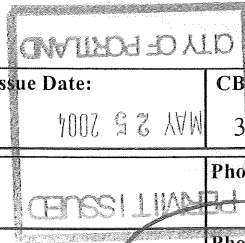


City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716



Permit No: 04-0420	Issue Date: MAY 25 2004	CBL: 339 L003001
-----------------------	----------------------------	---------------------

Location of Construction: 46-52 Ninth St	Owner Name: Nappi Ben J &	Owner Address: 169 Broadway	Phone: 2321989
Business Name:	Contractor Name: Michael & Angela Mitton	Contractor Address: PO Box 2742 South Portland	Phone: 2077670815
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: 4 lots: 2 family dwelling on 169 Broadway (339-L-003and 004); 339-L030 and 031(on Ninth St) have no structure on them.	Proposed Use: Separate a lot, construct SFR on 339-L-030, part of 031: 2584 s.f. Two-story dwelling + 22' x 22' garage	Permit Fee: \$996.00	Cost of Work: \$99,500.00	CEO District: 5
Proposed Project Description: Construct 2584 s.f. two-story single family dwelling + 22' x 22' garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: 505 5/25/04 Signature: [Signature]		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: kwd	Date Applied For: 04/13/2004
-------------------------	---------------------------------

Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 17 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2004-0071 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>5/10/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	---	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

N/A Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

5/25/04
Date

[Signature]
Signature of Inspections Official

5/25/04
Date

CBL: 339 2003

Building Permit #: 040420

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 040420
PERMIT ISSUED
MAY 25 2004
CITY OF PORTLAND

This is to certify that Nappi Ben J &/Michael & Angela Mitton
has permission to Construct 2584 s.f. two-story single family dwelling 22' x 22' garage
AT 46-52 Ninth St CALL 339 L003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is latched or otherwise closed-in. **HOURLY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0420	Date Applied For: 04/13/2004	CBL: 339 L003001
-----------------------	---------------------------------	---------------------

Location of Construction: 48 Ninth St	Owner Name: Nappi Ben J &	Owner Address: 169 Broadway	Phone:
Business Name:	Contractor Name: Michael & Angela Mitton	Contractor Address: PO Box 2742 South Portland	Phone (207) 767-0815
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Separate a lot, construct SFR on 339-L-030, part of 031: 2584 s.f. Two-story dwelling + 22' x 22' garage	Proposed Project Description: Construct 2584 s.f. two-story single family dwelling + 22' x 22' garage
---	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 05/10/2004
Note: NOTE: this is a lot split off from a lot of a previously approved 2 family that retains more than the required 10,000 sq. ft and meets the current setbacks. Set permit #89/1829 with a ZBA approval of 3/28/89. New lot is also meeting current required zoning. Ok to Issue: <input checked="" type="checkbox"/>			
<ol style="list-style-type: none"> The steps to the rear porch shall project off the side as shown on your submitted plot plan and NOT off the rear of the deck as shown on your building plans. Any changes shall require a separate permit and approval. Driveway pavement shall be no closer than 5 feet from the property line for parking purposes. Separate permits shall be required for future decks, sheds, pools, and/or garages. Please note that there is a 10' x 12' rear deck and 7' x 12' front porch shown and approved on the submitted plans. NO DAYLIGHT BASEMENTS are being shown and NO DAYLIGHT BASEMENTS are being approved with this permit. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date: 05/25/2004
Note: Ok to Issue: <input checked="" type="checkbox"/>			
<ol style="list-style-type: none"> 9 items on plan review checklist addressed in a meeting w/ MJN on 5/24/04. Safety Glazing is required in 2nd floor smaller bath. 80 inches of net headroom required in all stairways. 			

Comments: 05/20/2004-tmm: reviewed plans - need more info - called owner.



2004-0071

~~04-0419~~ 04-0420

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

169 Broadway → will be on: 9th #46-524

Location/Address of Construction: 0 9th Street Portland

Total Square Footage of Proposed Structure 22,400 +/- Square Footage of Lot 7875 sqft +/-
proposed is existing is 21,741 sf.

Tax Assessor's Chart, Block & Lot
Chart# 339 Block# L Lot# 003, 430, 31
Owner: Margrete Nappi Telephone:

Lessee/Buyer's Name (if Applicable) Michael & Angel Mitter
Applicant name, address & telephone: PO Box 2742
50. PORTLAND ME 04116
207 767 0815
Cost Of Work: \$ 99,500.00
Fee: \$ 921

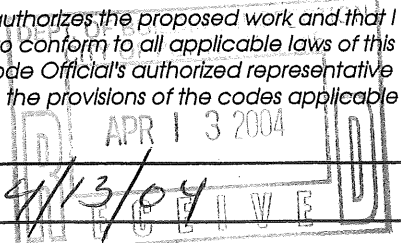
Current use: Vacant Land
If the location is currently vacant, what was prior use: Back yard
Approximately how long has it been vacant: UNKNOWN
Proposed use: Single Family Residence
Project description:
75 680
996.00
+1300.00 *Site plan*
1296.00

Contractor's name, address & telephone: Same as Buyer self contracting
Who should we contact when the permit is ready: Michael Mitter
Mailing address: PO Box 2742
50. PORTLAND, ME 04116
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. **PHONE: 207 767 0815**

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 4/13/04



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2004-0071

Application I. D. Number

4/13/2004

Application Date

Single Family dwelling: Mitton

Project Name/Description

Nappi Ben J &

Applicant

169 Broadway, Portland, ME 04103

Applicant's Mailing Address

46 - 52 Ninth St, Portland, Maine

Address of Proposed Site

339 L003001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ Agent Fax: _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot

Other (specify) _____

2584 sf + 484 sf gar

7875 sf

R-3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 4/13/2004

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Applicant:

Date: 5/10/04

Address: 46-52 Ninth St

C-B-L: 339-L-003 } HAS
004 } existi
house
on it

CHECK-LIST AGAINST ZONING ORDINANCE

Date - splitting AN EXISTING lot with a 2 family on it
→ C60 by APPEAL 4/10/89 030 031

Zone Location - R-3

permit # 04-0420

Interior or corner lot -

Proposed Use/Work - to construct new single family with attached garage
30x46 22x22

Sewage Disposal - City

No Daylight
Basement
shown

Lot Street Frontage - 50' min req - 75.05' shown

Front Yard - 25' min req - 32' scaled to garage

Rear Yard - 25' min req - 26' scaled

Side Yard - 14' min - 14.5' & 15' shown

~~10x12~~ 5'8" x 8'1"

Projections - Rear Deck (note stairs come off side not rear) - Rear Bulkhead
Front porch → 7x12

see
note

Width of Lot - 75' min req - 75.05' shown

Height - 35' MAX - 24.75' scaled

Lot Area - 6,500^{sq} - 7,881^{sq} shown

Lot Coverage/ Impervious Surface - 25% MAX of 1970, 25% MAX

Area per Family - 6,500^{sq} req

Off-street Parking - 2 req - 22x22 garage (2 spaces)

Loading Bays - N/A

30 x 46 =	1300
5.66 x 8 =	45.28
10 x 12 =	120
7 x 12 =	84
7 x 22 =	154
3 x 5 =	15

Site Plan - minor/minor # 2004-0071

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

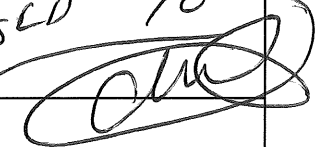
Driveway placement shall be no closer than 5 feet for parking purposes

garage
ext
rear
deck
stairs

1798.28

✓ Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	TRUSSES	specs
✓ Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	" "	enclosed
① Sheathing; Floor, Wall and roof (Table 503.2.1(1))	1/2" ADVANTAGE Roof? w/H-CLIPS	
Fastener Schedule (Table 602.3(1) & (2))	OK	
② Private Garage Section 309 and Section 407 1999 BOCA) Living Space? <i>yes</i> (Above or beside)	5/8" TYPE 'X' ON ALL WALLS & CEILING. Not shown on walls or door	45 min OR GREATER
Fire separation Fire rating of doors to living space Door Sill elevation (407.5 BOCA)		
③ Egress Windows (Section 310)	3046 Egress? - ANDERSONS THAT	WILL MEET EGRESS.
Roof Covering (Chapter 9)	see above - asphalt - OK	
④ Safety Glazing (Section 308)	Need in 2 nd floor bath	- will GET BACK TO US
⑤ Attic Access (BOCA 1211.1)	size? 22" x 30"	
⑥ Draft Stopping around chimney	Not shown - see spec book	see page 5 of specs

5
/ OF SPECS

Header Schedule	OK	DIRECT VENT PROPANE
Type of Heating System	Not shown - Flue? F/H/W	
Stairs		WILL OBTAIN SEPARATE PERMITS.
Number of Stairways		
Interior 1		
Exterior 2		
Treads and Risers (Section 314)	OK	
Width	OK	
Headroom	Not shown	
Guardrails and Handrails (Section 315)	Notes 42" - OK	
Smoke Detectors Location and type/Interconnected	Not shown - AS PER NFPA / BOCA w/ owall	DISCUSSED 
Plan Reviewer Signature		

See Chimney Summary Checklist

- ⑧ Garage door header - OK 4- 1 3/4 x 14 LVL -
- ⑨ Roof framing for front porch

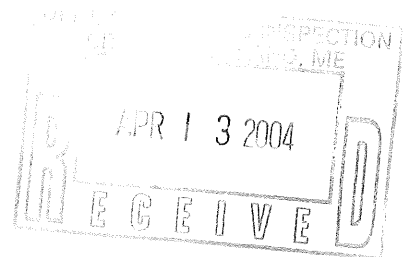
Header Schedule

Project: Michael & Angel Mitton
09th Street
Portland, Maine

All interior and exterior bearing wall headers LESS THAN 6'-0":
2-2x10 SPF W/ 2 trimmers (1 trimmer per side)

Garage door: 4 - 1 3/4"x14" LVL
Through bolted W/ 2 rows 1/2" bolts at 24" o.c.
8 trimmers (4 trimmers per side)

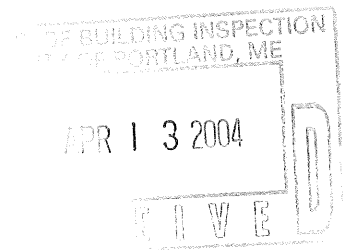
*Basement girders 12 x 40 x 24' KSI = 50
Grade 50*



Fastener Schedule

Project: Michael & Angel Mitton
0 9th Street
Portland, Maine

Sill:	2x6 PT	8" x 1/2" anchor bolts
Floor joist:	2x12 SPF	16d - 3 1/4" short (Paslode) 2x10-12 joist hangers as required
Subfloor:	3/4" Advantec T&G	8d - 2 1/2" galv. Ring shank W/ construction adhesive
Walls:	2x6 SPF	16d - 3 1/4" short (Paslode)
Headers	2-2x10 SPF	16d - 3 1/4" short (Paslode)
Roof trusses:	Engineered SPF	Toe nailed via 16d - 3 1/4" short (Paslode) Hurricane ties - Simpson H3 2/truss Bracing as specified by manufacturer
Roof sheathing:	1/2" Advantec	8d - 2 1/2" galv. Ring shank W/ 1/2" clips
Roofing	Asphalt shingle	1 1/4" galv. Roofing nail



TELEPHONE 207-784-9371

FAX 207-784-9003

1-800-696-7799



TRI-STATE STEEL INC.

WHOLESALE DISTRIBUTORS OF STEEL PRODUCTS

REMIT TO: P.O. BOX 1207 - Auburn, Maine 04211-1207
 CHASSE ST. & WASHINGTON ST., AUBURN, MAINE 04211-1207

QUOTATION ONLY

SOLD TO
 RUFUS DEERING
 P.O. BOX 880
 PORTLAND, ME 04104
 C/O SAM

SHIP TO
 RE: MIKE MITTON
 0-NINTH STREET
 PORTLAND, ME

767-0815 - MITTON
 FAX 772-6981 - RUFUS

TERMS: 1/2 of 1% 10 days. Net 30 days. No Retainage Allowed.

Customer Order No.	Date Received	Sold By	Cash	C.O.D.	Chg.	Date Shipped	Invoice Date	Shipped Via:
	4-13-04							

Quantity Ordered	Quantity Shipped	Description	Weight*	Unit Price	Amount
		GIVEN: AREA 30x24 RES			
		2 RES. FLOOR LOADS			
		NO ROOF LOAD			
		USE LIVE 40'			
		DEAD 20'			
		60' x 2 = 120'			
		$\frac{30}{2} \times 24 \times 120' = 43,200' - 24'$			
		USE:			
		W12x40 Fy=50 KSI = 48K-24'			
		Sx = 51.9 IN ³			
		Fy = 50 KSI			

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND
 APR 13 2004
 RECEIVED

* Weight subject to correction.

