

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 090409

Please Read Application And Notes, If Any, Attached

This is to certify that FLYNN CARRIE & RANDY THORSTON Homeowner  
has permission to Rebuild Covered Front Porch using Existing Footprint  
AT 1343 FOREST AVE CB# 341 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

PERMIT SOLD  
MAY 1  
CITY OF PORTLAND

*Thomas H. Madley* 5/18/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0409	Issue Date:	CBL: 341 A003001
-----------------------	-------------	---------------------

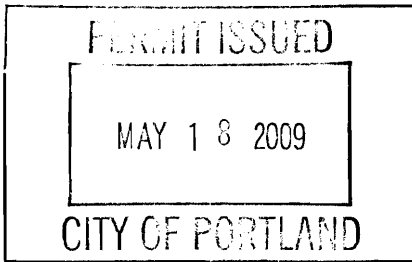
Location of Construction: 1343 FOREST AVE	Owner Name: FLYNN CARRIE & RANDY THU	Owner Address: 1343 FOREST AVE	Phone: 207-400-0703
Business Name:	Contractor Name: homeowner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R-5

Past Use: Two Unit Residential	Proposed Use: Two Unit Residential - Rebuild Covered Front Porch using Existing Footprint.	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 5	13263#
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 123 Type: 5B IRC 2003		

Proposed Project Description: Rebuild Covered Front Porch using Existing Footprint.	Signature:	Signature: <i>Jm</i> 5/18/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: lmd	Date Applied For: 05/04/2009	<b>Zoning Approval</b>	
-------------------------	---------------------------------	------------------------	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/11/09</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date: <i>5/11/09</i>	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>[Signature]</i>
---	--	--	---



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1343 Forest Avenue</u>		
Total Square Footage of Proposed Structure/Area <u>220<sup>sqft</sup></u>	Square Footage of Lot <u>198ft x 65ft 12,870<sup>sqft</sup> approx</u>	Number of Stories <u>3 incl. Attic</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>341          A          003</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Randy Thurston</u> Address <u>1343 Forest Ave, Apt. 1</u> City, State & Zip <u>Portland, ME</u>	Telephone: <u>(207) 400-0703</u>
Lessee/DBA (If Applicable)  <u>MAY - 4 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>Est. 4-5000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>2 unit</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>2 unit</u> Is property part of a subdivision? <input checked="" type="checkbox"/> If yes, please name _____ Project description: <u>Rebuild Covered Front porch. Existing porch is original and due to a water main leak and rot, is unsafe and unsightly. Rebuild to be an exact footprint of old porch.</u>		
Contractor's name: <u>Randy Thurston</u> Address: <u>1343 Forest Ave, Apt. 1</u> City, State & Zip <u>Portland, ME</u> Telephone: <u>(207) 400-0703</u> Who should we contact when the permit is ready: <u>Randy Thurston</u> Telephone: <u>400-0703</u> Mailing address: <u>Same</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Randy A. Thurston      Date: 5/4/09

**This is not a permit; you may not commence ANY work until the permit is issue**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0409	<b>Date Applied For:</b> 05/04/2009	<b>CBL:</b> 341 A003001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 1343 FOREST AVE	<b>Owner Name:</b> FLYNN CARRIE & RANDY THU	<b>Owner Address:</b> 1343 FOREST AVE	<b>Phone:</b> 207-400-0703
<b>Business Name:</b>	<b>Contractor Name:</b> homeowner	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Duplex	

<b>Proposed Use:</b> Two Unit Residential - Rebuild Covered Front Porch using Existing Footprint.	<b>Proposed Project Description:</b> Rebuild Covered Front Porch using Existing Footprint.
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/11/2009

**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the front porch rebuild will not be larger than the existing footprint. Any changes shall require an amendment to this permit showing the changes prior to making the changes.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 05/18/2009

