

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970036
I. D. Number

Princeton Properties
Applicant
100 Forest Park, Portland, ME 04101
Applicant's Mailing Address
Mike Bowen/Jamie Whelan
Consultant/Agent
773-4739 773-2269
Applicant or Agent Daytime Telephone, Fax

7/14/97
Application Date
1375 Forest Ave
Project Name/Description

1349- 1403 Forest Ave
Address of Proposed Site
341-A-001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify)
 940 Sq Ft 512,136 R-5 zone
 Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$300.00 Subdivision Engineer Review \$73.00 Date: 7/14/97

Inspections Approval Status:

Reviewer **Marge Schmuckal**

- Approved Approved w/Conditions
see attached Denied
- Approval Date 8/1/97 Approval Expiration _____ Extension to _____ Additional Sheets
Attached
- Condition Compliance signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

City of Portland, Maine - Building or Use Permit Application

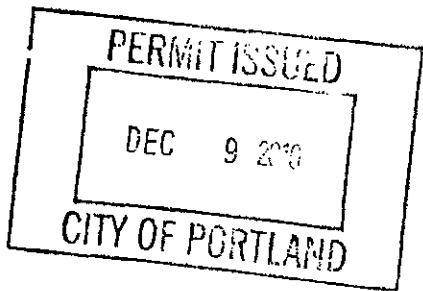
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1477	Issue Date:	CBL: 341 A001001
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Location of Construction: <i>Building H</i> 1349 FOREST AVE <i>(1375)</i>	Owner Name: PVA LIMITED PARTNERSHIP	Owner Address: 1115 WESTFORD ST	Phone:
Business Name:	Contractor Name: P & G Contracting Inc	Contractor Address: 26 High Street Pepperell	Phone 9784336238
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: <i>R-5</i>

Past Use: <i>12</i> Unit Residential - <i>Building H1</i>	Proposed Use: <i>12</i> Unit Residential - Remove old concrete plank decks & replace w/ new wood decks 12 decks 2nd & 3rd floor <i>legation of prop - 12 total dv. 12 units in building H1</i>	Permit Fee: \$390.00	Cost of Work: \$36,720.00	CEO District: 5
Proposed Project Description: Remove old concrete plank decks & replace w/ new wood decks 12 decks 2nd & 3rd floor		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBC-2003</i>	
		Signature: <i>(KG)</i>	Signature: <i>JMB 12/9/10</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 11/23/2010	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>12/11/10 JBU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JBU</i> Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	10-1477	Date Applied For:	11/23/2010	CBL:	341 A001001
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Location of Construction:	1349 FOREST AVE (1375 build. 'H'	Owner Name:	PVA LIMITED PARTNERSHIP	Owner Address:	1115 WESTFORD ST	Phone:	
Business Name:		Contractor Name:	P & G Contracting Inc	Contractor Address:	26 High Street Peppereil	Phone:	(978) 433-6238
Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Multi Family		

Proposed Use:	18 Unit Residential - Building 'H' - Remove old concrete plank decks & replace w/ new wood decks 12 decks 2nd & 3rd floor	Proposed Project Description:	Remove old concrete plank decks & replace w/ new wood decks 12 decks 2nd & 3rd floor
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 12/01/2010	Ok to Issue: <input checked="" type="checkbox"/>
Note:	<p>1) This permit is being issued with the condition that all the work will take place within the existing footprint.</p> <p>2) This property shall remain as 136 dwelling units - 8 dwelling units in buildings A & B; 12 dwelling units in buildings C, D, E, F, I, J & K; 18 dwelling units in buildings G & H. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 12/09/2010	Ok to Issue: <input checked="" type="checkbox"/>
Note:	<p>1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</p>			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 12/06/2010	Ok to Issue: <input checked="" type="checkbox"/>
Note:	<p>1) All construction shall comply with City Code Chapter 10.</p>			

Comments:	<p>11/30/2010-amachado: Left vcm for Garrett Quinlan. Need to know number of units in Building 'H'. Application has 12 but records show 18.</p> <p>12/1/2010-amachado: Received vcm from Garret Quinlan. There are 18 dwelling units in the building.</p> <p>12/9/2010-jmb: Contractor came in and added some details, ok to issue</p>
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City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2632-ALTCOMM	Date Applied: 10/31/2011	CBL: 341 - A-001-001	
Location of Construction: 1349 FOREST AVE - Building 'G'	Owner Name: P.V.A. LIMITED	Owner Address: 1115 WESTFORD ST LOWELL, MA 01851	Phone:
Business Name:	Contractor Name: P & G Contracting Inc	Contractor Address: 26 High ST PEPPERELL MA 01463	Phone: (978) 433-2878
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: 136 Dwelling units	Proposed Use: Same - 136 dwelling units - replace six, two story decks on Building 'G' within the same footprint	Cost of Work: 40000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R2 Type: SB IBG 2009 Signature: <i>[Signature]</i>
Proposed Project Description: Remove 6 two story decks & replace		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building Permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/cond [Signature]</i> <i>11/10/11 [Signature]</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-11-2632-ALTCOMM

Located At: 1349 FOREST AVE

CBL: 341- A-001-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The use of this property shall remain as 136 dwelling units in 11 buildings. Building 'G' houses 18 dwelling units. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued with the condition that all the work is taking place within the existing footprint.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Fastener schedule per the IBC 2009
3. The guardrail system shall meet the loading requirements of section 1607.7.1 of the IBC 2009 Building Code.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

All construction shall comply with City Code Chapter 10.

All means of egress to remain accessible at all times.

No means of egress shall be affected by this renovation.

Any cutting and welding done will require a Hot Work Permit from Fire Department.