04/08/04



SPROWL BUILDING COMPONENTS, INC.
P O Box 130, Searsport, ME 04973-0130
800-439-5211 207-342-5211
Fax 207-342-5713

Quote
66465

Job: MITTEN

SAMUEL COOK

RUFUS DEERING COMPANY
P.O. BOX 880
PORTLAND, ME 04104
207) 772-6505

PORTLAND,

Notes:

REVISED
4-8-04

Prepared by: Ed Beckwith

<u>Roof Trusses</u>		LOADING 42.0,7.0,0.0,10.0 1.15 % at 24.0 IN. O.C. (TYP.)						GABLE STUD SPACING:			
ID	QTY	SPAN	PITCH		TYPE	PROFILE	CANTILEVERS	OVERHANGS	PRICE	TOTAL	
			TOP	BOT							
A	11	32-00-00	5.00	0.00	COMMON		01-00-00	01-00-00		95.10	
B	1	32-00-00	5.00	0.00	COMMON					155.97	
C	10	39-00-00	5.00	2.50	CATHEDRAL		01-00-00	01-00-00		145.29	
D	2	39-00-00	5.00	0.00	COMMON					1102.90	
									SUB-TOTAL		

Terms 2% 10, Net 30

Prices valid for seven days.

Same service available. Not included in above prices. Call for details.

Quantity and specification changes will affect prices.

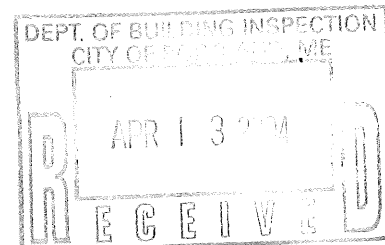
BC not responsible for typographical errors.

SUB-TOTAL

TOTAL

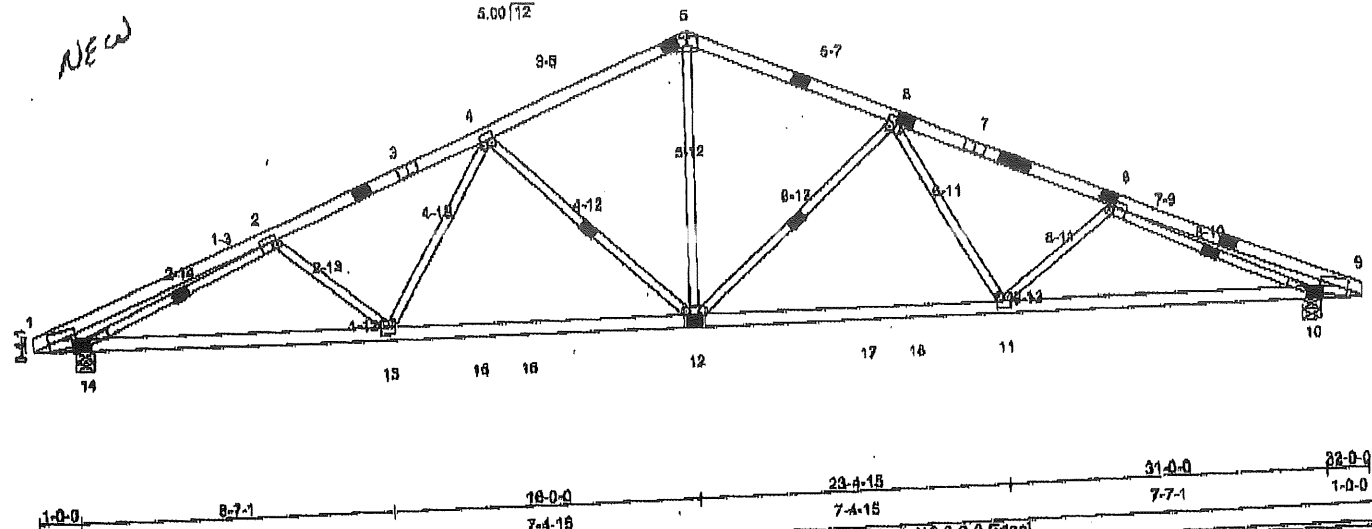
ATTENTION! The above quote was prepared using an INCOMPLETE SET OF PLANS. We have made every effort to ensure a complete and accurate quote. Please take the time to review this quote carefully.

PRICES ARE NET
NO FURTHER DISCOUNT



65	Truss	Truss Type	Qty	Ply	MITTEN
	A	COMMON	11	1	Job Reference (optional)

6,000 @ Mar 8 2004 MITek Industries, Inc. Tue Apr 13 09:50:50 2004 Page 1



Data Offset (X,Y): [1-0-4-10, Edge], [2-0-1-10, 0-1-8], [4-0-0-8-0-1-12], [6-0-0-8-0-1-12], [8-0-1-10, 0-1-8], [8-0-4-10, Edge], [12-0-3-0, Edge]				DEFL	In (loc)	l/dof	L/d	PLATES	GRIP
LOADING (psf)	SPACING	CSL	DEFLL	-0.27	11-12	>990	360	MT20	197/144
TCCL 42.0	Plates Increase 1.15	TC 0.80	Ver(TL)	-0.39	11-12	>904	240		
BCDL 7.0	Lumber Increase 1.15	BC 0.85	Horz(TL)	0.12	10	n/a	n/a		
BCCL 0.0	Rep Stress Incr YES	WB 0.88						Weight: 114 lb	
BCDL 10.0	Code BOCA/ANSI95	(Matrix)							

- LUMBER**
 TOP CHORD 2 X 4 SPF No.2
 BOT CHORD 2 X 4 SPF 1650F 1.5E
 WEBS 2 X 3 SPF No.2
- BRACING**
TOP CHORD
 Installation Permanent
 1 Stabilizer(s) at 9-4-8 (max) oc.
 Sheathed or 3-0-0 oc purlins. Except:
 5-8, 6-8, 8-9
 1 Row at midpt
- BOT CHORD**
 Installation Permanent
 WEBS
 1 Stabilizer(s) at 15-0-0 (max) oc.
 Rigid ceiling directly applied or 10-0-0 oc bracing.
 1 row(s) of 1 Stabilizer(s) at 1/2 pts.
 4-12, 6-12, 2-14, 8-10
- JOINTS**
 1 Stabilizer(s) at joint(s).
 6, 8

REACTIONS (lb/size) 14=1935/0-5-8, 10=1935/0-5-8
 Max Horz 14=113(load case 7)
 Max Uplift 14=293(load case 6), 10=293(load case 7)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-484/0, 2-3=-3040/384, 3-4=-2912/398, 4-5=-2297/314, 5-6=-2297/319, 6-7=-2912/398, 7-8=-3040/384, 8-9=-484/0
 BOT CHORD 1-14=0/343, 12-14=-457/2577, 13-15=-322/2567, 15-16=-322/2567, 12-17=-207/2567, 12-17=-207/2567, 17-18=-207/2567
 WEBS 11-10=-207/2567, 10-11=-342/2677, 9-10=0/343
 2-13=-381/163, 4-13=-26/421, 4-12=-839/219, 5-12=-119/1198, 6-12=-939/219, 6-11=-29/421, 8-11=-351/164, 2-14=-2674/476,
 8-10=-2674/476

- NOTES**
- 1) Wind: ASCE 7-88: 90mph; h=20ft; TCCL=4.2psf; BCCL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grp DOL=1.33.
 - 2) Unbalanced snow loads have been considered for this design.
 - 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 293 lb uplift at Joint 14 and 293 lb uplift at Joint 10.
 - 6) Design assumes #2 (flat orientation) purlins at oc spacing indicated, fastened to truss TC w/ 2-10d nails.
 - 7) For bracing specified, use MITek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: 14-7-0; TC: Inst. 20-0-0; BC: Inst. 20-0-0.
 - 8) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	MITTEN
26466	C	CATHEDRAL	10	1	

Sprowl Building Components, Basement, ME 04973, Ed Backwith
 6.000 a Mar 8 2004 MITek Industries, Inc. Thu Apr 08 08:36:04 2004 Page 1

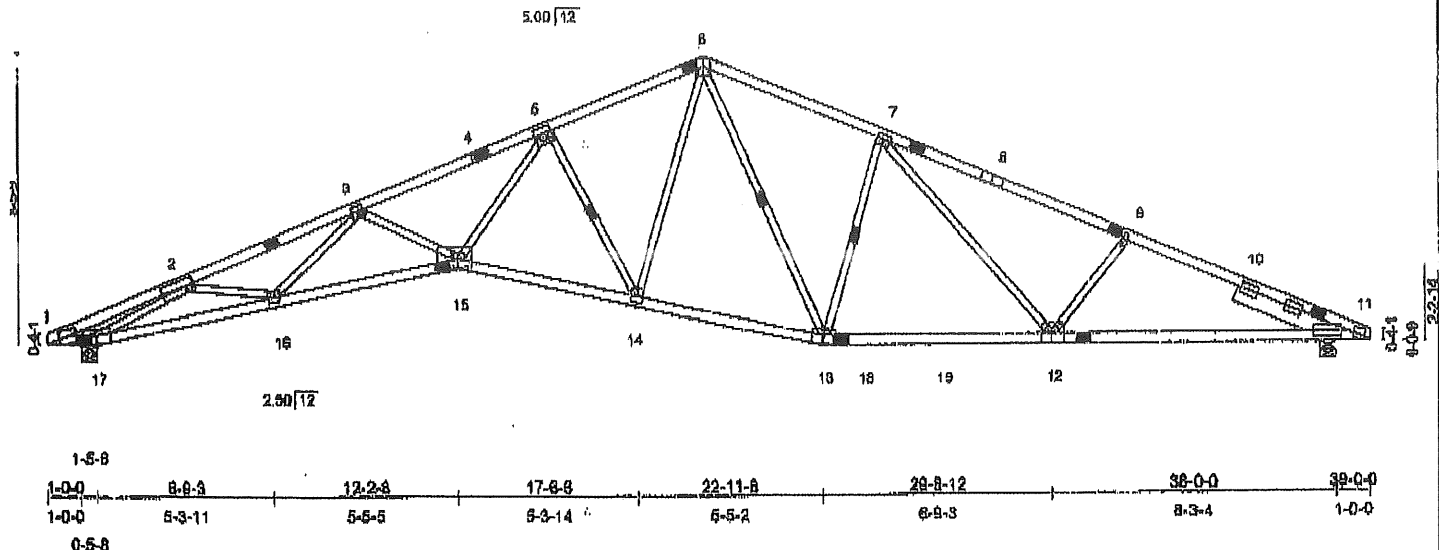
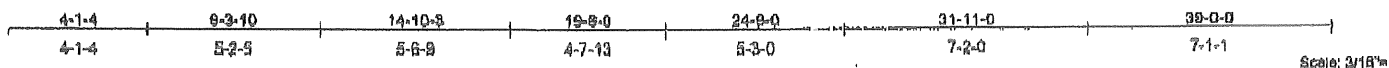


Plate Offsets (X,Y): [1:0-4-6,Edge], [2:0-2-15,0-2-8], [6:0-2-14,0-2-4], [7:0-2-8,0-1-12], [11:0-2-2,0-2-0], [11:0-2-5,Edge], [12:0-3-12,Edge], [13:0-4-0,0-3-0], [14:0-2-4,0-1-12], [15:0-4-12,0-3-1], [16:0-1-0,0-1-12], [17:0-5-0,Edge]

LOADING (psf)	SPACING	CSI	OSFL	in (loc)	l/def	L/d	PLATES	GRIP
TCLL 42.0	Plates Increase 2-0-0 1.15	TC 0.82	Vert(LL) -0.62	14-15	>725	360	MT20	197/144
TCCL 7.0	Lumber Increase 1.15	BC 0.83	Vert(TL) -0.86	14-15	>518	240	MT20H	148/108
BCLL 0.0 *	Rep Stress Incr YES	WB 1.00	Horz(TL) 0.43	11	n/a	n/a	MT18H	197/144
BCCL 10.0	Code BOCA/ANSI95	(Matrix)					Weight: 144 lb	

LUMBER	BRACING
TOP CHORD 2 X 4 SPF 1650F 1.6E *Except* 8-8 2 X 4 SPF 2100F 1.8E, 8-11 2 X 4 SPF 2100F 1.8E	TOP CHORD Installation 1 Stabilizer(s) at 9-4-8 (max) oc. Permanent Sheathed or 1-10-15 oc purlins.
BOT CHORD 2 X 4 SPF 2100F 1.8E *Except* 1-17 2 X 4 SPF No.2, 12-13 2 X 4 SPF 1650F 1.6E	BOT CHORD Installation 1 Stabilizer(s) at 15-0-0 (max) oc. Permanent Rigid ceiling directly applied or 10-0-0 oc bracing, Except: 8-9-10 oc bracing: 18-17 8-3-13 oc bracing: 15-16.
WEBS 2 X 3 SPF No.2 *Except* 2-17 2 X 3 SPF 2100F 1.8E	WEBS 1 row(s) of 1 Stabilizer(s) at 1/2 pts. 5-14, 6-13, 7-13
SLIDER Right 2 X 8 SPF No.2 3-5-3	

REACTIONS (lb/size) 17=2409/0-5-8, 11=2259/0-5-8
 Max Horz 17=-140(load case 7)
 Max Uplift 17=351(load case 6), 11=308(load case 7)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=-184/85, 2-3=-8215/832, 3-4=-6489/836, 4-5=-8354/845, 5-6=-3662/500, 6-7=-3477/625, 7-8=-4293/616,
 8-9=-4445/804, 9-10=-4637/859, 10-11=-4847/846
 BOT CHORD 1-17=0/145, 18-17=-801/4877, 15-16=-895/8288, 14-15=-510/4357, 13-14=-248/2927, 13-18=-276/3398,
 18-19=-278/3398, 12-19=-278/3398, 11-12=-537/4367
 WEBS 2-17=-5383/880, 2-16=-8/1102, 3-16=-702/119, 3-15=-502/185, 5-15=-389/2900, 5-14=-2079/404, 6-14=-281/1705,
 6-13=-241/1025, 7-13=-1249/312, 7-12=-159/1073, 9-12=-795/268

- NOTES
- 1) Wind: ASCE 7-98; 90mph; h=20ft; TCCL=4.2psf; BCCL=5.0psf; Category II; Exp C; enclosed; MWFRS gable end zone; cantilever left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
 - 2) Unbalanced snow loads have been considered for this design.
 - 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - 4) All plates are MT20 plates unless otherwise indicated.
 - 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 361 lb uplift at joint 17 and 308 lb uplift at joint 11.
 - 7) For bracing specified, use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: Webs: 20-0-0; TC: Inst. 20-0-0; BC: Inst. 20-0-0.
 - 8) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.