**Note:** **Ok to Issue:**

- 1) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Forest Avenue

Existing and proposed Porch 20ft from curb

Side Walk

27 feet to property line

27ft 6 inches

5ft

Existing and Proposed porch

Approx 8ft to property line

Driveway

House

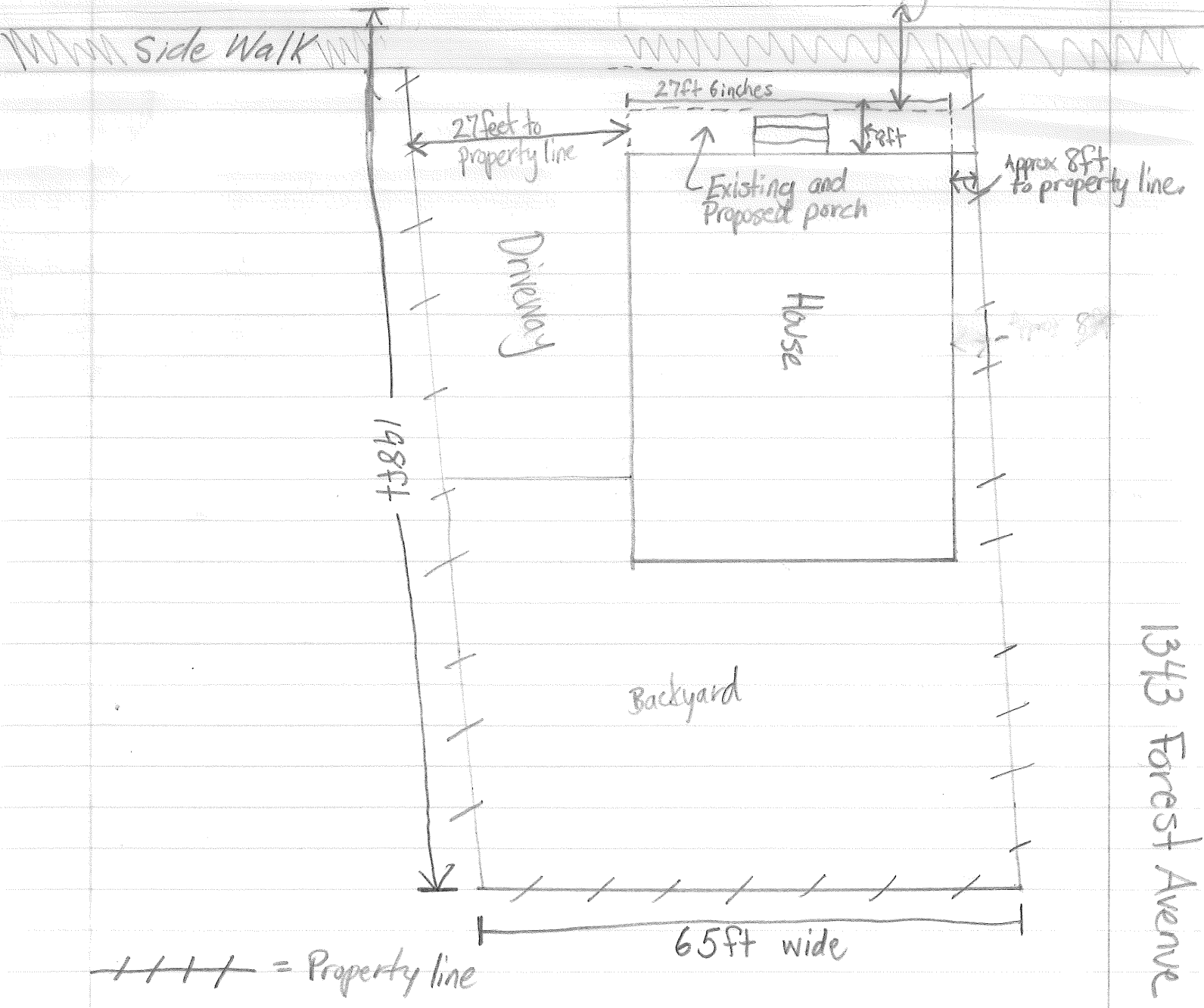
198ft

Backyard

65ft wide

|||| = Property line

1343 Forest Avenue

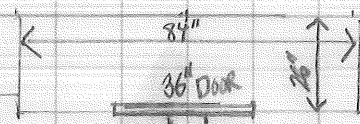


Existing Porch Deck Framing To Be Removed

RS = Rough Sawn

(OAL) 27ft 2 1/2 inches

K



3x6 RS (19 3/8 OC)

