CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

199	70036				
		,	 	 	
1. D.	Numt	er			

Princeton Properties		•	//14/9/
Applicant			Application Date
100 Forest Park, Portland, ME 04101		1	1375 Forest Ave
Applicant's Mailing Address		ſ	Project Name/Description
Mike Bowen/Jamie Whelan		1349- 1403 Forest Ave	
Consultant/Agent		Address of Proposed Site	
773-4739 7	73-2269	341-A-001	
Applicant or Agent Daytime Telephone,	Fax	Assessor's Reference: Chart-Block	k-Lot
Proposed Development (check all that a	apply): New Building facturing Warehouse/Dis	☑ Building Addition ☐ Change Of Use stribution ☐ Parking Lot ☐ Other (s	
940 Sq Ft	512,	136	R-5 zone
Proposed Building square Feet or # of U	Units Acre	eage of Site	Zoning
Check Review Required:			
Site Plan	Subdivision	☐ PAD Review	14-403 Streets Review
(major/minor)	# of lots		
			—
Flood Hazard		☐ HistoricPreservation	DEP Local Certification
Zoning Conditional	Zoning Variance		Other
Use (ZBA/PB)			
Fees Paid: Site Plan \$36	00.00 Subdivision	Engineer Review \$73	3.00 Date: 7/14/97
Inspections Approval Status:		Reviewer Marge Schmuckal	
■ Approved	Approved w/Conditions	☐ Denied	
. Approved	see attached		
			CT Additional Observa
Approval Date 8/1/97	Approval Expiration	Extension to	Additional Sheets
Condition Compliance			Attached
	signature	date	
Performance Guarantee	Required*	Not Required	
* No building permit may be issued unti	l a performance quarantee has b	een submitted as indicated below	
_	ra portormanos gadrantes nas pr	CONTROL OF PROCESS POOLS	
Performance Guarantee Accepted			
	date	amount	expiration date
☐ Inspection Fee Paid			
	date	amount	Andrews and
Building Permit Issued			
	date		
	- 		
Performance Guarantee Reduced	المستعدد الم	compiled by by	elandura
	date	remaining balance	signature
☐ Temporary Certificate of Occupance	у	Conditions (See Attached)	
	date	·	
Final Inspection			
	date	signature	-
Certificate Of Occupancy		-	
	date		
Performance Guarantee Released			
	date	signature	
☐ Defect Guarantee Submitted			<u></u>
	submitted date	amount	expiration date
Defect Guarantee Released			