LOAD CASE(S) Standard

Accessory	Description	Model No.
Contemporary Flashing	Required for contemporary top termination on the roof to prevent rain entry.	8-6-12 (0 to 6/12 pitch) 8-12-12 (6/12 to 12/12 pitch)
Contemporary Chase Top Termination	Used to terminate chimney at the top of a chase. Adapter kit is included, flashing is not included.	SLTCF11
Contemporary Round Top Termination	For use with Vermont Castings, Majestic Products Type "11CF" Chimney Systems. Used to terminate chimney on the roof. Flashing not included.	RLTCF11
Extended Round Top	For use with Vermont Castings, Majestic Products Type "11CF" Chimney Systems. Used to terminate chimney at top of chase. Adapter kit included. Flashing not included.	RLTCF11L
Chimney Sections	Used to build "11CF" chimney systems.	11" flue 11CF1 (1' long) 11CF18 (1½' long) 11CF3 (3' long) 11CF4 (4' long)
Chimney Elbows	Used to develop 30° offset chimney systems. (Elbows packed 2 per carton - upper and lower elbow set)	11CF30-2 (11" 30° flue)
Top Housing with Upper Baffle	Gives traditional chimney top look using simulated brick in red, tan or white color. Brick pattern is embossed into galvanized steel unit. Roof flashing is included. Appropriate adapter is required. Must be used with upper baffle.	S20BR/BT/BW S20UB (Upper Baffle)



LIMITED WARRANTY & 30 YEAR PROTECTION PLAN

For MAJESTIC FIREPLACES® PRE-ENGINEERED Fireplace Systems

Vermont Castings, Majestic Products warrants its MAJESTIC FIREPLACES® Pre-Engineered Fireplace ("Fireplace") and the Vermont Castings, Majestic Products supplied firegrate, glass doors, outside air system, fan motor, and liners to be free from defects in material or workmanship, as follows:

A. Fireplace and Chimney Components: (exclusive of Vermont Castings, Majestic Products-supplied firegrate, glass doors, outside air system, fan motor, and liners all of which are covered by separate warranties under paragraphs B through D below): At its option for a period of thirty (30) years from the date the Fireplace is installed, Vermont Castings, Majestic Products will;

(1) For a period of five (5) years from the date the Fireplace is installed, Vermont Castings, Majestic Products, at its option, will repair or replace any defective part without charge.

(2) Thereafter, through the 10th year after the date the Fireplace is installed, if replacement parts are available, Vermont Castings, Majestic Products will provide a replacement for any defective part without charge for the part itself. The consumer must pay for everything else other than the part.

(3) Thereafter, through the 30th year after the date the Fireplace is installed, if replacement parts are available, Vermont Castings, Majestic Products will provide a replacement for any defective part at a cost to the consumer of Vermont Castings, Majestic Products then current list price, FOB Vermont Castings, Majestic Products factory.

B. Firegrate, Glass Doors, Outside Air System:

For a period of 90 days from the date the Fireplace is installed Vermont Castings, Majestic Products, at its option, will provide a replacement for any defective part, without charge for the part itself, FOB Vermont Castings, Majestic Products factory, (The consumer must pay for everything else other than the part.).

C. Fan Motor:

(1) For a period of one (1) year from the date the Fireplace is installed, Vermont Castings, Majestic Products, at its option, will repair or replace any defective part without charge.

(2) Thereafter, through the 30th year after the date the Fireplace is installed Vermont Castings, Majestic Products, at its option, if replacement parts are available, will provide a replacement for any defective part at a cost to the consumer of Vermont Castings, Majestic Products then current list price, FOB Vermont Castings, Majestic Products factory.

D. Liners (Refractory or Metal):

(1) For a period of two (2) years from the date the Fireplace is installed, Vermont Castings, Majestic Products, at its option, will repair or replace any defective part without charge.

(2) Thereafter, through the 30th year after the date the Fireplace is installed Vermont Castings, Majestic Products, if replacement parts are available, will provide a replacement for any defective part at a cost to the consumer of Vermont Castings, Majestic Products then current list price, FOB Vermont Castings, Majestic Products factory.

This warranty is subject to the following conditions and limitations:

(1) This warranty is extended only to a Fireplace installed in the continental United States, the state of Alaska and Canada; only if and so long as the Fireplace is installed according to the installation instructions furnished with the Fireplace, and operated at all times under normal conditions, use and service according to the

operative instructions furnished with the Fireplace, and only if and so long as the Fireplace is not removed from its original installation.

(2) This warranty is non-transferrable, and is made to the original owner, provided that the purchase was made through an authorized supplier of the Company.

(3) The sole and exclusive remedies for breach of any warranties hereunder shall be for the repair, replacement or provision of a replacement part at Vermont Castings, Majestic Products then current list price, FOB Vermont Castings, Majestic Products factory, for any defective part as specified in paragraphs A through D.

(4) Vermont Castings, Majestic Products shall not be liable for damage from any smoking of a MAJESTIC FIREPLACES Pre-Engineered Fireplace System related to environmental geographic conditions (such as, for example, nearby structures or roof peaks, trees, hills, or mountains), inadequate ventilation, or negative air pressure in the place where the Fireplace system is installed, related to any mechanical system (such as, for example, furnaces, fans, air conditioners, clothes dryers, etc.)

(5) Except as otherwise expressly specified in paragraphs A through D, NONE OF THESE WARRANTIES COVER, AND VERMONT CASTINGS, MAJESTIC PRODUCTS SHALL NOT BE RESPONSIBLE FOR, ANY CONSTRUCTION, INSTALLATION, LABOR, TRANSPORTATION OR OTHER COSTS OR EXPENSES ARISING FROM A DEFECTIVE PART, ITS REPAIR OR REPLACEMENT OR OTHERWISE, NOR SHALL VERMONT CASTINGS, MAJESTIC PRODUCTS IN ANY EVENT BE RESPONSIBLE FOR ANY INDIRECT, INCIDENTAL OR CONSEQUENTIAL DAMAGES EXCEPT TO THE EXTENT REQUIRED BY LAW. Some states do not allow the exclusion or limitation of incidental or consequential damages, so this exclusion or limitation may not apply to you.

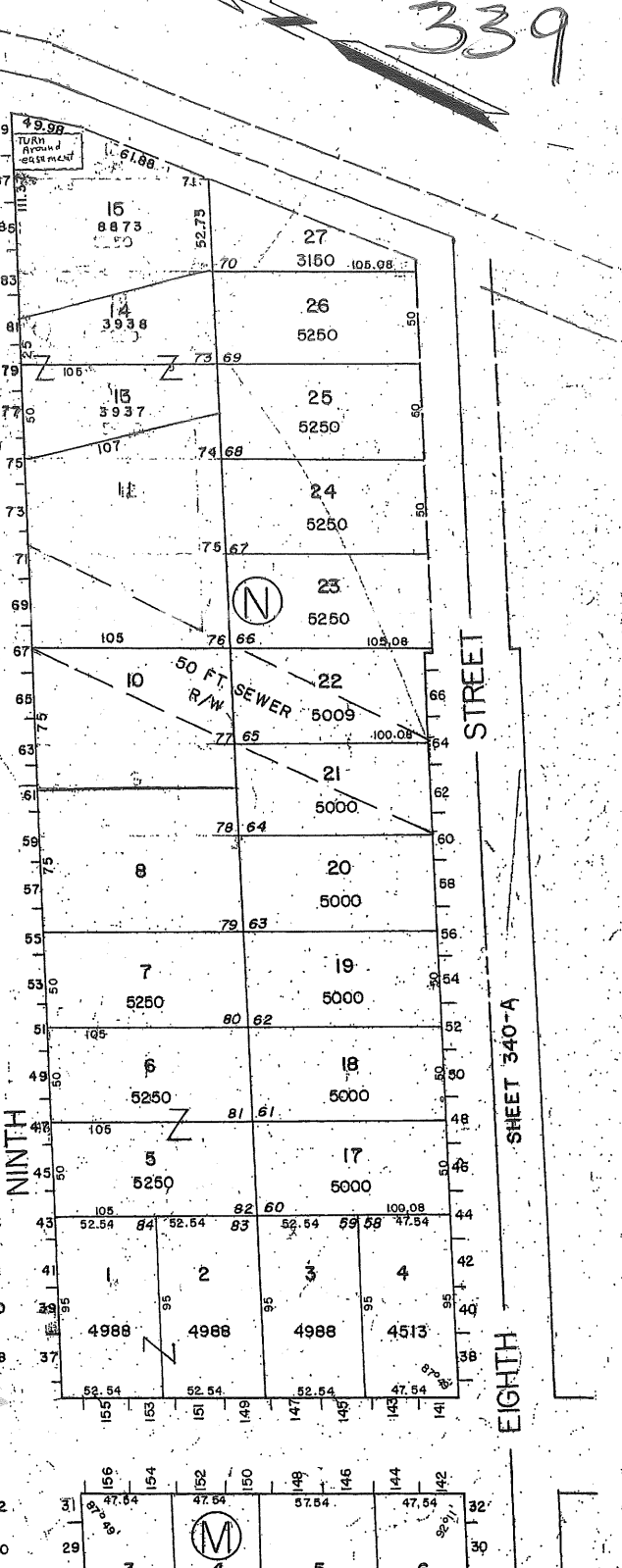
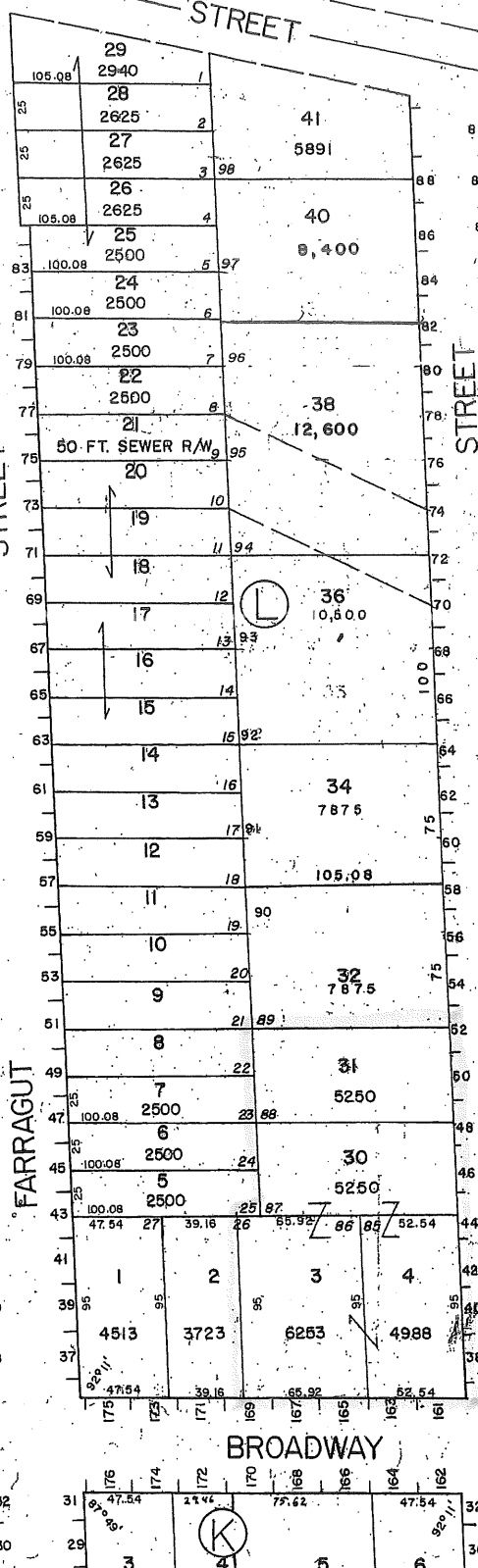
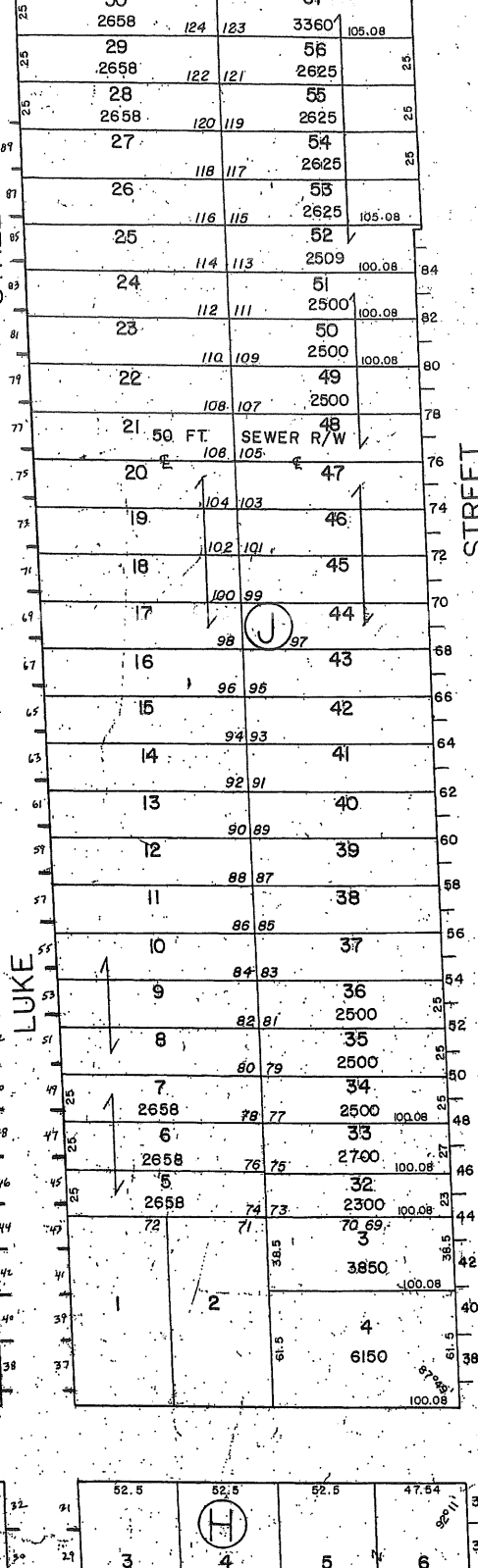
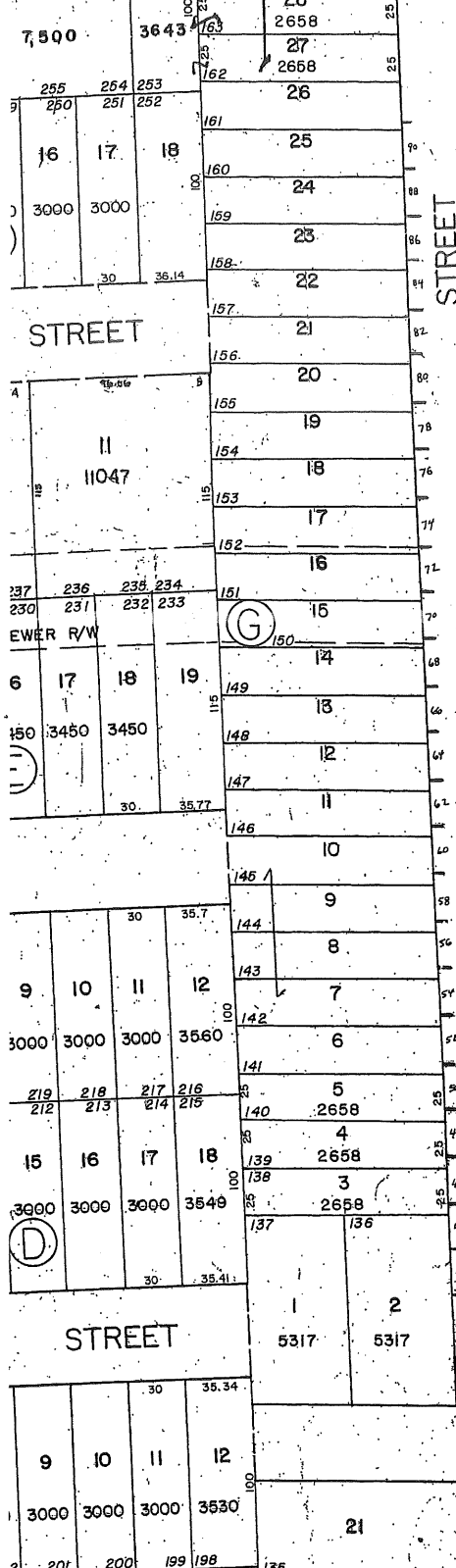
NO IMPLIED WARRANTIES, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, SHALL REMAIN IN EFFECT AFTER THE EXPIRATION OF THE WARRANTIES SET FORTH IN PARAGRAPHS A THROUGH D. Some states do not allow limitations on how long an implied warranty lasts, so this limitation may not apply to you.