3x6 Joist resting on Beam

8x8 beam

6x6

6x6 RS

6x6

6x6 RS

Driveway

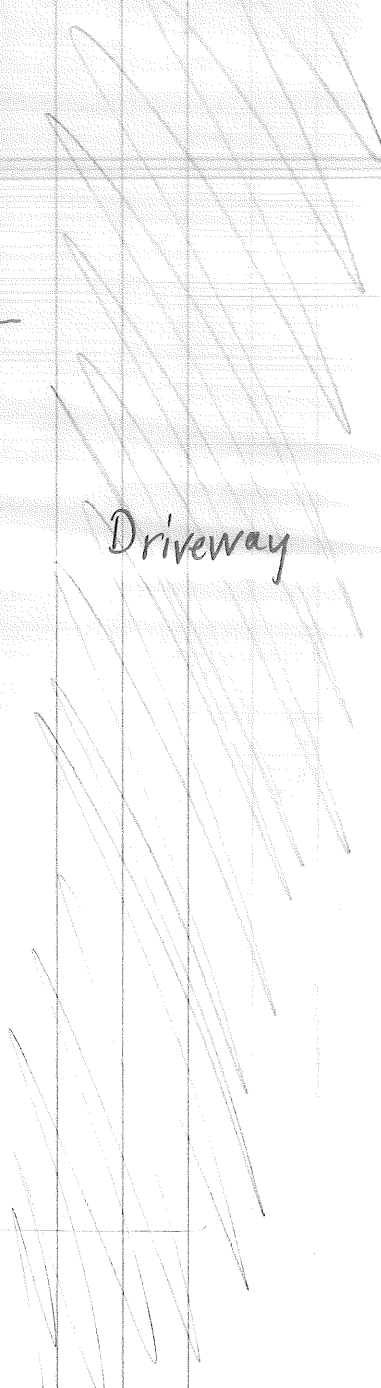
Existing Concrete Steps

