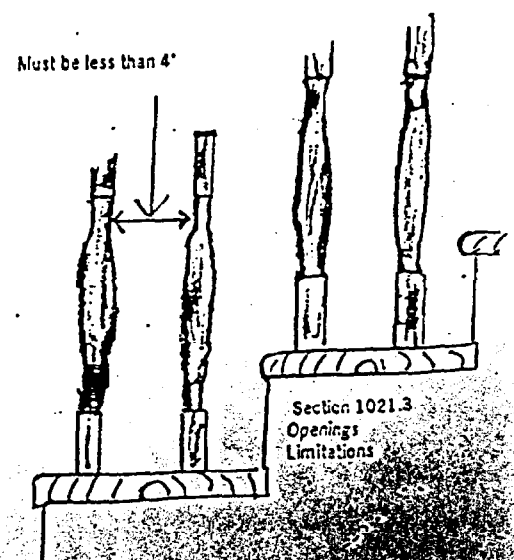
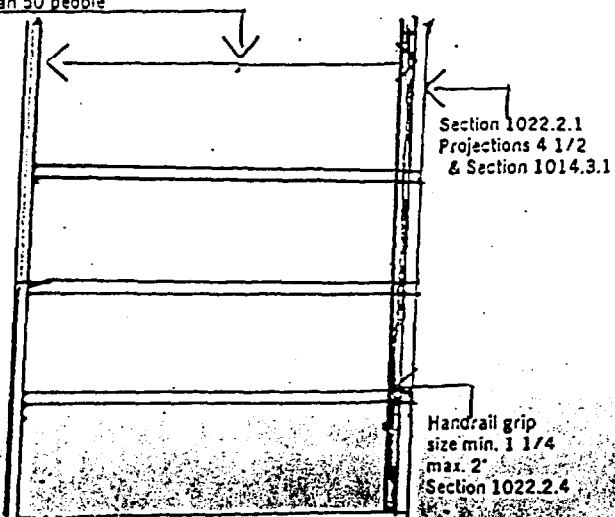
# Stairs



	Section 1014.6 Exception #8	Section 1014.6 Exception #8	Section 1022.2.2 C	Section 1014.6.1 D	Section 1021 E
	A Maximum Riser Height	B Minimum Tread Depth	C Handrail Height Not part of Guardrail	D Solid Riser	E Guards Height
1 & 2 Family Dwelling	7 3/4"	10"	34" to 38"	4" Maximum Opening	42"
All Other Use Groups	7"	11"	34" to 38"	Different	42"

- \*Guards along open-sided floor areas and along stairs located less than 30 inches (762mm) above the floor or grade below shall not be less than 36 inches (914mm) in height.
- \*Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings which are located more than 15 1/2 inches (394mm) above the floor or grade below. The guards shall be constructed in accordance with Section 1021.0.
- \*Handrail extensions & returns are not required for stairways within a dwelling unit Section 1022.2.3.
- \*There must not be a variation exceeding 3/16 of an inch in the depth of adjacent treads or in the height of adjacent riser. Section 1014.6.2.
- \*The difference between the largest and the smallest tread or between the largest and the smallest riser cannot exceed 3/8 of an inch. Section 1014.6.2.

W=36" for 1&2 family homes and occupancies with less than 50 people  
Section 1014.3  
Exception #3