In order to obtain performance of any of the above warranty obligations write to Vermont Castings, Majestic Products at this address:

Vermont Castings, Majestic Products
410 Admiral Blvd.
Mississauga, Ontario, Canada L5T 2N6
Attention: Director of Warranty Services

Since local building requirements may vary greatly throughout the country, users of Vermont Castings, Majestic Products products should determine in advance whether there are any building code restrictions on the use of a specific product. VERMONT CASTINGS, MAJESTIC PRODUCTS MAKES NO REPRESENTATION OR WARRANTY REGARDING, AND SHALL NOT BE RESPONSIBLE FOR, ANY BUILDING CODE COMPLIANCE.

The foregoing warranties give you specific legal rights and you may also have other rights which vary from state to state.



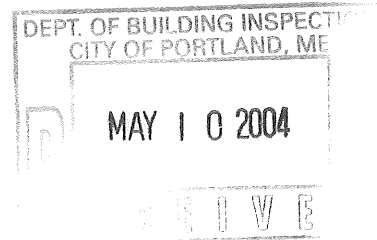
2 pages

To: Marge Schmuckal

Zoning

From: Michael Mitter

207.232.1959



RE CBL: 339 L 003 (30,31)

New house Buildy permit.

Please find the attached legal description of the property to be conveyed. We have not yet closed on the property and the proposed deed for the newly divided lot has not been prepared. If this is absolutely necessary let me know and the title company will have to produce one.
Thank Mike Mitter.



Titcomb Associates

Parcel to be Conveyed
by Margaret Nappi
April 1, 2004

Land Surveying
Land Planning

133 Gray Road
Falmouth, Maine 04105-2029
(207) 797-9199
Fax (207) 876-3142

Bath (207) 442-7799
New Gloucester (207) 926-4699

A certain lot or parcel of land situated on the northwesterly sideline of Ninth Street in the City of Portland, County of Cumberland, State of Maine. Said lot being more particularly described as follows:

Beginning at a point on the northwesterly sideline of Ninth Street, said point being located at the southerly corner of land now or formerly of Brian Bouchard and Ann-Marie Gribbin as described in a deed recorded in the Cumberland County Registry of Deeds in Book 13139, Page 314. Said point also being located S 52° 44' 03" a distance of Zero and 33/100 (0.33) feet from a 5/8" rebar found. Thence:

1) S 54° 24' 53" W by said Ninth Street a distance of Seventy-Five and 05/100 (75.05) feet to a 5/8" rebar with identification cap number 2271 set at the remaining land now or formerly of Ben J. Nappi and Margaret L. Nappi as described in a deed recorded in the Cumberland County Registry of Deeds in Book 2438, Page 276.

2) N 33° 27' 07" W by said remaining land a distance of One Hundred Five and 08/100 (105.08) feet to a 5/8" rebar with identification cap number 2271 set at land now or formerly of Eugina Theresa Israelson as described in a deed recorded in the Cumberland County Registry of Deeds in Book 16590, Page 214.

3) N 54° 24' 53" E by said land of Israelson a distance of Seventy-Five and 05/100 (75.05) feet to a 5/8" rebar with identification cap number 2271 set at said land of Bouchard and Gribbin.

4) S 33° 27' 07" E by said land of Bouchard and Gribbin a distance of One Hundred Five and 08/100 (105.08) feet to the point of beginning.

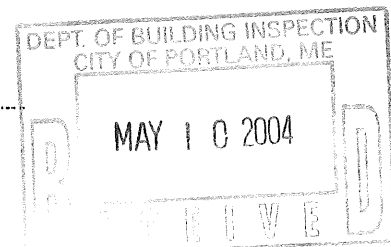
Said parcel of land contains 7881 square feet (0.18 acres) and being a portion of land now or formerly of Ben J. Nappi and Margaret L. Nappi as described in a deed recorded in the Cumberland County Registry of Deeds in Book 2438, Page 276.

Said parcel is subject to a building restriction as described in a deed recorded in the Cumberland County Registry of Deeds in Book 2438, Page 276.

Reference is made to a plan entitled, Plan of Boundary Survey made for Margaret L. Nappi dated March 19, 2004 and revised to April 1, 2004.

Bearings are referenced to Magnetic North 2004.

William Nelson



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	339 L003001
Location	169 BROADWAY
Land Use	TWO FAMILY
 Owner Address	 NAPPI BEN J & MARGARET L JTS 169 BROADWAY PORTLAND ME 04103
 Book/Page	 339-L-3-4-30-31
Legal	BROADWAY 161-169 NINTH ST 21741 SF

Valuation Information

Land	Building	Total
\$43,680	\$94,290	\$137,970

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1976	Ranch	1	2010	0.499	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2		7	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1960	13X20	C	A

Sales Information

Date	Type	Price	Book/Page
------	------	-------	-----------

Picture and Sketch

Picture Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



PERMIT # _____ CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Ben J. Nason - 782-7649
 Address: 169 Broadway, Portland, ME 04101-1947
 LOCATION OF CONSTRUCTION: 169 Broadway Cor Lobby
 CONTRACTOR: _____ SUBCONTRACTORS: _____

ADDRESS: _____
 Est. Construction Cost: _____ Type of Use: 2-Family
 Past Use: Single Family
 Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____
 Is Proposed Use: 2-Fam. Seasonal _____ Condominium _____ Apartment _____
Conversion - Explain Change of Use from 1-fam. to 2-fam.

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE
 Residential Buildings Only:
 # Of Dwelling Units _____ # Of New Dwelling Units _____

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

For Official Use Only

Date: March 7, 1989 Subdivision: Yes / No _____
 Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Time Limit: _____ Block _____
 Estimated Cost _____ Permit Expiration: _____
 Value/Structure _____ Ownership: _____ Public _____ Private _____
 Fee: \$25.00

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____
 2. Sheathing Type _____
 3. Roof Covering Type _____
 4. Other _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Zoning:
 District: R-3 Street Frontage Req.: _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt _____ Special Exception _____
 Other (Explain) _____
 Date Approved: WDN 3-28-89

Signature of Applicant: Joyce M. Rinaldi Date: 3/7/89

Signature of CEO: _____ Date: _____

Inspection Dates: _____

PERMIT ISSUED WITH LETTER



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 169 Broadway

Issued to Ben Nappi

Date of Issue April 10, 1989

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 89/1829, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

2 Family

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS



MERRILL S. SELTZER
Chairman

JOHN C. KNOX
Secretary

PETER F. MORELLI
THOMAS F. JEWELL
DAVID L. SILVERNAIL
MICHAEL E. WESTORT
CHRISTOPHER DINAN

April 3, 1989

RE: 169 Broadway

Mr. Ben J. Nappi
169 Broadway
Portland, Maine 04103-1943

Dear Mr. Nappi:

As you know, at its meeting of March 23, 1989, the Board of Appeals voted 6 to 0 to permit the change of use at the above location from a single family to a single family with an attached dwelling unit.

A copy of the Board's decision is enclosed for your records.

Receipt of your change of use dated March 28, 1989 is also acknowledged.

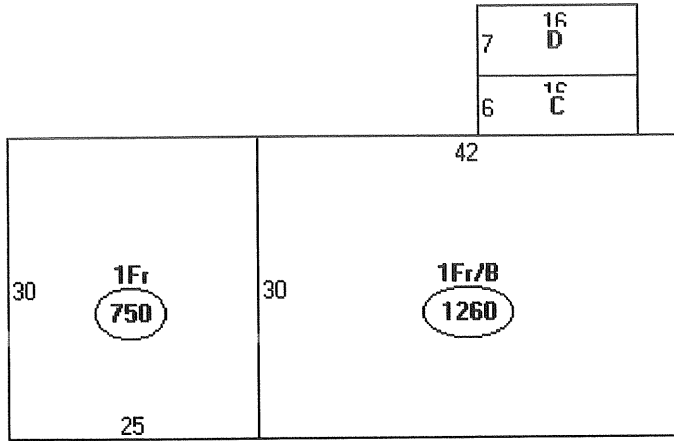
Sincerely,


William Giroux
Zoning Codes Enforcement Officer

/el

Enclosure

cc: Merrill S. Selter, Chairman of the Board of Appeals
Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services
Warren J. Turner, Administrative Assistant
Merle Leary, Code Enforcement Officer



Descriptor/Area

A: 1Fr/B
1260 sqft

B: 1Fr
750 sqft

C: WD
96 sqft

D: CPAT
112 sqft

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



MERRILL S. SELTZER
Chairman

JOHN C. KNOX
Secretary

PETER F. MORELLI
THOMAS F. JEWELL
DAVID L. SILVERNAIL
MICHAEL E. WESTORY
CHRISTOPHER DINAN

April 3, 1989

RE: 169 Broadway

Mr. Ben J. Nappi
169 Broadway
Portland, Maine 04103-1943


Dear Mr. Nappi:

As you know, at its meeting of March 23, 1989, the Board of Appeals voted 6 to 0 to permit the change of use at the above location from a single family to a single family with an attached dwelling unit.

A copy of the Board's decision is enclosed for your records.

Receipt of your change of use dated March 28, 1989 is also acknowledged.