Approx 82" to Sidewalk

Approx 20ft to Street

SIDE WALK

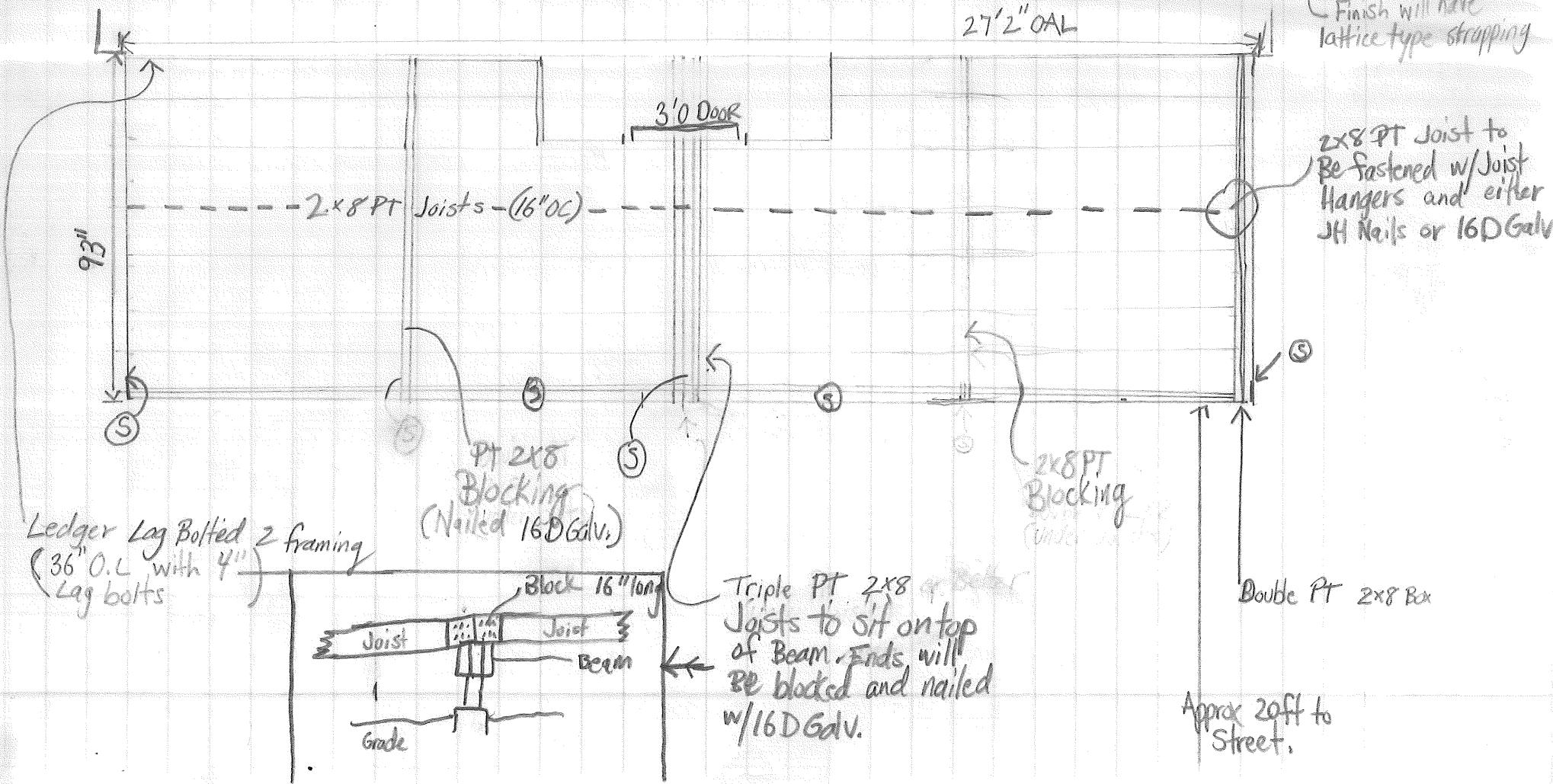
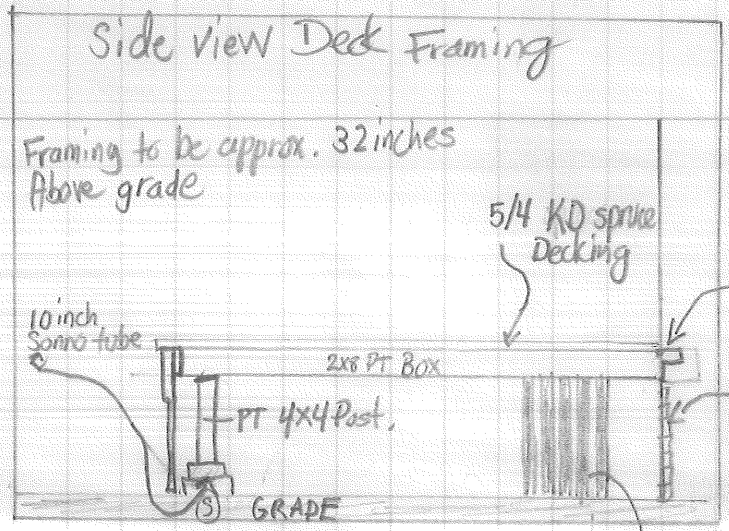
Street



