

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 71A, 71B, 73 (LOT 11) MAGGIE LANE (LOT 11)		Owner: ***** CUSTOM BUILT HOMES OF MAINE		Phone: 892-3149 ****	Permit No: 010034
Owner Address: 27 MAIN ST WINDHAM ME		Lessee/Buyer's Name:		Phone:	
Contractor Name: SAA		Address:		Phone:	
Past Use: 3XXXXXX VACANT	Proposed Use: NEW 3 UNIT TOWN HOUSE	COST OF WORK: \$ 190,000		PERMIT FEE: \$ 1164.00	
Proposed Project Description: NEW 3 UNIT TOWN HOUSE SINGLE FAMILY STYLE 2 STORY		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: <i>multi-5</i> Use Group <i>R-3</i> Type: <i>53</i>	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
Permit Taken By: K		Date Applied For: NOV 21 2000		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature: _____ Date: _____	
Zoning Approval: <i>OK with conditions 11/1/01</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 7 zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan major <input type="checkbox"/> minor <input type="checkbox"/> <i>mm</i> #20000211		Zoning Appeal		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
Historic Preservation		<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: **NOV 21 2000** K PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT 1

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review
NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Custom Built Homes of ME
Applicant

10/21/2000
Application Date

27 Main St Windham ME 04062
Applicant's Mailing Address

Lot 11 Maggie Lane
Project Name/Description

Danny McCarthy
Consultant/Agent

73 Maggie Lane
Address Of Proposed Site

892-3149 / 892-1383
Applicant/Agent Daytime telephone and FAX

341 A 21
Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other(Specify) _____

3 units @ 936 sqft total 2808 26,768 R-3
Proposed Building Square Footage and /or # of Units Acreage of Site Zoning

Major Site Plan _____ Minor Site Plan

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 10 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: <u>David J. McCane</u>	Date: <u>10/21/2000</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling**

Multi-Family or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <i>Lot # 11 Maggie Lane</i>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Number Chart# <i>341</i> Block# <i>A</i> Lot# <i>21</i>	Owner: <i>Custom Built Homes of ME</i>	Telephone#: <i>892-3149</i>
Owner's Address: <i>27 main st Windham, ME Custom Built Homes 04062</i>	Lessee/Buyer's Name (If Applicable) <i>N.A</i>	Cost Of Work: <i>\$190,000</i> Fee: <i>\$1100/-</i>
Proposed Project Description: (Please be as specific as possible) <i>3 unit, single family style townhouse 2 story</i>		
Contractor's Name, Address & Telephone <i>Same</i>		Rec'd By
Current Use: <i>New</i>	Proposed Use: <i>3 unit</i>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Daniel J. McCarty</i>	Date: <i>10/21/2000</i>
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Building Permit Fee: \$30.00 for the 1st \$1000 cost plus \$6.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$190,000 Plan Review # 1797/2K

Fee: \$1164.00 Date: 22 November 2k

Building Location: 207^{#11} Maggie Lane CBL: 341-A-021

Building Description: Multi Single Family Sec. 310.5

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 53

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building code requirements shall be completed before a Certificate of occupancy can or will be issued.	111.0 118.0
2.	Waterproofing and dampproofing shall comply with section 1813.0	1813.0
3.	Access to Attic space.	1211.0
4.	Bridging shall comply with section 2305.16	2305.16
5.	Foundation drain shall comply with section 1813.512	1813.512
6.	Anchor bolts shall comply with section 2305.17	2305.17
7.	Concrete shall be protected as per Sect. 1908	1908
8.	Chimneys and vents shall comply with NFPA 211	NFPA 211
9.	Sound Transmission Control shall comply with section 1214.0	1214.0
10.	Guardrail and Handrails shall comply with section 1021.0 - 1022.0	1021.0 1022.0
11.	Stair Construction shall comply with section 1014.0	1014.0
12.	Sleeping room egress windows shall comply with section 1010.4	1010.4
13.	Smoke detectors shall comply with section 920.32	920.32

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
 Soil bearing value (table 1804.3)
 Footing width
 Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

Design (1812.1)
 Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~SA~~ Water proofing and damp proofing Section 1813
 Sill plate (2305.17)
~~SA~~ Anchorage bolting in concrete (2305.17)
 Columns (1912)
~~NA~~ Crawl space (1210.2) Ventilation
~~NA~~ Crawl opening size (1210.2.1)
~~SA~~ Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