Sincerely,


William Groux
Zoning Codes Enforcement Officer

/el

Enclosure

cc: Merrill S. Selter, Chairman of the Board of Appeals
Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services
Warren J. Turner, Administrative Assistant
Merle Leary, Code Enforcement Officer



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 169 Broadway

Issued to Ben Kappi

Date of Issue April 10, 1989

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 89/1829, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

2 Family

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Final

PURCHASE AND SALE AGREEMENT - LAND ONLY

February 23, 2004 Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Richard T. Wilson, Angel T. Wilson (hereinafter called "Buyer") and Margaret L. Nappi (hereinafter called "Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all part of ; if part of see paragraph 22 for explanation) the property situated in municipality of Portland, County of Cumberland, State of Maine, located at 75000 Land Ln on 9th & Broadway and described in deed(s) recorded in said County's Registry of Deeds Book(s) 200 Page(s) 200.

3. CONSIDERATION: For such Deed and conveyance Buyer is to pay the sum of PRICE \$ 64,000.00
of which DEPOSIT \$ 1,000.00
is included herewith as an earnest money deposit, and an additional amount of DEPOSIT \$
will be paid BALANCE DUE \$ 67,000.00
The balance due ~~must~~ is to be paid by certified or bank check upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: REMAX BY THE BAY (Agency) shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until February 25, 2004 (date) 5:00 PM AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. Withdrawal of offers and counteroffers will be effective upon communication, verbally or in writing, to the other party or their agents. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable Attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and marketable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on April 12, 2004 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to by both Buyer and Seller, to remedy the title, after which time, if such defect is not corrected so that there is a marketable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

6. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except easements, conditions, covenants and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

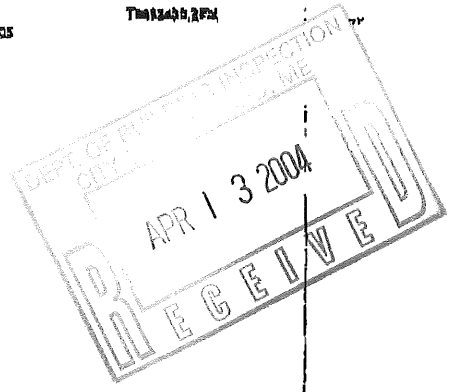
8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PROVISIONS: The following items, where applicable, shall be provided as of the date of closing: rent, association fees, (other no other), Real estate taxes shall be provided as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which later provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern.

11. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.
Page 1 of 4 - PMS-1.0 Buyer's Guide
RE/MAX By The Bay 870 Baxter Boulevard, Portland, ME 04103
Phone: (207) 773-4145 Fax: (207) 853-7355 David M. Gaudin
Produced with the help of: All Formatted, LLC 1020 Freedom Way, Portland, ME 04103, (207) 252-1125

*160,000
68,000
92,000*



12. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- a. This Agreement is subject to Buyer obtaining a Construction loan of 90,000 % of the purchase price, at an interest rate not to exceed 8.000 % and amortized over a period of 30 years.
 - b. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 7 days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - c. Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within 30 days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - d. Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's agent.
 - e. After (b) and (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the loan commitment. Any failure by Buyer to notify Seller within 48 hours of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - f. Buyer agrees to pay no more than 0 points. Seller agrees to pay \$ zero toward Buyer's pre-pays, points and/or closing costs.
 - g. Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No .
 - h. Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of paragraph 13 shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

David M. Banks of RE/MAX BY THE BAY is a Seller Agent Buyer Agent
Licensee Agency Disc Dual Agent Transaction Broker

Noah W. Smith of Coldwell Banker Residential BR. is a Seller Agent Buyer Agent
Licensee Agency Disc Dual Agent Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes are subject to release options in license law and the default clause contained herein.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller. In the absence of signed releases, earnest money deposit disputes will be submitted to small claims court if the dispute meets the criteria for being handled by that jurisdiction.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: Property Disclosure, Copy of Deed No

20. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to Buyer and Seller or to their agents. Agent is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within 3 days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller understand that the terms of this Agreement are confidential but authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, inspectors and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their agents prior to, at and after the closing.

Page 3 of 4 - P&S-1.0 Buyer(s) Initials MM Seller(s) Initials MM

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	30 days	Seller	Seller
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
4. LOCAL PERMITS Purpose: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	30 days	Buyer	Buyer
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. UTILITIES Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. WATER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

Further specifications regarding any of the above: 15. See attached addendum

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

Rev. 2004 Page 2 of 2 - P&S-LO Buyer(s) Initials: MAJ Seller(s) Initials: MM
 Provided with Zillow.com by RE FormPro, LLC 18325 Freen Mile Road, Grand Traverse, Michigan 49635, (800) 383-8065 T6682430.ZF-X

22. OTHER CONDITIONS: Contingent upon receipt review and acceptance of the existing deed, the proposed deed and the survey within 30 days of the effective date of the contract.

23. Contingent upon the Buyer being able to obtain all necessary permits to construct a single family home as designed by Buyer within 30 days of the effective date of the contract.

24. Contingent upon the Sellers receipt and acceptance of the building plans within 30 days of the effective date of the contract.

25. Contingent upon the appraisal reflecting a value not less than the contract price.

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

BUYER Michael F. Milton SS# OR TAXPAYER ID# _____

BUYER Angel L. Milton SS# OR TAXPAYER ID# _____

Buyer's Mailing address is PO Box 2742 50 Port Land ME 04466

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay Agency a commission for services as specified in the listing agreement.

Seller's Mailing address is _____

SELLER Margaret L. Nappi DATE 2/28/04 SS# OR TAXPAYER ID# _____

SELLER _____ DATE _____ SS# OR TAXPAYER ID# _____

Offer reviewed and refused on _____ day of _____

SELLER _____ SELLER _____

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER _____ DATE _____ SELLER _____ DATE _____

The Buyer hereby accepts the counter offer set forth above.

BUYER _____ DATE _____ BUYER _____ DATE _____

EXTENSION: The time for the performance of this Agreement is extended until _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____



Maine Association of REALTORS®/ Rev. 2004 All Rights Reserved. © Copyright 2004.



Addendum to Agreement

Addendum to contract dated February 23, 2004

between Margaret L. Kopp (hereinafter "Seller")

and Michael E. Milton, Angel E. Milton (hereinafter "Buyer")

property Land lot on ninth and Broadway, Portland, ME

The following is hereby agreed by both the Sellers and the Buyers:

Physical Condition of the Property.

~~This property is being sold "as is" and Seller does not make any written or oral representation about the condition, or value of the property included in this sale. Buyer acknowledges this offer in full reliance upon his own independent investigation and judgment.~~

~~There are no verbal agreements, which modify or affect this offer. The acceptance of a deed by Buyer shall be deemed to be the full performance of every obligation on the part of Seller.~~

Condition and Use of Property.

~~Seller makes no representation as to the condition of the property or that the premises comply with local, county, state, or federal ordinances and statutes.~~

MM and MA



Buyer acknowledges Agency's advice to seek legal, tax and other professional advice as necessary in connection with sale/purchase of property.

[Signature] 2/27/04
Date
Michael E. Milton

Margaret L. Kopp 2/24/04
Date
Seller
Margaret L. Kopp

Angel Milton 2/27/04
Date
Buyer
Angel E. Milton

Seller
Date

RE/MAX By The Bay 770 Hunter Boulevard, Portland ME 04103
Phone (603) 773-2349 Fax (603) 752-7200

David M. Sault

Protected by the Equal Housing Opportunity Act. This is not a solicitation of an offer to sell or a contract.

7069434.BPK

276

2438/276

276

Know All Men by These Presents,

Creedy
to
Nappi
&
Wor

That I, Helen E. Creedy, of Portland in the County of Cumberland and State of Maine,

in consideration of ONE DOLLAR (\$1.00) and other valuable considerations,

paid by BEN J. NAPPI and MARGARET L. NAPPI, both of said Portland,

do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said BEN J. NAPPI and MARGARET L. NAPPI

as joint tenants and not as tenants in common, and their heirs and assigns, and the

survivor of them, and the heirs and assigns of the survivor of them, forever, six (6) certain lots or parcels of land, with the buildings thereon, situated on the Northwesterly side of Broadway, in said Portland, and being lots numbered Twenty-two (22), Twenty-three (23), Twenty-four (24), Twenty-five (25), Twenty-six (26) and Twenty-seven (27) on a plan of Lotteries, made by John Tilton McClintock, dated May, 1904, and recorded in Cumberland County Registry of Deeds in Book 11, Page 13.

Being the same premises conveyed to Helen E. Creedy and Stewart E. Creedy as joint tenants, by Helen E. Creedy by warranty deed dated June 17, 1934 and recorded in said Registry of Deeds in Book 2141, Page 198.

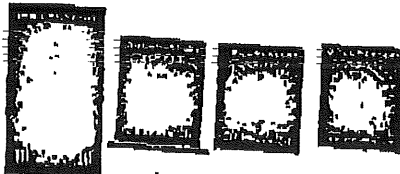
Also another certain lot or parcel of land, situated in said Portland, being lots numbered Eighty-five (85), Eighty-six (86), Eighty-seven (87), and Eighty-eight (88), as shown on plan of lots at Half Acre Farm, said plan being made by E. C. Jordan & Co., Civil Engineers, dated April, 1915, and recorded in said Registry of Deeds, said lots being bounded and described as follows: Beginning at the Northwesterly intersection of Broadway and High Street; thence Northerly along the easterly side of Broadway, One Hundred Five and Eight Hundredths (105.08) feet to land of one Rogers; thence Southerly, along the Southerly side of said Rogers' land, Two Hundred (200) feet to lot numbered Eighty-nine (89) on said plan; thence Southerly, along the Westerly side of said lot numbered Eighty-nine (89), One Hundred Five and Eight Hundredths (105.08) feet to High Street; thence Southerly along the Southerly side of High Street, Two Hundred (200) feet to Broadway and the point of beginning; containing, according to said plan, Twenty-two Thousand (22,000) square feet, more or less.

This conveyance is made subject to the condition that no building or part thereof, except piers, sheds, porches, and other usual appurtenances, shall be built or placed within fifteen (15) feet of any street.

Being the same premises conveyed to Helen E. Creedy and Stewart E. Creedy as joint tenants, by Stewart E. Creedy by warranty deed dated June 17, 1934, and recorded in said Registry of Deeds in Book 2141, Page 197.

Said Stewart E. Creedy having deceased prior to the execution hereof, the grantor herein further declares her title by reason of her surviving said Stewart E. Creedy.

This conveyance is made subject to taxes for the year 1934 which the grantee herein hereby assumes and agrees to pay.



M J Nappi

277

We have and to both the aforementioned and intended parties with all the privileges and 277
appurtenances thereto, to the said JOHN J. HARTY and MARGARET L. HARTY

as joint tenants and not as tenants in common, and their heirs and assigns, and the
survivors of them, and the heirs and assigns of the survivor of them, to them and their
heirs and assigns forever.

And I do covenant with the said Grantee, as aforesaid, that I will
lawfully defend in fee of the premises, that they are less of all incumbrances except
as aforesaid,

that I have good right to sell and convey the same to the said
Grantee to hold as aforesaid, and that I and my heirs
shall and will defend and defend the same to the said Grantee, their heirs and assigns,
and the survivors of them, and the heirs and assigns of the survivor of them, forever,
against the lawful claims and demands of all persons, except as aforesaid.

In Witness Whereof, I the said JOHN J. HARTY, being associated,

at the said

County of Cumberland, State of Maine

do hereby certify that the within and by hand and seal
of the said JOHN J. HARTY, on the 27th day of September 1958 in the year of
our Lord one thousand nine hundred and fifty-eight.

Signed, Sealed and Delivered
in presence of

John J. Harty
M. D. L. Brinds

Margaret L. Harty
Mrs. Helen L. Crosby

State of Maine
County of harsam

on the 27th day of September 1958

Personally appeared the above named JOHN J. HARTY

and acknowledged

the foregoing instrument to be his free act and deed.