# Proposed - New Deck Framing - (above view)

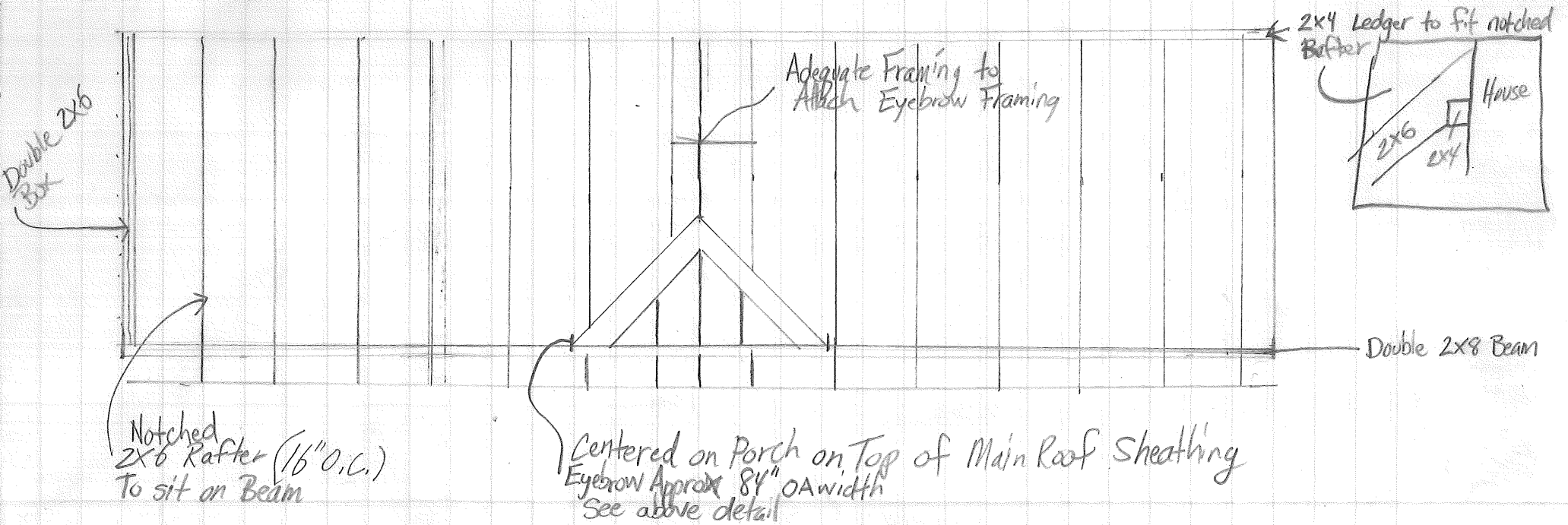
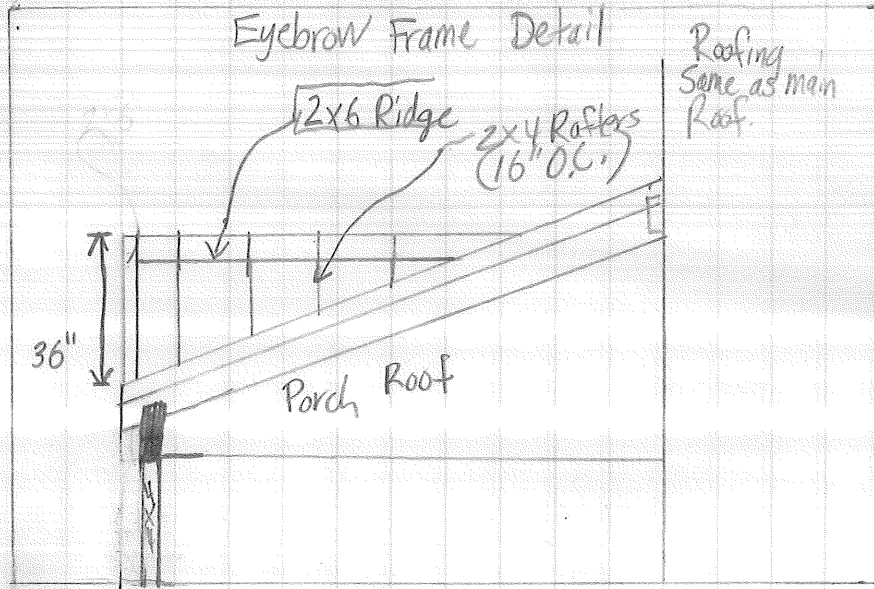
PT = Pressure Treated Lumber

- ⑤ 10 inch Sonno tube - New tubes to be installed at least 4ft deep and topped with hardware put into wet cement.
- All Fasteners used on or below deck level will be galvanized.
- Joists will be nailed w/ 16D galv. nails on ledger or proper Joist hangers + nails will be used.
- New construction will not be any closer to sidewalk or street.



# Proposed Roof Framing

Rafters to be toe nailed to beam w/ 16D nails  
 Roof Sheathing 1/2 OSB Fastened w/ 8D ringshank





# Roof Frame Side view

Any E... Rough Sawn  
that is not...  
and... KD 2x6

Existing old...  
1/2 OSB...  
on first row...  
needs...  
asphalt

30yr Black Asphalt Shingles

30lb felt

Ice + water  
Shield first  
Row

KD 2x6 Rafters

3/12 pitch

7/16 OSB Sheathing

Under Siding  
Flashing + Ice + water Shield  
where Roof meets House.

2x6 Ledger Nailed 16" O.C w/16 nails  
and lag bolted 48" O.C. to existing  
Framing.

2x4 16" OC Wall -

2x4 Collar Ties 16" OC  
To support Ceiling. Fastened with joist hangers.

2x6 Ledger Nailed 16" OC to Existing  
Framing w/16D nails.

House

From Finished Decking to T+6 pine Ceiling

5/4x6 Spruce Decking  
Fastened with coated  
Deck screws 2"

Scale 1 inch =  
approx 2ft

Alum. Drip Edge.