Joists - Non sleeping area LL40PSF (Table - 1606)
 Joists - Sleeping area LL30PSF (Table - 1606)
 Grade
 Spacing
 Span
 Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~SR~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~SR~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~NA~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~SA~~ Approved materials (1404.1)
- ~~SA~~ Performance requirement (1505)
- ~~SA~~ Fire classification (1506)
- ~~SA~~ Material and installation requirements (1507)
- ~~SA~~ Roof structures (1510.0)
- ~~SA~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~MS~~ Masonry (1206.0)
- ~~MS~~ Factory - built (1205.0)
- ~~MS~~ Masonry fireplaces (1404)
- ~~MS~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

State Plumbing Code
 Public Sewer
 Public Water

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>
Floor live load non sleeping	<u>40 PSF</u>
Roof live load	<u>42 PSF</u>
Roof snow load	<u>40 PSF</u>
Seismic Zone	<u>2</u>
Weathering area	<u>S</u>
Frost line depth	<u>4' MIN</u>

~~_____~~
~~_____~~
~~_____~~
~~_____~~
~~_____~~
~~_____~~
~~_____~~

Glazing (Chapter 24)

~~_____~~ Labeling (2402.1)
~~_____~~ Louvered window or jalousies (2402.5)
~~SA~~ Human impact loads (2405.0)
~~SA~~ Specific hazardous locations (2405.2)
~~SA~~ Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

~~NA~~ General (407)
~~_____~~ Beneath rooms (407.3)
~~_____~~ Attached to rooms (407.4)
~~_____~~ Door sills (407.5)
~~_____~~ Means of egress (407.8)
~~_____~~ Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~X~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7-3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~X~~ Winders (1014.6.3)
- ~~X~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

SA

Electrical

NFPA # *20*

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000211
I. D. Number

Custom Built Homes of Maine

Applicant
27 Main St, Windham, ME 04062
Applicant's Mailing Address
Danny McCarthy
Consultant/Agent
892-3149 892-1383
Applicant or Agent Daytime Telephone, Fax

11/21/2000
Application Date
Maggie Lane 71A,71B,73 (lot11)
Project Name/Description

71 - 73 Maggie Ln, Portland, Maine
Address of Proposed Site
341-A-021
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 71A 71B, 73 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall be responsible to install and maintain all necessary erosion control devices.

Applicant shall be responsible to clean city streets of any mud or other debris resulting from this project.

Applicant shall coordinate with developer and developer's contractor for all grading and utilities and curb openings to insure compliance with approved sub-division plans.

Site grading shall be accomplished to avoid any ponding of water or concentrated flow of run off onto adjacent properties.

- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- *31. Please read and implement the attached Land Use Zoning report requirements. *All requirements & conditions on the Attach Site PLAN Development Review Sheets*
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *shall met*
- *33. Bridging shall comply with Section 2305.16.
- *34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *36. All flashing shall comply with Section 1406.3.10.
- *37. *The proposed fire partition between dwelling units shall be (2) Two hour rated or (1) one hour where bldg. is sprinkled sec. 3101.5*
- *38. *This permit does not authorize decks because there is no framing details with plans - There fore the sliding glass doors shall be locked so they can not be open,*

[Signature]
 P. [Name], Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
[Signature]
 PSH 10/100

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

BUILDING PERMIT REPORT

DATE: 22 November 2K ADDRESS: Maggie Lane dot #11 CBL: 341-A-021

REASON FOR PERMIT: To Construct a new 3 unit Town House (multi Single Family)

BUILDING OWNER: Custom Built Homes of Maine

PERMIT APPLICANT: SAO CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 190,000 PERMIT FEES: 1164.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1 *2 *3 *4 *5 *6 *7 *8 *9 *10 *11 *12 *13 *14 *15 *17 *19 *26 *27 *28 *29 *30 *32 *33 *34 *35 *36 *37 *38

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and damproofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- *7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- *10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B,H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/2" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- *17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic fire extinguishment. (Table 302.1.1)

Applicant: Custom Built Homes

Date: 11/29/08

Address: # 71A, 71B, 73 Maggie Lane (lot #11)

C-B-L: 341-A-21

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5 (not APRUD)

Interior or corner lot -

Proposed Use/Work - construct 3 unit Town house multiplex 26' x 54'

Sevage Disposal - City

Lot Street Frontage - 50' req - 50' shown

watch → Front Yard - 25' req - 27' shown

Rear Yard - 25' req - 50' shown

close - fight minimum Side Yard - 8' ^{reducing side to 8' instead of the 12' req -} 20' required - shows 8' ^{or} 28' ok