John J. Harty
Notary Public
Cumberland County, Maine

Helen L. Crosby
Notary Public
Cumberland County, Maine

OCT 8 1958
REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE

Received at 2 H 9 M. N., and recorded in
BOOK 2489 PAGE 276

John J. Harty

Mike Milton

767-0815

339-L-3

#04-0420

Soil type/Presumptive Load Value (Table 401.4.1) _____		
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)		
Foundation Drainage Dampproofing (Section 406)	OK sheet A4	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
AnchorBolts/Straps (Section 403.1.4)	OK - A 2 Note F	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK steel- see spec	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	" "	
Sill/Band Joist Type & Dimesions	2x6	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12 - OK - 15' spacing ✓	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x12 - OK "	"

*Please Attach to
BP.*

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2004-0071

Application I. D. Number

04/13/2004

Application Date

Single Family dwelling: Mitton

Project Name/Description

Nappi Ben J &

Applicant

169 Broadway, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

48 - 48 Ninth St, Portland, Maine

Address of Proposed Site

339 L003001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #48 NINTH STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0071
Application I. D. Number

04/13/2004
Application Date

Single Family dwelling: Mitton
Project Name/Description

Nappi Ben J &
Applicant
169 Broadway, Portland, ME 04103
Applicant's Mailing Address

48 - 48 Ninth St, Portland, Maine

Address of Proposed Site

339 L003001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2584 sf + 484 sf gar 7875 sf R-3
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$250.00 Subdivision _____ Engineer Review \$50.00 Date 04/13/2004

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** See Attached Denied

Revision Attached

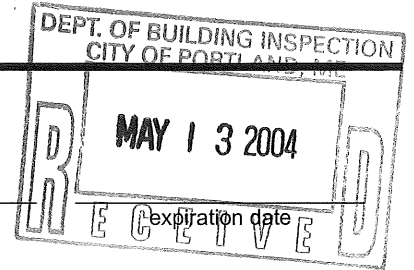
Approval Date 05/13/2004 Approval Expiration 05/13/2005 Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** 05/13/2004
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | |
|---|----------------------|--|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount |
| <input type="checkbox"/> Building Permit Issue | _____ date | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature |



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2004-0071

Application I. D. Number

04/13/2004

Application Date

Single Family dwelling: Mitton

Project Name/Description

Nappi Ben J &

Applicant

169 Broadway, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

48 - 48 Ninth St, Portland, Maine

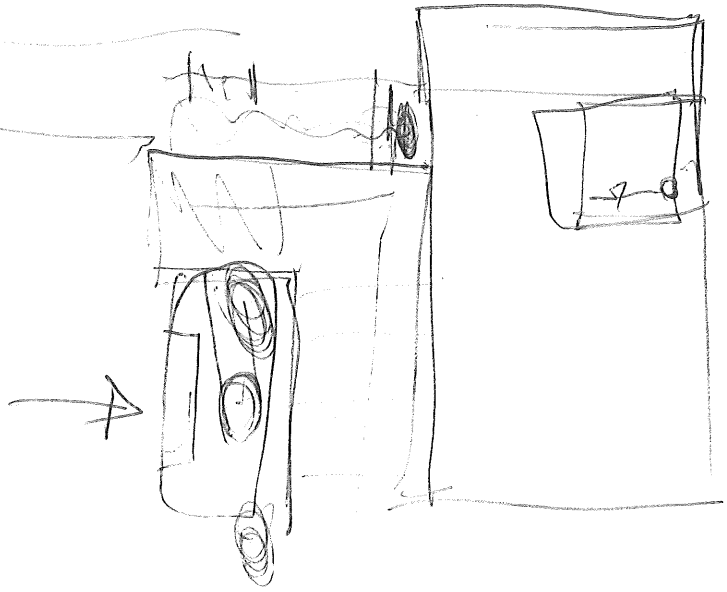
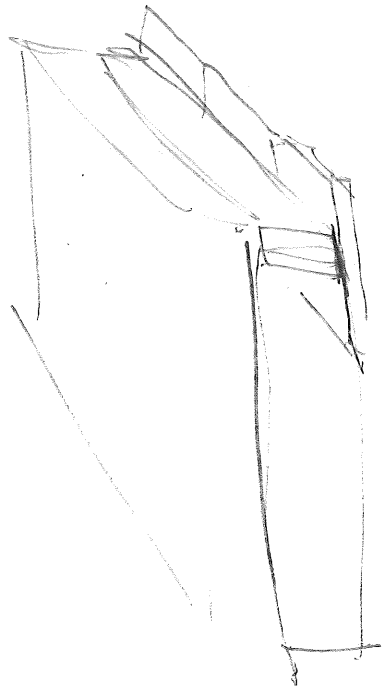
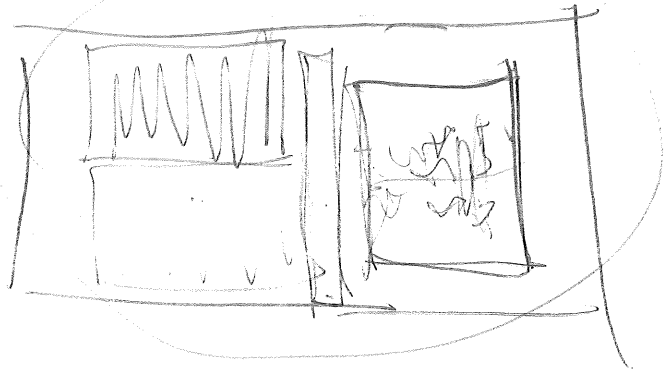
Address of Proposed Site

339 L003001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #48 NINTH STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



400
series



WINDOWS • DOORS
Andersen[®]

400 Series Tilt-Wash Double-Hung Windows

LONG LIVE THE HOME[®]



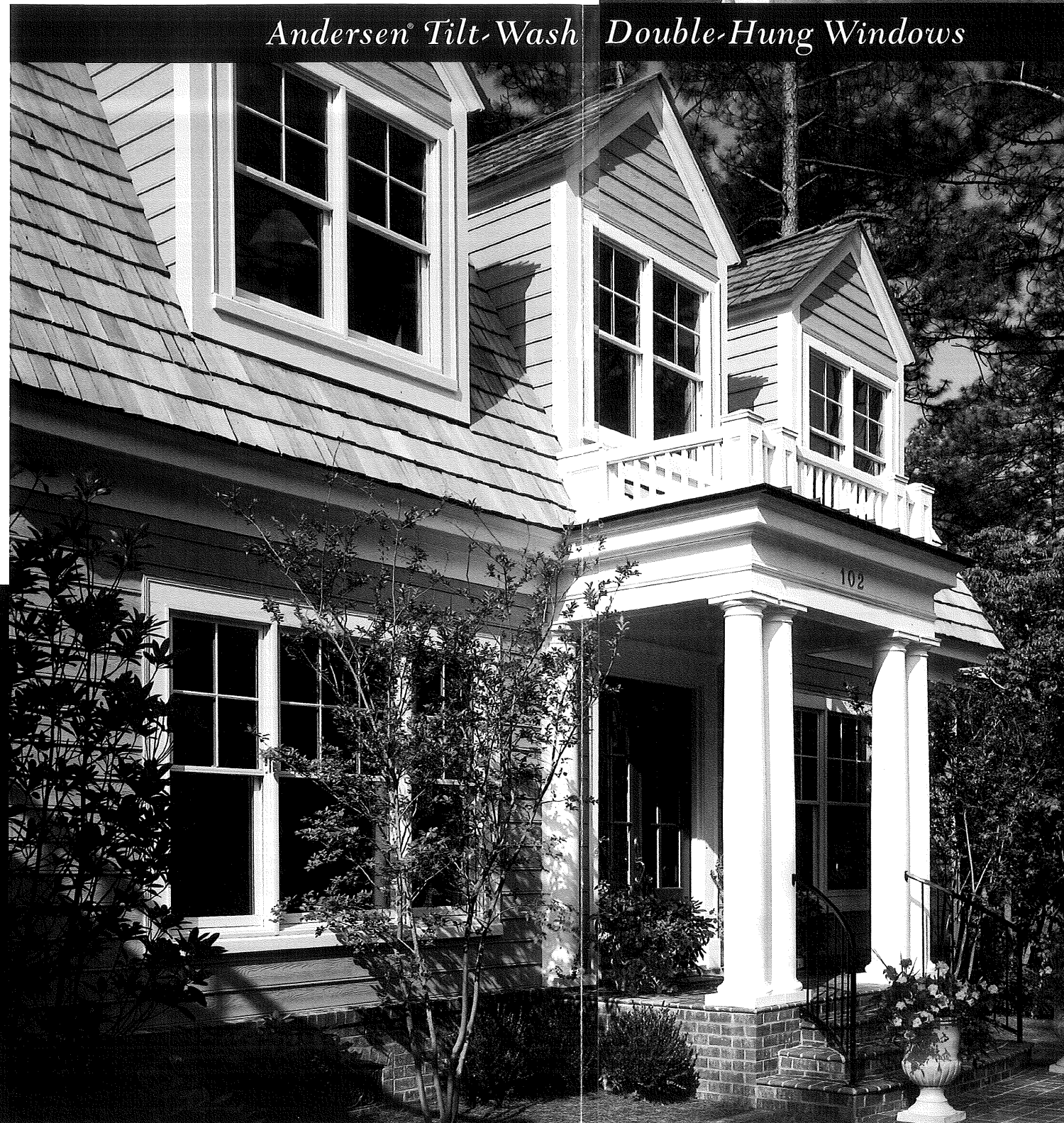
“Simplify, Simplify.”

— Henry David Thoreau

BEFORE DUAL-PANE GLASS AND INSECT SCREENS. BEFORE ASSEMBLY LINES AND POWER TOOLS — THERE WAS THE DOUBLE-HUNG WINDOW. AT ANDERSEN, WE BUILD UPON THIS CLASSIC DESIGN BY ADDING TILT-WASH CONVENIENCE AND A LONG-LASTING LOW-MAINTENANCE EXTERIOR.

BUT PERFORMANCE IS ONLY PART OF WHAT MAKES THESE WINDOWS BEAUTIFUL. THE ANDERSEN® 400 SERIES ALSO GIVES YOU RICH WOOD INTERIORS AND ELEGANT ACCESSORIES, SO YOU CAN GET JUST THE RIGHT LOOK FOR YOUR HOME. IT'S NO WONDER PROFESSIONAL BUILDERS AND REMODELERS CHOOSE ANDERSEN MORE THAN ANY OTHER BRAND.

Andersen® Tilt-Wash Double-Hung Windows



Bay or bow window combinations can make a small room seem larger, and they make an impressive architectural statement on the outside.



Standard Features

High-Performance™ Low-E glass delivers optimum insulating performance. For maximum solar protection, you can also choose Andersen High-Performance Sun™ Low-E glass.

Dual glazing beads keep the seal tight and secure.

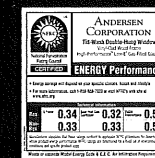
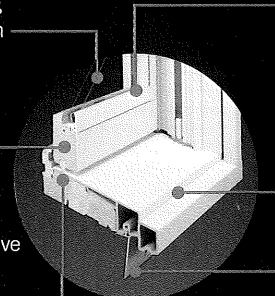
Slide wash assists make it easy to tilt the sash into wash mode.

Wood frame and sash members are treated with a water-repellent preservative for long-lasting protection and performance.

Low-maintenance Fibrex® material protects the sill.

A rigid vinyl anchoring flange helps secure the unit to the structure.

Weatherstripping throughout the unit provides a tight seal.



Check the National Fenestration Rating Council label before you buy. The lower the U-Factor, the less you'll spend heating your home. The lower the solar heat gain coefficient, the less you'll spend cooling your home.



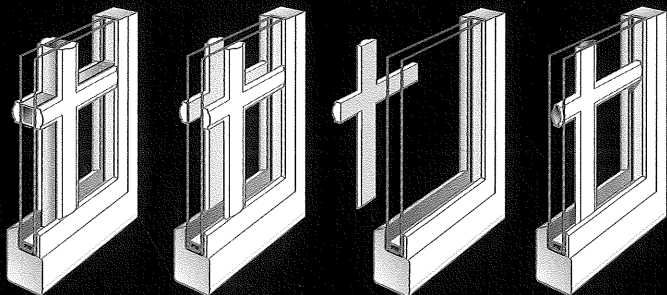
Built, backed and serviced like no other. Our limited warranty is one of the best in the business. It is non-prorated, so you get the same comprehensive coverage for 20 full years on glass, 10 years on non-glass parts. It is also fully transferable, which can add real value should you decide to sell your home. Plus, we have one of the largest service networks in the industry, so help is always there if you need it.

400 series



Grilles

Choose from a broad range of sizes, patterns and finishes to enhance the traditional look of your home. Both interior and exterior grilles are available. See your Andersen dealer for details.



Interior and exterior grilles can be combined with a spacer between the glass to create the old-fashioned look of muntin bars.

Permanent interior and exterior grilles can also be ordered without a spacer between the glass.

A removable interior grille can make cleaning easier.

Andersen® Finelight™ grilles are installed during manufacture and are ordered with the unit.



You can use grilles to change the personality of your windows — and your home. From left: standard Colonial style, standard Prairie style and 2-wide, 1-high Equal Light.



Products with the ENERGY STAR® label are designed to use less energy, help you save money on utility bills, and help protect the environment.

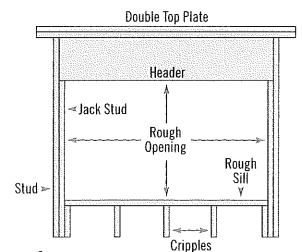


Andersen is the first window and patio door manufacturer to be certified by Green Seal, the independent, non-profit organization dedicated to protecting the environment by promoting the manufacture and sale of environmentally preferable consumer products.

Installation Basics

Measuring Made Easy

- For window replacement, remove inside trim to bring jack studs, header and rough sill into view.
- Measure the width from jack stud to jack stud.
- Measure the height from the bottom of the header to the top of the rough sill.
- In the chart on the back page, locate the rough opening dimensions that match your measurement. If you can't find an exact match, choose the next smaller size.



Window Installation Overview

The following instructions are only an overview of the steps necessary to install an Andersen® window. Complete installation instructions come with each unit and are available at www.andersenwindows.com

- Check rough opening for plumb, level and square.
- Center window on opening and shim.
- Level and secure top around perimeter.
- Seal around exterior perimeter.
- Insulate between frame and rough opening.



Bay or bow window combinations can make a small room seem larger, and they make an impressive architectural statement on the outside.