City of Portland, Mai					Permit (40:	Isane nate:		CDL;	
389 Congress Street, 041	01 Tel: (207) 874-870 3,	Fax:	(207) 874-8716	10-1477	<u> </u>		341 A00	1001
Location of Construction: BN	dry H	Owner Name:		į c	Owner Address:	, 		Phone:	
1349 FOREST AVE (13	75)	PVA LIMITEI) PAR	TNERSHIP	1115 WESTFOR	D ST			
Business Name:		Contractor Name:	}	I .	Contractor Address:			Phone	
		P & G Contrac	ting Inc	·	26 High Street Pc	pperell		97843362	
Lessee/Buyer's Name		Phone:		E	ermit Type:				Zone:
] <u> </u>	Alterations - Mu	ti Family			R-5
Past Use:		Proposed Use:			Permit Fee:	Coat of Work:	1) District:	
Unit Residential - By	WAYTH	12 Unit Reside			\$390,00	\$36,720		5	<u> </u>
	•	concrete plank			FIRE DEPT:	Approved	NSPECTION	ON:	- O2
		new wood deci	KS 12 Q	ccks zhu &] Denied	Ose Group:	K-C	1ype S1
100	٠. ٢	314 HOOL	tobal	اا	* See Cov	ditions	+2	R-2 X-201	3
	luse of	18- 18-J	نكثم	abildy H	_	\sim 1	راسند	1	
Proposed Project Description:	1 1 - 1 - 4	1/		-1-a 10 doelee	a:	<u>ک</u>) ا	Signature:	AMB1	2/9/10
Remove old concrete plan 2nd & 3rd floor	k decks &	replace w/ new v	vooa ae	cks 12 decks	Signature: C				-/ '//'
Zild & Sid floor									
					Action: Appro	ved Appro	ved w/Con	ditions [Denied
					Signature:		Da	te:	
Permit Taken By:	Date A	pplied For:			Zoning	Approval			
ldobson	11/2	3/2010				, <u>, , , , , , , , , , , , , , , , ,</u>			
1. This permit application	n does not	preclude the	Spe	cial Zone or Review	a Zoni	ng Appeal		Historic Pres	ervation
Applicant(s) from me			□ s	horeland	☐ Variano	æ	□ □	Not in Distric	t or Landmar
Federal Rules.									
2. Building permits do n	ot include	plumbing,		/etland	Miscell	aneous		Does Not Rec	quire Review
septic or electrical wo					·		_		
3. Building permits are			☐ F	lood Zone	Conditi	onal Use		Requires Rev	iew
within six (6) months					 		1 –		
False information ma permit and stop all we		a building		ubdivision	Interpre	etation		Approved	
permit and stop an wi	J. R.,							Approved w/	Canditions
			🗆 8	ite Plan	Approv	eu		Approved w/	CORGINGIA
			Mai	☐ Minor ☐ MM [Denied			Denied	
! PERI	WIT ISS.	(4) [1					"	JBV	
	111 100	רבה	Date	unicondition	Date:		Date:	المحاكر	
1 000			Date.	TOTAL MANAGEMENT	Daw.				
DEC	9 20	10 D							
CITY OF	PODTI	2010							
	TOMIL	AMD							
				CERTIFICATIO	ON				
I hereby certify that I am t	he owner o	f record of the na	amed p	roperty, or that th	e proposed work	is authorized l	by the ow	mer of reco	rd and that
I have been authorized by	the owner	to make this app	lication	as his authorized	agent and I agree	e to conform to	o all appi	icable laws	of this
jurisdiction. In addition, i	f a permit f	or work describe	ed in the	e application is is:	sued, I certify that	t the code offi	cial's auti	norized repi	resentative Inlicable to
shall have the authority to such permit.	enter all ar	eas covered by s	ucn per	писасану гевзоп	avie hour to chioi	re me broats	ion of UR	n correcte) gh	hurante m
auem permit.									
						-			NATE:
SIGNATURE OF APPLICANT				ADDRESS	i	DATE		PHC	NE
RESPONSIBLE PERSON IN C	HARGE OF	WORK. TITLE				DATE		PHO	ONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

City of Portland Maine - Building or Use Permit	ding or Use Permit		Permit No:	Date Applied For:	CBL:
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716	207) 874-8703, Fax: (2	07) 874-8716	10-1477	11/23/2010	341 A001001
Location of Construction:	Owner Name:	0	Owner Address:		Phone:
1349 FOREST AVE (1375 build. 'H' PVA LIMITED PARTNERSHIP	PVA LIMITED PARTY		1115 WESTFORD ST	ST	
Business Name:	Contractor Name:		Contractor Address:		Phone
	P & G Contracting Inc	2	26 High Street Pepperell	perell	(978) 433-6238
Lessee/Buyer's Name	Phone:	Pe	Permit Type:		
			Alterations - Multi Family	Family	

		Γ			
Proposed Use:		Proposed	Proposed Project Description:		
18 Unit Residential - Build	18 Unit Residential - Building 'H' - Remove old concrete plank	Remove	Remove old concrete plank decks & replace w/ new wood decks 12	ks & replace w/ new	wood decks 12
decks & replace w/ new wo	decks & replace w/ new wood decks 12 decks 2nd & 3rd floor	decks 2	decks 2nd & 3rd floor		
Dept: Zoning	Status: Approved with Conditions	Reviewer:	Reviewer: Ann Machado	Approval Date:	12/01/2010
				Ok to	Ok to Issue: 🗹
1) This permit is being is:	1) This permit is being issued with the condition that all the work will take place within the existing footprint.	k will take pla	ce within the existing for	ootprint.	
 This property shall ren J & K; 18 dwelling uni 	2) This property shall remain as 136 dwelling units - 8 dwelling units in buildings A & B; 12 dwelling units in buildings C, D, E, F, I, J & K; 18 dwelling units in buildings G & H. Any change of use shall require a separate permit application for review and approval.	units in buildi use shall requ		the in Friddings	
 This permit is being ap work. 	 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 	. Any deviati	ngs A & B; 12 dwelling ire a separate permit ap	plication for review and approva	D, E, F, I, nd approval.
Dept: Building	Status: Approved with Conditions		ngs A & B; 12 dwelling ire a separate permit ap ons shall require a sepa	plication for review a rate approval before s	D, E, F, I, nd approval. starting that
 Permit approved based noted on plans. 	 Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 	Reviewer:	nits in buildings A & B; 12 dwelling se shall require a separate permit ap Any deviations shall require a separate permit ap Any deviations shall require a separate permit ap Any deviations shall require a separate permit appears to the series of the ser	plication for review a rate approval before s Approval Date: Ok to	ngs C, D, E, F, I, view and approval. fore starting that ate: 12/09/2010 Ok to Issue:
Dept: Fire		Reviewer:	ngs A & B; 12 dwelling ire a separate permit apons shall require a sep	plication for review a rate approval before s Approval Date: Ok to information as agreed of the second control of the second contro	D, E, F, I, nd approval. tarting that 12/09/2010 Issue:
	Status: Approved with Conditions	Reviewer: //owner/contr	nits in buildings A & B; 12 dwelling se shall require a separate permit ap Any deviations shall require a separate permit ap Any deviations shall require a separate permit ap Any deviations shall require a separate permit ap any deviewer: Jeanine Bourke owner/contractor, with additional in the contractor of the contr	plication for review a rate approval before s Approval Date: Ok to Approval Date: Ok to Ok to Ok to	igs C, D, E, F, I, riew and approval. fore starting that te: 12/09/2010 Ok to Issue: reed on and as reed on and as