1x4 Shadow Board (Pine)

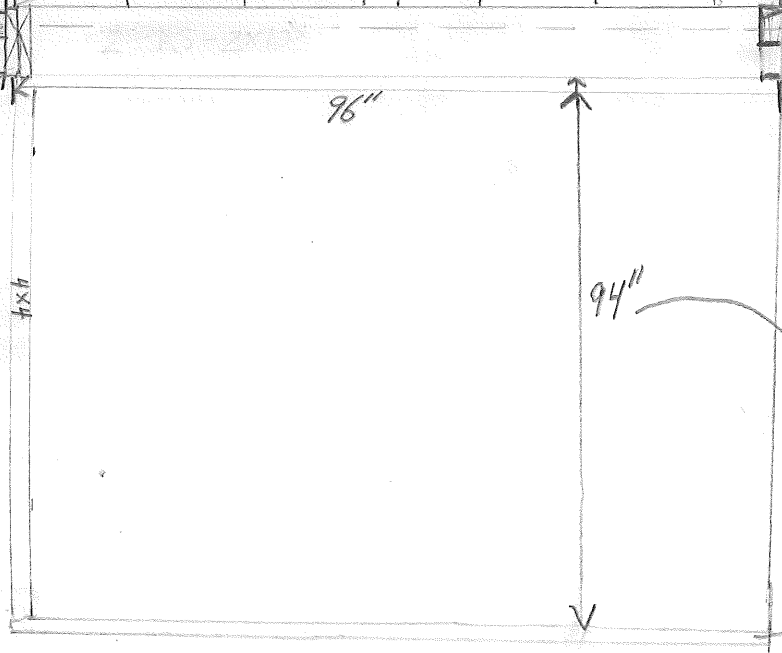
1x10 Fascia (Pine)

KD 2x8<sup>1/2</sup> Doubled  
4-16D nails 24" O.C. on Both  
Sides. Breaks to fall  
only over 4x4 support post.

fix

96"

94"



Front View finish

Roofing Materials to be black IKO Three tab shingles over Ice + Water shield.

All to be painted,

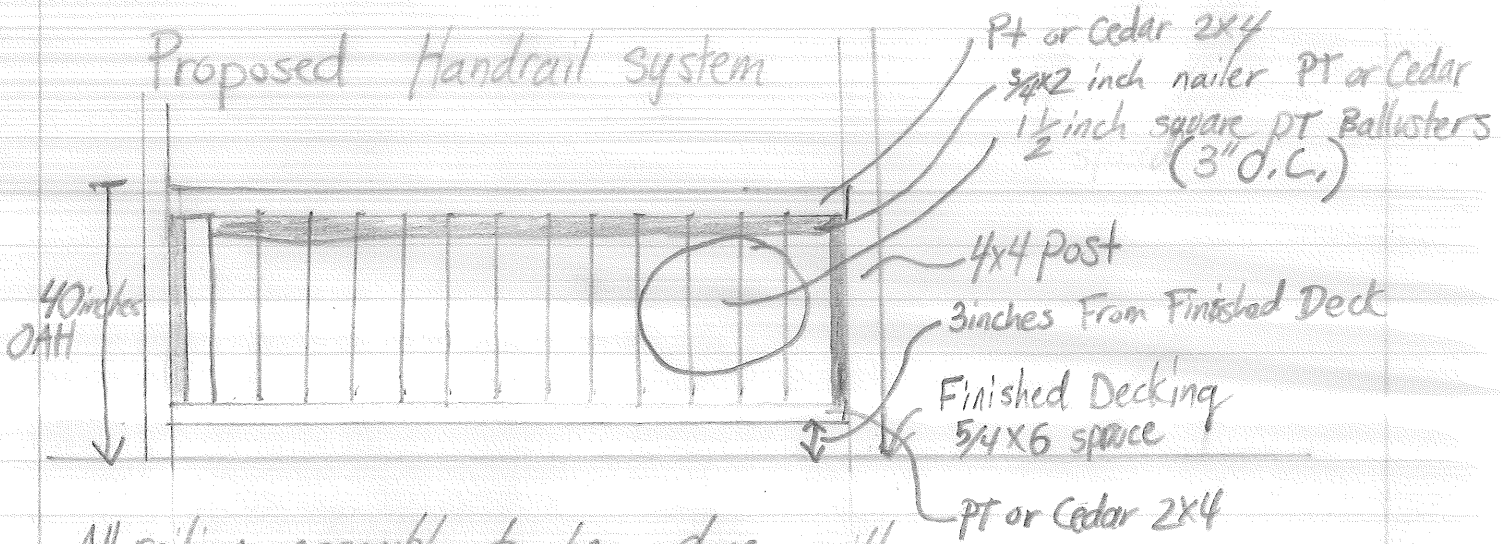


old concrete  
with footing will  
remain.