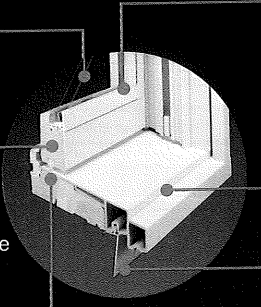


Standard Features

High-Performance™ Low-E glass delivers optimum insulating performance. For maximum solar protection, you can also choose Andersen High-Performance Sun™ Low-E glass.

Dual glazing beads keep the seal tight and secure.

Slide wash assists make it easy to tilt the sash into wash mode.

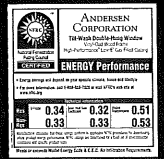


Low-maintenance Fibrex® material protects the sill.

A rigid vinyl anchoring flange helps secure the unit to the structure.

Wood frame and sash members are treated with a water-repellent preservative for long-lasting protection and performance.

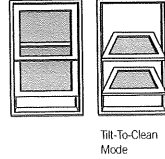
Weatherstripping throughout the unit provides a tight seal.



Check the National Fenestration Rating Council label before you buy. The lower the U-Factor, the less you'll spend heating your home. The lower the solar heat gain coefficient, the less you'll spend cooling your home.

Built, backed and serviced like no other. Our limited warranty is one of the best in the business. It is non-prorated, so you get the same comprehensive coverage for 20 full years on glass, 10 years on non-glass parts. It is also fully transferable, which can add real value should you decide to sell your home. Plus, we have one of the largest service networks in the industry, so help is always there if you need it.

TILT-WASH DOUBLE-HUNG WINDOWS



Exterior View Shown

To calculate unit dimension, subtract 1/2" from width and 1/2" from height.

UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT
TW18210	22 1/8"	x 37 1/4"	TW20210	26 1/8"	x 37 1/4"	TW24210	30 1/8"	x 37 1/4"	TW26210*	32 1/8"	x 37 1/4"	TW28210	34 1/8"	x 37 1/4"
TW1832	22 1/8"	x 41 1/4"	TW2032	26 1/8"	x 41 1/4"	TW2432	30 1/8"	x 41 1/4"	TW2632*	32 1/8"	x 41 1/4"	TW2832	34 1/8"	x 41 1/4"
TW1836*	22 1/8"	x 45 1/4"	TW2036*	26 1/8"	x 45 1/4"	TW2436*	30 1/8"	x 45 1/4"	TW2636*	32 1/8"	x 45 1/4"	TW2836*	34 1/8"	x 45 1/4"
TW18310	22 1/8"	x 49 1/4"	TW20310	26 1/8"	x 49 1/4"	TW24310	30 1/8"	x 49 1/4"	TW26310*	32 1/8"	x 49 1/4"	TW28310	34 1/8"	x 49 1/4"
TW1842	22 1/8"	x 53 1/4"	TW2042	26 1/8"	x 53 1/4"	TW2442	30 1/8"	x 53 1/4"	TW2642*	32 1/8"	x 53 1/4"	TW2842	34 1/8"	x 53 1/4"
TW1846	22 1/8"	x 57 1/4"	TW2046	26 1/8"	x 57 1/4"	TW2446	30 1/8"	x 57 1/4"	TW2646*	32 1/8"	x 57 1/4"	TW2846	34 1/8"	x 57 1/4"
TW18410*	22 1/8"	x 61 1/4"	TW20410*	26 1/8"	x 61 1/4"	TW24410*	30 1/8"	x 61 1/4"	TW26410*	32 1/8"	x 61 1/4"	TW28410*	34 1/8"	x 61 1/4"
TW1852	22 1/8"	x 65 1/4"	TW2052	26 1/8"	x 65 1/4"	TW2452	30 1/8"	x 65 1/4"	TW2652*	32 1/8"	x 65 1/4"	TW2852	34 1/8"	x 65 1/4"
TW1856	22 1/8"	x 69 1/4"	TW2056	26 1/8"	x 69 1/4"	TW2456	30 1/8"	x 69 1/4"	TW2656*	32 1/8"	x 69 1/4"	TW2856	34 1/8"	x 69 1/4"
TW18510*	22 1/8"	x 73 1/4"	TW20510*	26 1/8"	x 73 1/4"	TW24510*	30 1/8"	x 73 1/4"	TW26510*	32 1/8"	x 73 1/4"	TW28510*	34 1/8"	x 73 1/4"
TW1862	22 1/8"	x 77 1/4"	TW2062	26 1/8"	x 77 1/4"	TW2462	30 1/8"	x 77 1/4"	TW2662*	32 1/8"	x 77 1/4"	TW2862	34 1/8"	x 77 1/4"

TILT-WASH DOUBLE-HUNG TRANSOM WINDOWS

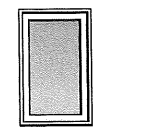


Exterior View Shown

To calculate unit dimension, subtract 1/2" from width and 1/2" from height. Transom units shown are the most common Andersen sizes. Consult your Andersen dealer for complete list.

UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT
DHT2010	26 1/8"	x 12 1/2"	DHT2410	30 1/8"	x 12 1/2"	DHT2810	34 1/8"	x 12 1/2"	DHT3010	38 1/8"	x 12 1/2"	DHT3410	42 1/8"	x 12 1/2"
DHT2015	26 1/8"	x 19 7/8"	DHT2415	30 1/8"	x 19 7/8"	DHT2815	34 1/8"	x 19 7/8"	DHT3015	38 1/8"	x 19 7/8"	DHT3415	42 1/8"	x 19 7/8"
DHT2017	26 1/8"	x 21 7/8"	DHT2417	30 1/8"	x 21 7/8"	DHT2817	34 1/8"	x 21 7/8"	DHT3017	38 1/8"	x 21 7/8"	DHT3417	42 1/8"	x 21 7/8"
DHT20111	26 1/8"	x 25 7/8"	DHT24111	30 1/8"	x 25 7/8"	DHT28111	34 1/8"	x 25 7/8"	DHT30111	38 1/8"	x 25 7/8"	DHT34111	42 1/8"	x 25 7/8"
DHT2021	26 1/8"	x 27 7/8"	DHT2421	30 1/8"	x 27 7/8"	DHT2821	34 1/8"	x 27 7/8"	DHT3021	38 1/8"	x 27 7/8"	DHT3421	42 1/8"	x 27 7/8"
DHT2023	26 1/8"	x 29 7/8"	DHT2423	30 1/8"	x 29 7/8"	DHT2823	34 1/8"	x 29 7/8"	DHT3023	38 1/8"	x 29 7/8"	DHT3423	42 1/8"	x 29 7/8"
DHT2027	26 1/8"	x 33 7/8"	DHT2427	30 1/8"	x 33 7/8"	DHT2827	34 1/8"	x 33 7/8"	DHT3027	38 1/8"	x 33 7/8"	DHT3427	42 1/8"	x 33 7/8"
DHT2031	26 1/8"	x 39 7/8"	DHT2431	30 1/8"	x 39 7/8"	DHT2831	34 1/8"	x 39 7/8"	DHT3031	38 1/8"	x 39 7/8"	DHT3431	42 1/8"	x 39 7/8"

TILT-WASH DOUBLE-HUNG PICTURE WINDOWS



Exterior View Shown

To calculate unit dimension, subtract 1/2" from width and 1/2" from height.

UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT
DHP10310*	12 1/2"	x 49 1/4"	DHP30310	38 1/8"	x 49 1/4"	DHP4310*	42 1/8"	x 49 1/4"	DHP10310	47 7/8"	x 49 1/4"	DHP42310	51 7/8"	x 49 1/4"
DHP1042	12 1/2"	x 53 1/4"	DHP3042	38 1/8"	x 53 1/4"	DHP442	42 1/8"	x 53 1/4"	DHP31042	47 7/8"	x 53 1/4"	DHP4242	51 7/8"	x 53 1/4"
DHP1046	12 1/2"	x 57 1/4"	DHP3046	38 1/8"	x 57 1/4"	DHP446	42 1/8"	x 57 1/4"	DHP31046	47 7/8"	x 57 1/4"	DHP4246	51 7/8"	x 57 1/4"
DHP10410*	12 1/2"	x 61 1/4"	DHP30410*	38 1/8"	x 61 1/4"	DHP4410*	42 1/8"	x 61 1/4"	DHP310410**	47 7/8"	x 61 1/4"	DHP42410**	51 7/8"	x 61 1/4"
DHP1052	12 1/2"	x 65 1/4"	DHP3052	38 1/8"	x 65 1/4"	DHP452	42 1/8"	x 65 1/4"	DHP31052	47 7/8"	x 65 1/4"	DHP4252	51 7/8"	x 65 1/4"
DHP1056*	12 1/2"	x 69 1/4"	DHP3056*	38 1/8"	x 69 1/4"	DHP456*	42 1/8"	x 69 1/4"	DHP31056	47 7/8"	x 69 1/4"	DHP4256	51 7/8"	x 69 1/4"
DHP10510*	12 1/2"	x 73 1/4"	DHP30510*	38 1/8"	x 73 1/4"	DHP4510*	42 1/8"	x 73 1/4"	DHP310510**	47 7/8"	x 73 1/4"	DHP42510**	51 7/8"	x 73 1/4"
DHP1062*	12 1/2"	x 77 1/4"	DHP3062*	38 1/8"	x 77 1/4"	DHP462*	42 1/8"	x 77 1/4"	DHP31062**	47 7/8"	x 77 1/4"	DHP4262**	51 7/8"	x 77 1/4"

CIRCLE TOP™ WINDOWS

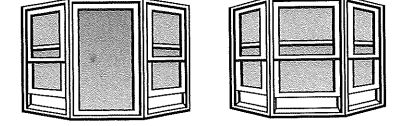


Exterior View Shown

To calculate unit dimension, subtract 1/2" from width and 1/2" from height.

UNIT	WIDTH	HEIGHT	UNIT	WIDTH	HEIGHT
CTN20	26 1/8"	x 15 3/4"	CTN34	42 1/8"	x 23 3/4"
CTN24	30 1/8"	x 17 3/4"	CTN28-2	67 7/8"	x 36 1/2"
CTN28	34 1/8"	x 19 3/4"	CTN30-2	75 7/8"	x 40 1/2"
CTN30	38 1/8"	x 21 3/4"			

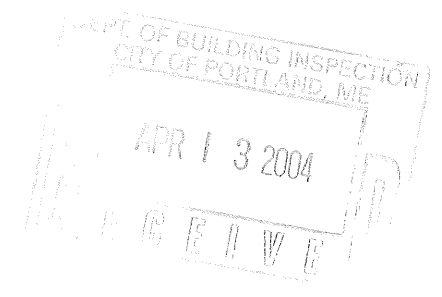
TILT-WASH DOUBLE-HUNG BAY WINDOWS



30° Double-Hung Bay with Picture unit 45° Double-Hung Bay

Exterior View Shown

Rough opening sizes ranging from 75 1/8" x 128 1/2" to 50 3/4" x 78 3/4" in 30° and 45° configurations. Consult your Andersen dealer or log-on to www.andersenwindows.com for additional information.

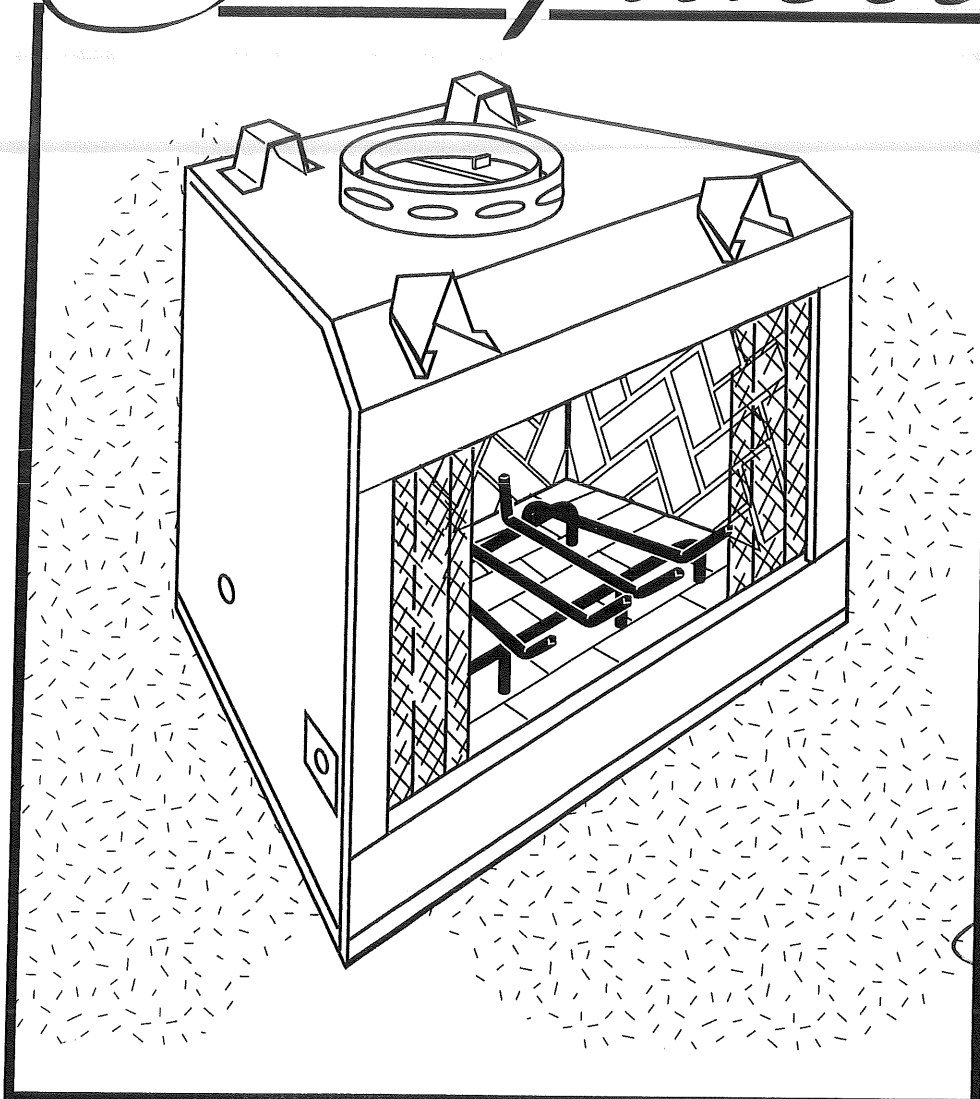


*ENERGY STAR™ and the ENERGY STAR logo are registered trademarks of the U.S. Environmental Protection Agency. Consult your Andersen dealer for a copy of the complete Andersen 20/10-year limited warranty or visit our website at: www.andersenwindows.com *Andersen™ and "Long Live The Home™" are registered trademarks of Andersen Corporation. All other marks where denoted are marks of Andersen Corporation. © 2003 Andersen Corporation. All rights reserved. 6/03 Reorder NA-17

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 13 2004
RECEIVED

MAJESTIC™

fireplaces



For Models:

SHR36

SHR42A

SHR48

SHR52



SHR Series

Woodburning Fireplace

Homeowner's Installation & Operating Manual

Underwriter's Laboratories Report No. MH6018

DO NOT DISCARD THIS MANUAL: Retain for future use.