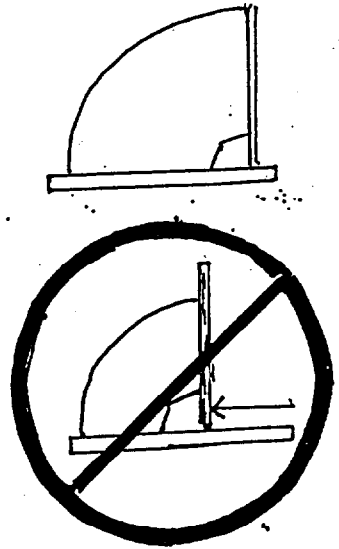
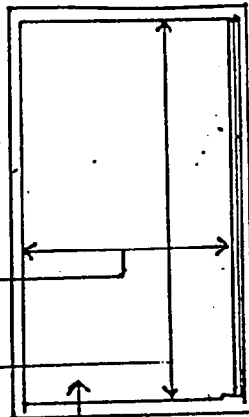
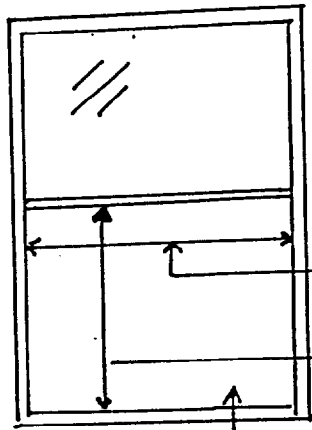


## Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows

Casement Windows

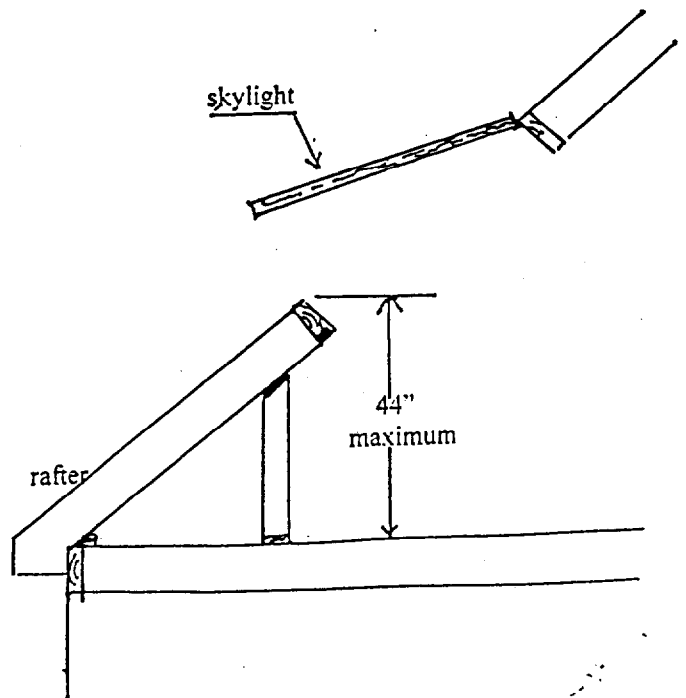
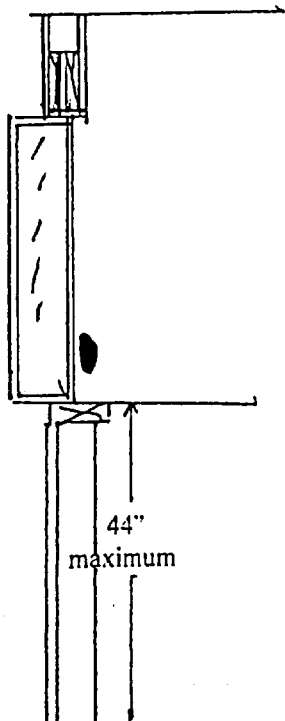
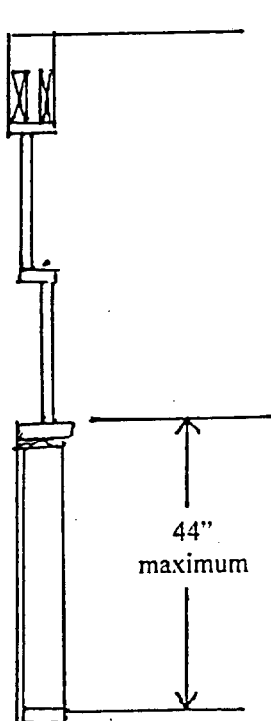