Projections - front porch slabs - rear 10'x10' decks - NO stairs from decks Allowed

insp should measure Width of Lot - 90' req - 90' shown

At closest point Height - 35' max - 31.25' ^{in rear} from lowest grade to ridge

Lot Area - 18,000[#] min req - 26,768[#]

Lot Coverage/ Impervious Surface - 40% - of 10,707.2[#]

Area per Family - 6,000[#]/unit a 18,000[#] total

Off-street Parking - 6 spaces required - 6 shown

Loading Bays - N/A

Site Plan - mmor # 20000211

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - Zone X

lot configurations/plans reviewed

26 x 54 = 1404[#]
3 (10'x10') = 300
1704[#]



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwi.net

10/10/2000

Custom Built Homes of Maine Proposes to build a 3 unit townhouse style building on Lot # 11 Maggie Lane. Each unit will be 18'x36' and consist of 2 bedrooms and 1 Bath , another ½ bath roughed in the basement.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20006211

I. D. Number

Custom Built Homes of Maine

Applicant

27 Main St, Windham, ME 04062

Applicant's Mailing Address

Danny McCarthy

Consultant/Agent

892-3149

892-1383

Applicant or Agent Daytime Telephone, Fax

11/21/00

Application Date

single family lot 11

Project Name/Description

71 - 73 Maggie Ln, Portland, Maine

Address of Proposed Site

341-A-021

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now **71A 71B, 73 Maggie Lane**

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall be responsible to install and maintain all necessary erosion control devices.

Applicant shall be responsible to clean city streets of any mud or other debris resulting from this project.

Applicant shall coordinate with developer and developer's contractor for all grading and utilities and curb openings to insure compliance with approved sub-division plans.

Site grading shall be accomplished to avoid any ponding of water or concentrated flow of run off onto adjacent properties.

Defect Guarantee Submitted

Defect Guarantee Released

submitted date

amount

expiration date

date

signature



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Fax: (207) 892-1383
E-mail: cbhm@gwi.net

10/21/00

TO:City of Portland

RE: Lot # 11 Maggie Lane

Custom Built Homes of Maine proposes to build a multiple single-family 3-unit townhouse style building. Each unit will consist of 2 bedrooms 1 bath, with a future bath in the basement. Each Unit will have a 10'x10' P.T. decks with no stairs. Total size of building is 26'x54' with each unit being 18'x26'

Daniel J. McCarthy


SPACE AND BULK REQUIREMENTS – LOT 11

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NOT SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

12/5/2000

Design:	DER	Date:	APR 2000
Draft:	LAN	Job No.:	165
Checked:	AMP	Scale:	NONE
File Name:	99103-ALL-LOTS2.DWG		

	Traffic and Civil Engineering Services
	PO Box 1237, 26 Main Street
	Gray, ME 04039
	207-657-6910

Drawing Name:	Space & Bulk Requirements Lot 11
Project:	MAGGIE LANE, PORTLAND

Figure No.

1

EACH UNIT ON LOT 11 TO HAVE A 10'x10' REAR DECK CONTRACTOR SHALL BE RESPONSIBLE FOR 4'x4' DECK WITH STAIRS FROM BASEMENT TO GROUND

gains Not from 10 x 10 deck

ANY TOILET OR PLUMBING FIXTURE IN THE BASEMENT SHALL REQUIRE A PUMP

Not the lot line this is wetland delineation

DETENTION AREA

POTENTIAL LOT 10 LAYOUT

FUTURE PARKING

Lot 10 FUTURE BUILDING

Lot

Lot 11
28'x 64' MULTIPLEX
F.F.E. 103.40
BSMT F.F.E. 93.40
INV 99.71
90' LOT WIDTH

FOUNDATION PLANTINGS 24" IN HEIGHT (BURNING BUSH, LILACS OR COMPARABLE)

3 SHURBS OR COMPARABLE

Close

3/4" CURB STOP (TYP. OF 3)