Comments:

show 18. 11/30/2010-amachado: Left vcm for Garrett Quinlan. Need to know number of units in Building 'H'. Application has 12 but records

12/1/2010-amachado: Received vcm from Garret Quinlan. There are 18 dwelling units in the building.

12/9/2010-jmb: Contractor came in and added some details, ok to issue

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2632-ALTCOMM	Date Applied: 10/31/2011		CBL: 341- A-001-001			
Location of Construction: 1349 FOREST AVE – Building 'G'	Owner Name: P.V.A. LIMITED		Owner Address: 1115 WESTFORD S' LOWELL, MA 0185			Phone:
Business Name:	Contractor Name: P & G Contracting Inc	<u>,</u>	Contractor Addres			Phone: (978) 433-2878
Lessee/Buyer's Name:	Phone:		Permit Type: BLDG - Building			Zone:
Past Use:	Proposed Use: Same – 136 dwelling	units _	Cost of Work: 40000.00			CEO District:
136 Dwelling units	replace six, two story Building 'G' within the	decks on	Fire Dept:	Approved(w/ Denied N/A Fine (1)	andrin 122/11	Inspection: Use Group: 25 Type: 5 B IBC-2009 Signatura
Proposed Project Description Remove 6 two story decks & repl			<u> </u>	ties District (P.A.D.)		
Permit Taken By:				Zoning Approva	il .	
		Special Z	one or Reviews	Zoning Appeal	Historic P	reservation
 This permit application Applicant(s) from meeting Federal Rules. Building Permits do not septic or electrial work. Building permits are vowithin six (6) months of False informatin may in permit and stop all work. 	ing applicable State and include plumbing, id if work is not started f the date of issuance.		is Allwork become the plan withing sion who withing in Leathouter the plant and the pl	Wariance Miscellaneous Conditional Use Interpretation Approved Denied	Does not Requires Approved	
		-	whoodstood	Date:	Date: A	BM
I hereby certify that I am the owner of the owner to make this application as the appication is issued, I certify that	his authorized agent and I agre	e to conform t	o all applicable laws of t	his jurisdiction. In additio	on, it a permitior w	ork described in

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF	WORK TITLE	DATE	PHONE



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life . www.portlandmaine.gov

Director of Planning and Urban Development Penny St. Louis

Job ID: 2011-11-2632-ALTCOMM

Located At: 1349 FOREST AVE

CBL: 341- A-001-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

2. The use of this property shall remain as 136 dwelling units in 11 buildings. Building 'G' houses 18 dwelling units. Any change of use shall require a separate permit application for review and approval.

3. This permit is being issued with the condition that all the work is taking place within the existing footprint.

Building

- 1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2. Fastener schedule per the IBC 2009
- 3. The guardrall system shall meet the loading requirements of section 1607.7.1 of the IBC 2009 Building Code.
- Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

All construction shall comply with City Code Chapter 10.

All means of egress to remain accessible at all times.

No means of egress shall be affected by this renovation.

Any cutting and welding done will require a Hot Work Permit from Fire Department.