- 1 minimum width 20"
- 2 minimum height 24"
- 3 Total net clear opening must be a minimum of:

- Egress windows not at grade 5.7 square feet or 821 square inches
- Grade level egress windows 5.0 square feet or 720 square inches

**Caution...** A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

- 4 Lowest point of the opening must not be more than 44 inches above the floor





27 Main Street  
Windham, Maine 04062  
(207) 892-3149  
1-877-892-3149  
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Custom Built Homes of Maine proposes to build a 3 unit, 2 story, Multi Family building on lot # 12, Maggie Lane. Two of the units will consist of 2 bedrooms, 1.5 bath with a total sq. Ft. of 864. The third unit will be a 3 bedroom 1.5 bath with a 1. Total sq. Ft. of 1,152

10/24/00

## COMMENTS ON LOT #12 FROM 11-1-00 STAFF MEETING

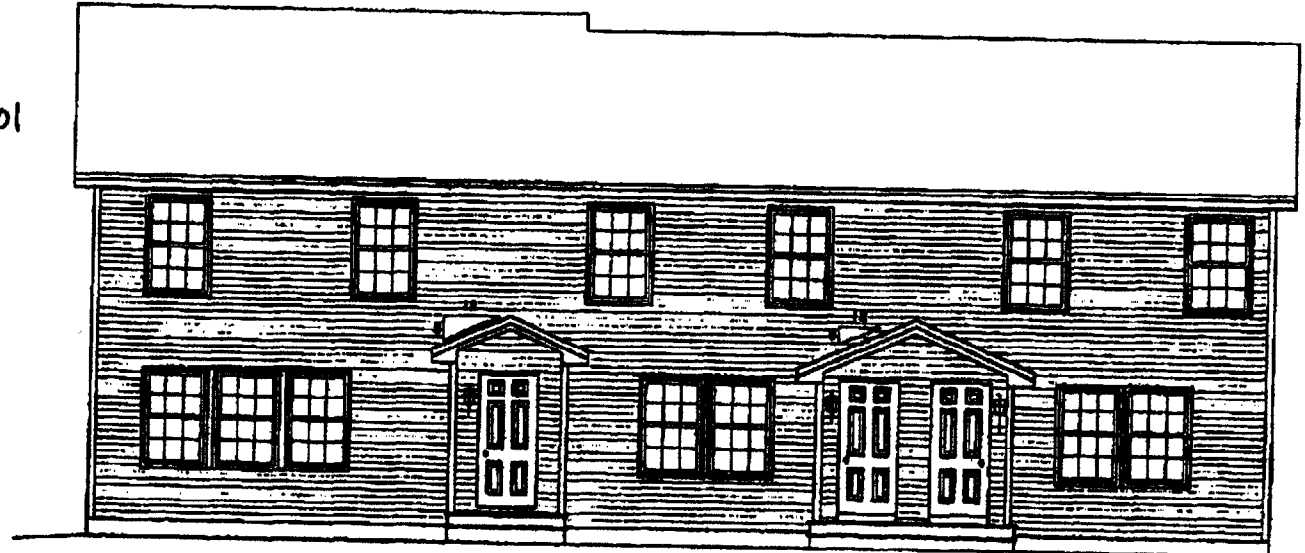
1. SITE PLAN SHOULD SHOW THE DECK FOOTPRINTS AND BACK STAIRWAYS. THERE IS A SIGNIFICANT 5 FOOT DROP FROM THE FLOOR TO THE GROUND. STAIRS ARE A CODE REQUIREMENT.
2. SUBMIT SPECIFIC SLOPE STABILIZATION MEASURES ON THE PLAN. ONE OPTION IS TO MAKE IT LESS STEEP. WE WILL NOT ACCEPT MORE THAN A 3 TO 1 SLOPE.
3. INDICATE INSTALLATION OF A SILT FENCE UPGRADG FROM THE WETLAND PRION TO CONSTRUCTION.
4. MARCO INDICATED THAT THE BUILDING IS 2 1/2 STORIES HIGH, THEREFORE YOU NEED SIDYARD SETBACKS OF 14 FEET AND 14 FEET. A REMINDER THAT THE 90 FOOT LOT WIDTH NEEDS TO BE MAINTAINED.
5. AN EXTRA WINDOW ON THE 2ND FLOOR (RIGHT ELEVATION) NEEDS TO BE ADDED. THIS ELEVATION HAS ONLY 2 WINDOWS, WE SEE NO COMPELLING REASON WHY A WINDOW SHOULD NOT BE THERE.
6. THIS IS A BIG BUILDING. NEED 9 FOUNDATION BUSHES ALONG THE FRONT FOUNDATION, ALSO AN ADDITIONAL DECIDUW TREE NEEDS TO BE PLANTED IN THE FRONTYARD BETWEEN THE DRIVEWAY AND ONSITE WALKWAY.