DOUBLE CLEANOUT

2" CURB STOP

4 RED MAPLE OR COMPARABLE, 2 1/2" PAL.

Lot 13

SMH14

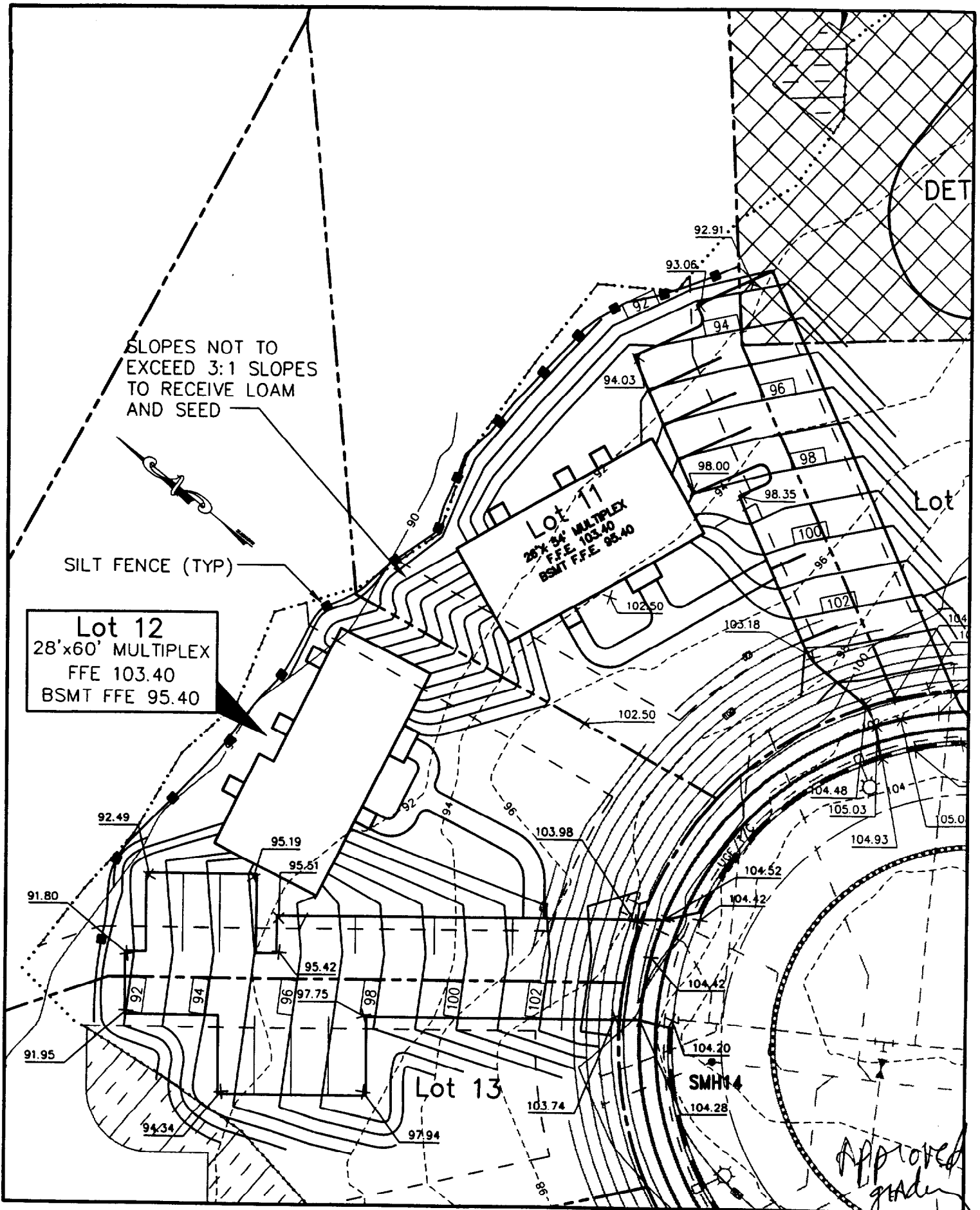
Approved plan

Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Corroll-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Layout & Utilities - Lot 11**
Project: **MAGGIE LANE, PORTLAND**

Figure No. **2**



Design: DER	Date: MAR 2000
Draft: DB	Job No.: 165
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:
Grading & Drainage- Lot 12

Project:
MAGGIE LANE, PORTLAND

Figure No.
3




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12/5/00

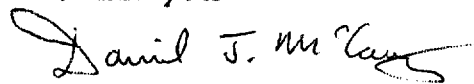
TO: Rick Knowland

From : Danny McCarthy

RE: Staff Comments on lot # 11, Maggie Lane

1. The 90' lot width measurement was added.
2. Stair notes added to page # 2.
3. Footprints have been changed to match front entrances.
4. Drawing is to scale, picked up the originals, no faxed copies.
5. Note has been added  for pump in basement.
6. Driveway has been enlarged and future driveway for lot # 10 has been added.