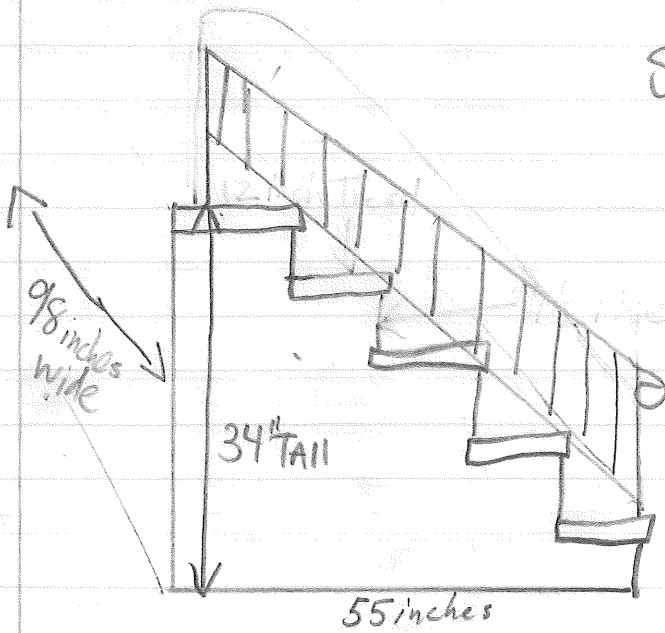
At least 10" Sonno  
Tubes to be installed  
in the ground  
in 5 to 10 inch Sonno Tubes  
Placed in ground min  
of 48" Spaced to  
Carry load of deck  
and roof under each  
post.

Scale Approx  
1/4 inch = 1 foot

# Proposed Handrail System



All railing assembly to be done with stainless screws or ring-shanked nails.  
 Railing to be attached to post with 3 inch Deck or Stainless screws.



## Stair Detail (use existing)

Existing Cast Concrete Steps

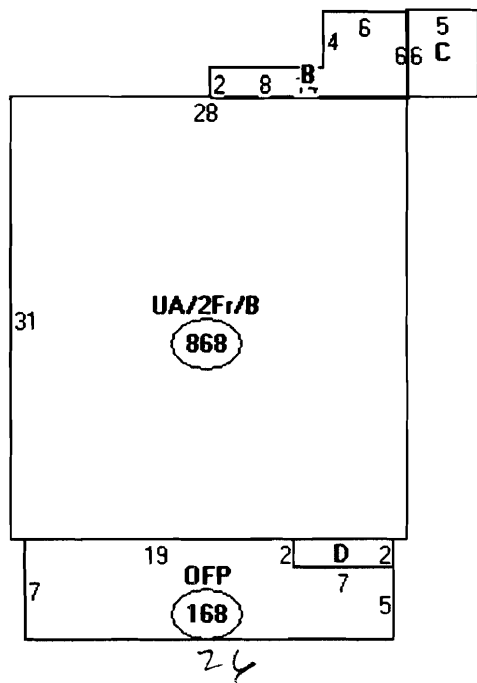
11 3/4 inch Tread

7 1/2 inch Rise

Railing Cast Aluminum

34 inches high

Balusters spaced 3 3/4 inches



Descriptor/Area

A: UA/2Fr/B  
868 sqft

B: 2Fr  
52 sqft

C: EP  
30 sqft

D: FOH  
14 sqft

E: OFF  
168 sqft

19 x 31 = 582  $\square$



**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Final inspection required at completion of work.**

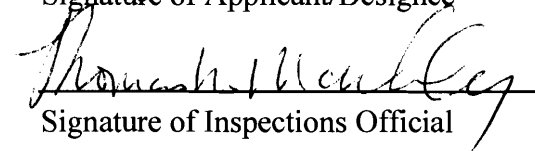
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

5/12/09  
Date