**AutoCAD digital format Final plans depicting  
the as-built condition must be filed with this  
office prior to closure.**

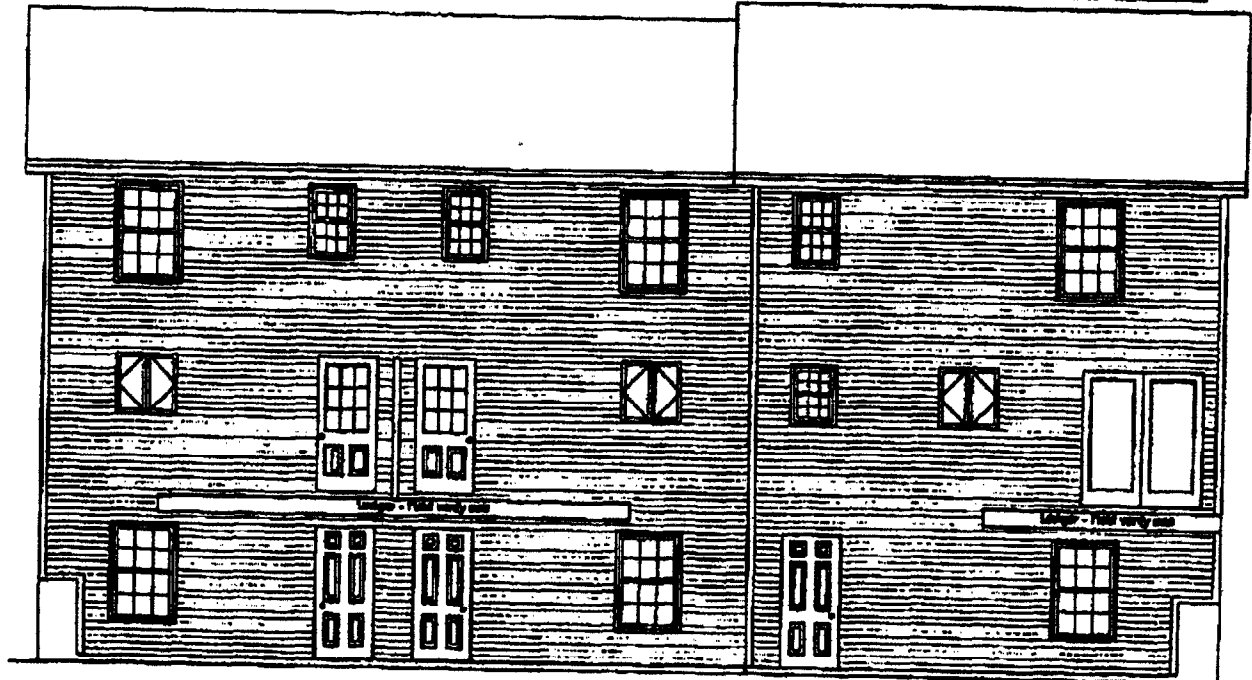
DANNY

CALA

1/22/01



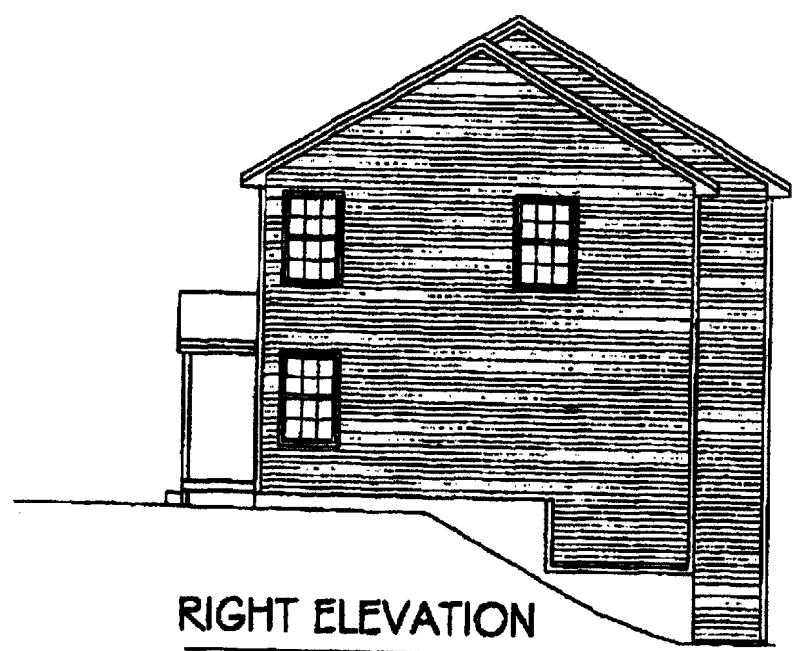
FRONT ELEVATION (N.T.S)



REAR ELEVATION (N.T.S)