Thank you


Danny McCarthy

11-30-00

TO: DAN Mc CARTHY

FROM: RICK KNOWLAND

RE: STAFF COMMENTS ON LOT #11 OF MAGGIE LANG

1. SHOW THE 90 FOOT LOT WIDTH MEASUREMENT THROUGH THE BUILDING.
2. ON SHEET #2, REVISE THE NOTE REGARDING OUTSIDE STEPS / STAIRWAY. THERE CAN BE NO OPEN OUTSIDE STAIRWAYS. TAKE OUT THIS REFERENCE.
3. BUILDING FOOTPRINT ON THE SITE PLAN DOES NOT MARK THE BUILDING ELEVATION. RE: FRONT ENTRANCE ALONG THE BUILDING. THIS MAY ALSO CHANGE THE SIDEWALK LOCATION.
4. IS THE DRAWING TO SCALE? IF NOT IT SHOULD BE ALSO DON'T SEND US REDUCED DRAWINGS.
5. A NOTE SHOULD BE ADDED TO THE PLAN, STATING THAT ANY TOILET OR PLUMBING FIXTURE INSTALLED IN THE BASEMENT SHALL REQUIRE A PUMP.
6. THE MANEUVERING AISLE FOR THE PERPENDICULAR
7. Show driveway 20' width
8. show driveway for lot 10

STATUTORY WARRANTY DEED

COPY

MAGGIE LANE DEVELOPMENT, LLC, a Maine Limited Liability Company with a mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

CUSTOM BUILT HOMES OF MAINE, INC., a Maine corporation with a mailing address of 27 Main Street, Windham, Maine 04062

A certain lot or parcel of land with any improvements thereon situated northeasterly of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 11 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, as amended in Plan Book 200, Page 412.

Being a portion of the premises conveyed to Grantor herein by deed from W.A. One dated April 11, 2000 and recorded at the Cumberland County Registry of Deeds in Book 15413, Page 96.

The herein conveyance is subject to and together with the benefit of the following:

1. The rights in common with others to Maggie Lane as shown on said Plan.
2. Easement Deed from Maggie Lane Development, LLC to the City of Portland dated April 11, 2000 and recorded in Book 15413, Page 102.
3. Easement Deed from Maggie Lane Development, LLC to Portland Water District dated April 11, 2000 and recorded in Book 15413, Page 104.
4. Easements as set forth in the deed from W.A. One, Inc. to Maggie Lane Development, LLC dated April 11, 2000 and recorded in Book 15413, Page 106.

5. Declaration of Restrictions and Covenants, Maggie Lane dated June 7, 2000 and recorded in Book 15522, Page 54.
6. Easement and encumbrances as set forth on said plan for Maggie Lane Development, LLC dated February 2, 1999 and recorded in Plan Book 200, Page 412.
7. Notes as set forth on said plan of Maggie Lane Subdivision recorded in Plan Book 200, Page 412.
8. Common Driveway Easement with Lot 10 as shown on said plan. The lot herein conveyed and said Lot 10 shall share equally in the use, maintenance and repair of said driveway, and no occupants of either lot shall do anything to interfere with the use of said driveway by the occupants of the other lot.

This conveyance is subject to the following restrictions, which Grantee covenants and agrees by acceptance of the herein deed shall be binding upon Grantee, its successors and assigns:

1. The lot herein conveyed shall not be further subdivided without Maggie Lane Development, LLC's written, recorded approval. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purpose.
2. The herein conveyance specifically excludes any rights in a certain twenty-five (25) foot right-of-way extending from the northeasterly sideline of Forest Avenue to the southwesterly sideline of Lot 17 as shown on said plan.
3. Lot 11 shall be limited to not more than three (3) residential units.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said MAGGIE LANE DEVELOPMENT, LLC has caused this instrument to be signed and sealed by JAMES WHITE, its Member thereunto duly authorized this 16 day of Nov., 2000.

MAGGIE LANE DEVELOPMENT, LLC

Joyce M. Yates

By: [Signature]
Its Member, James White

STATE OF MAINE
CUMBERLAND, SS.

, 2000

Then personally appeared the above-named JAMES WHITE Member of MAGGIE LANE DEVELOPMENT, LLC as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Limited Liability Company.

Before me,

Joyce M. Yates
Attorney at Law/Notary Public

JOYCE M. YATES
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

**AutoCAD digital format Final plans depicting
the as-built condition must be filed with this
office prior to closure.**