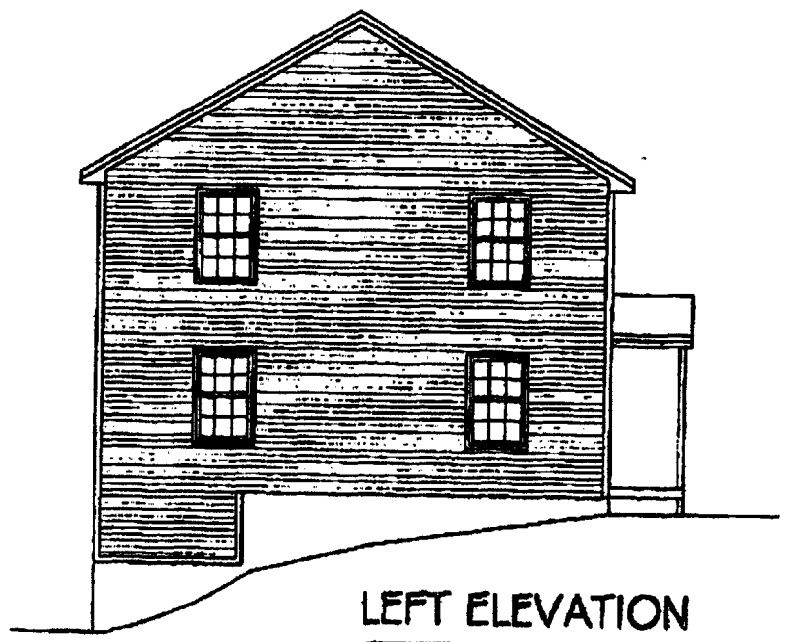
CALA

1/22/01



RIGHT ELEVATION

N.T.S

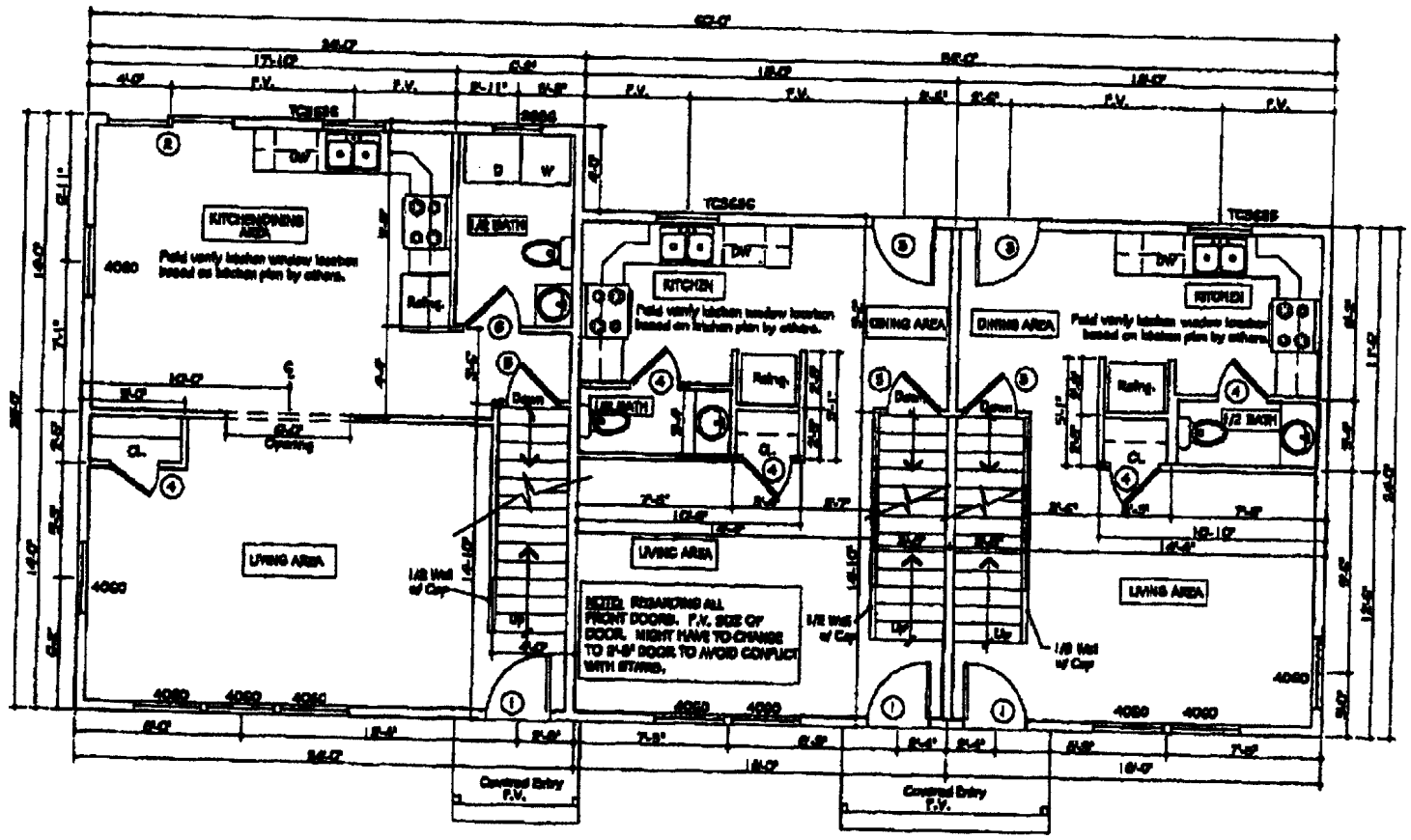


LEFT ELEVATION

N.T.S

**CMA**

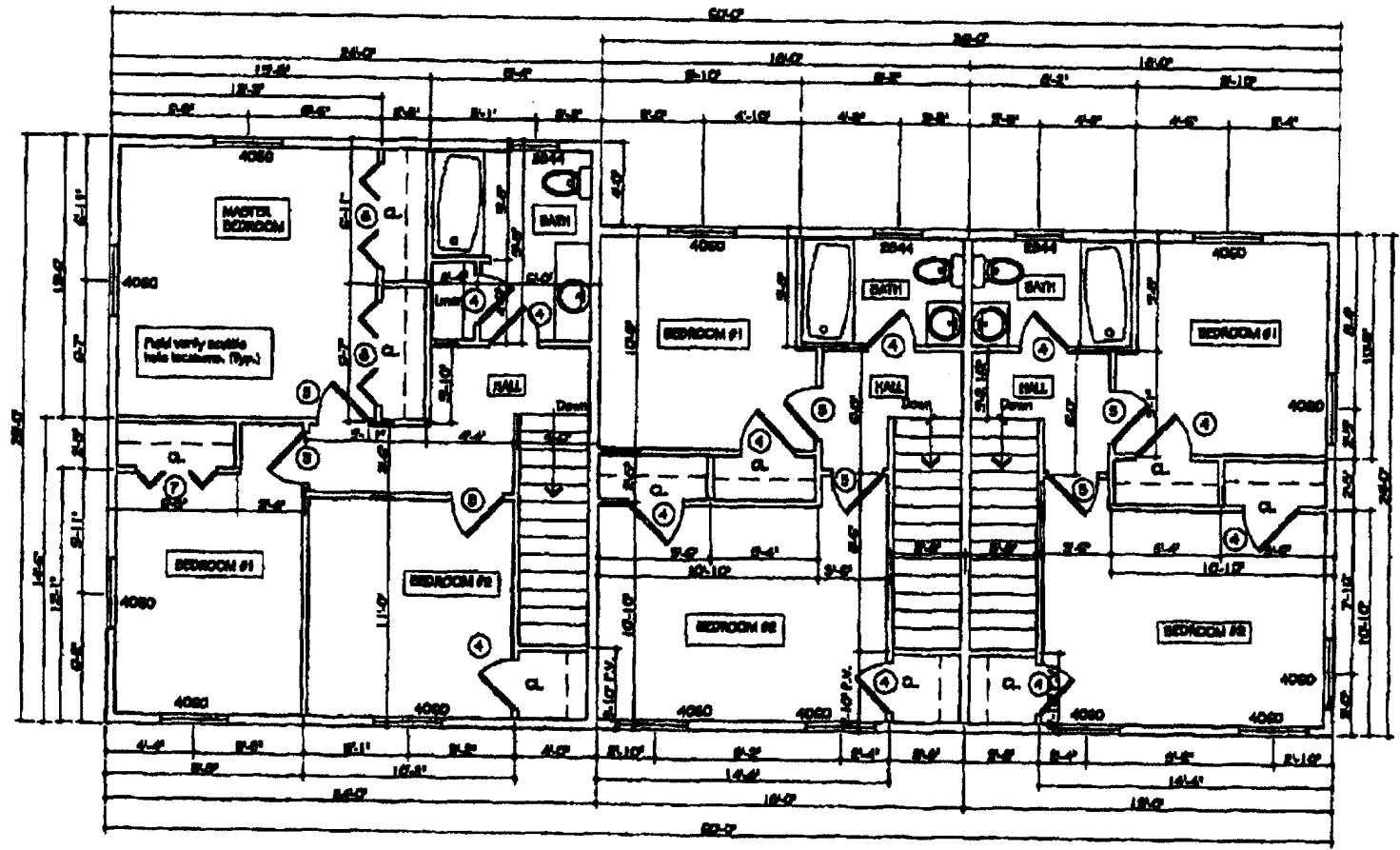
22/01



**FIRST FLOOR PLAN**  
N.T.S.



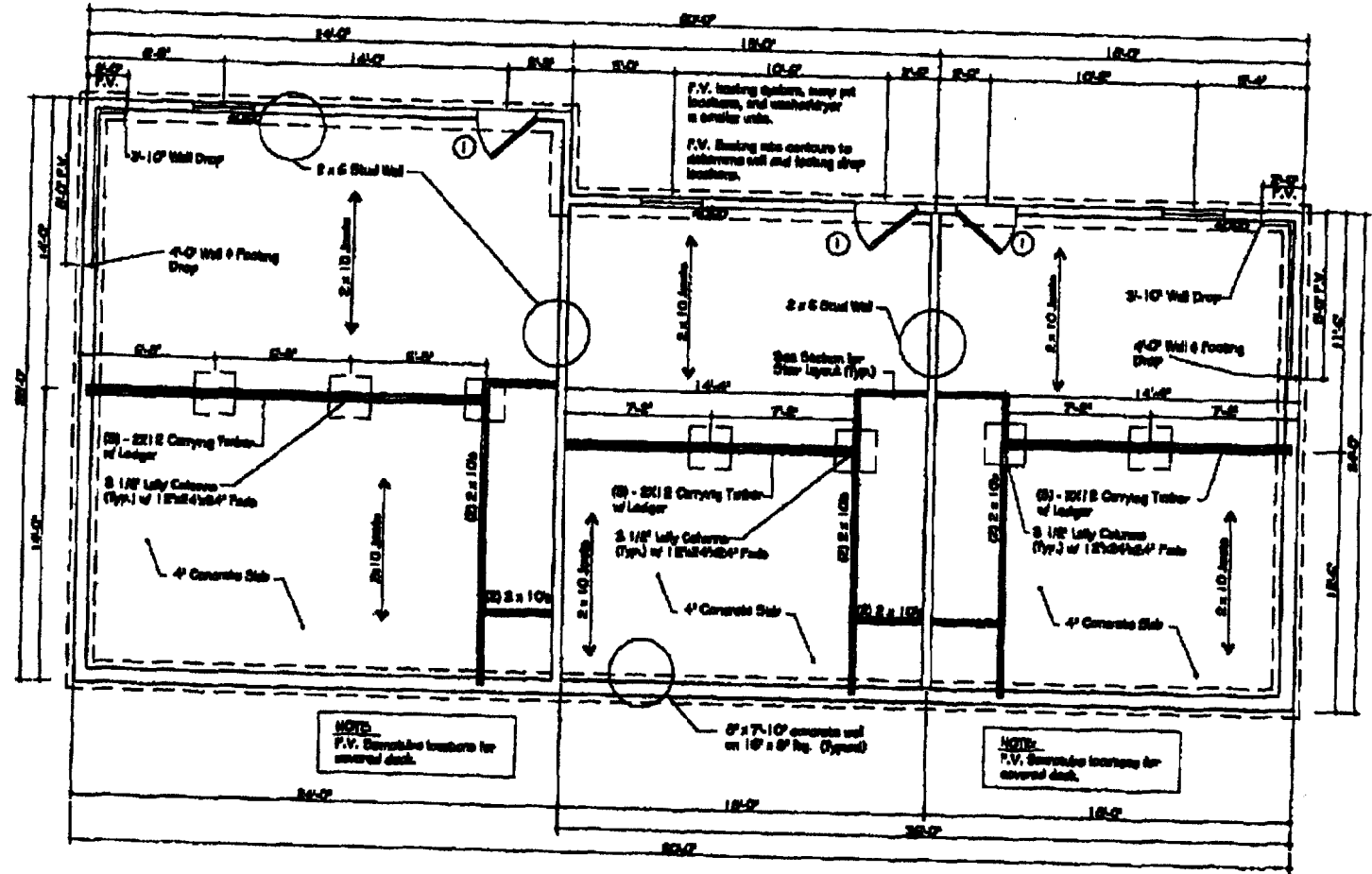
CALA  
12201



SECOND FLOOR PLAN  
~~Scale 1/8" = 1'-0"~~ N.T.S

**CALA**

10/22/01



**FOUNDATION PLAN**  
NTS

**CALA**  
1/22/01