Safety Information

PLEASE READ THIS MANUAL BEFORE INSTALLING AND USING FIREPLACE.

IMPORTANT: Read all instructions and warnings carefully before starting installation. Failure to follow these instructions may result in a possible fire hazard and will void the warranty.

Description

The SHR Series fireplaces are solid fuel, woodburning fireplaces. The SHR36/42A/48 (Super Hearth) are clean-face fireplaces.

Precautions

Vermont Castings, Majestic Products fireplaces and component parts have been highly tested and will operate safely when installed in accordance with instructions provided in this manual. Carefully read and understand all instructions **before** beginning installation.

If you notice any damage to fireplace or component parts, immediately report damage to your Vermont Castings, Majestic Products dealer.

Only use Vermont Castings, Majestic Products components or the warranty will be voided and a fire hazard may be created.

Vermont Castings, Majestic Products warranty will be voided by and Vermont Castings, Majestic Products disclaims any responsibility for the following actions:

- **Installation of any damaged fireplace or chimney component;**
- **Modification of fireplace, chimney assembly or any component parts thereof; (except for chase flashings as detailed in the Chimney Top installation instructions).**
- **Installation other than as instructed by Vermont Castings, Majestic Products; or**
- **Installation and/or use of any component part not manufactured or approved by Vermont Castings, Majestic Products in combination or assembly with a Vermont Castings, Majestic Products fireplace system, notwithstanding any independent testing laboratory or other third party approval of such component parts or accessory.**

Any such action may possibly cause a fire hazard.

Consult local building codes to ensure that you are in compliance **before** installing the fireplace.

Fireplaces must be vented to the out-of-doors.

Do not obstruct or modify air inlets/outlets in any manner.

Do not install combustible materials on any of the black fireplace surround.

Burn only solid wood fuel or gas logs.

Do not install a solid fuel burning insert or other products not specified for use with this fireplace.

These fireplaces are not approved for installation in mobile homes.

Proposition 65 Warning: Fuels used in gas, woodburning or oil fired appliances, and the products of combustion of such fuels, contain chemicals known to the State of California to cause cancer, birth defects and other reproductive harm. California Health & Safety Code Sec. 25249.6

Drafts

The fireplace should not be located in areas that create drafts (ie: frequently opened doors and central heating air inlets/outlets) that hamper the normal flow of air into the fire.

Gas Logs

If you plan to install a gas log, the gas line should be installed before framing the fireplace. The gas line must be installed by a certified gas line installer.

**SHR36 / SHR42A / SHR48 / SHR52
Listed**

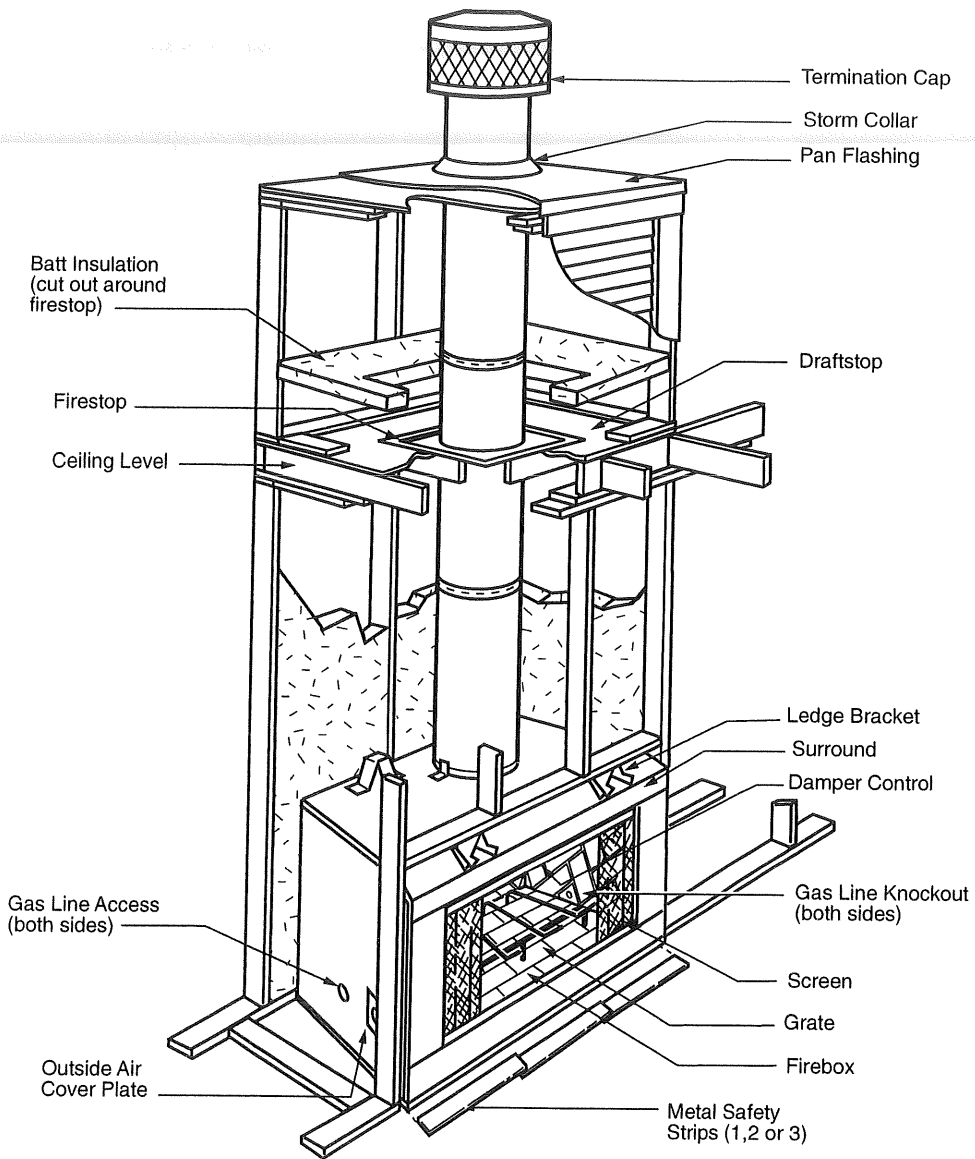
**UL / ULc127
Standard for Factory Built Fireplaces**

Table of Contents

Safety Information	2
Specifications and Framing	3
Parts Identification	5
Chimney Requirements	6
Planning Information	7
Installation	8
Replacement Parts	20
Accessories	21

Chase Installation

Insulation methods shown are optional for cold climate, not a requirement for unit operation.



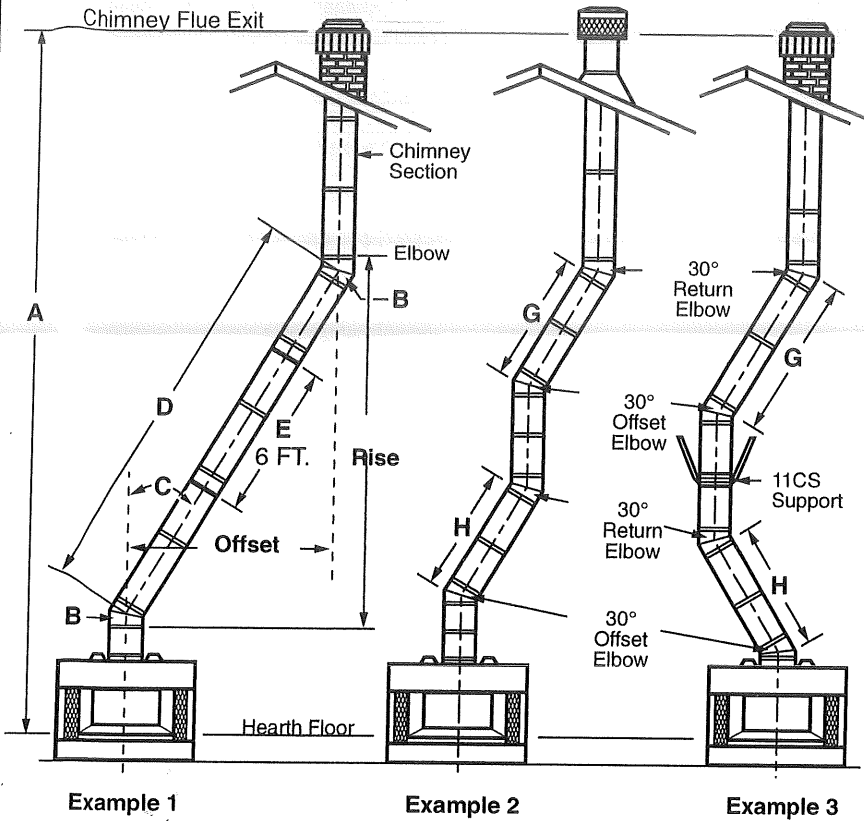
FP554A

Fig. 5 Fireplace and chase parts identification. (SHR48 shown)

2' above my see w 10'

Majestic Fireplaces® SHR Series

Chimney Requirements - Offset Installations



Notes: G + H cannot exceed 20 feet.

*11CF Chimney airspace clearance = 2" minimum.

FP269

Illustration Key

The following safety rules apply to offset installations (letters correspond with illustration above):

A. Height of the chimney is measured from the hearth to the chimney exit.

	SHR36	SHR42A	SHR48	SHR52
Max.:	90'	90'	90'	90'
Min.:				
0 Elbows	14'6"	14'6"	16'0"	16'0"
2 Elbows*	15'6"	15'6"	19'0"	19'0"
4 Elbows*	21'0"	21'0"	24'0"	24'0"

B. Do not use more than 4 elbows per chimney.

Attach the straps of the return (top) elbow to a structural framing member.

The offset (first) elbow of any pair does not have straps.

C. The chimney cannot be more than 30° from the vertical plane in any installation.

D. The maximum length of the angled run of the total chimney system is 20 feet. (G plus H cannot exceed 20 feet.)

E. A chimney support (Model 11CS) is required every 6 feet of angled run of chimney. Chimney supports are required for every 30 feet and 60 feet chimney height above the hearth.

Determine the offset distance of your chimney arrangement from the centerline of the fireplace to the centerline of the chimney where it is to pass through the first ceiling.

NOTE: This offset distance may not be your full offset distance. See Examples 2 and 3.

FP282

30° Elbow Offsets

1'	1½'	3'	4'	Chimney Support	Offset	Rise
0	0	0	0	0	3"	11"
1	0	0	0	0	8¼"	20"
0	1	0	0	0	11½"	25¼"
2	0	0	0	0	13½"	29¼"
1	1	0	0	0	16½"	34¼"
0	0	1	0	0	20¼"	40¾"
2	1	0	0	0	21¾"	43½"
0	0	0	1	0	26¼"	51¼"
0	1	1	0	0	28½"	55¼"
1	0	0	1	0	31½"	60¼"
0	1	0	1	0	34½"	65½"
0	0	2	0	0	37½"	70¾"
1	1	0	1	1	41½"	77¾"
0	0	1	1	1	45"	83¾"
0	1	2	0	1	47¼"	87½"
0	0	0	2	1	51"	94"
0	1	1	1	1	53¼"	98"
0	0	3	0	1	56¼"	103¼"
0	1	0	2	1	59¼"	108½"
0	0	2	1	1	62¼"	113½"
0	1	3	0	1	64½"	117½"
0	0	1	2	1	68¼"	124"
0	1	2	1	1	70½"	128"
0	0	0	3	1	74¼"	134½"
0	1	1	2	2	78"	140¾"
0	0	3	1	2	81"	146"
0	1	0	3	2	84"	151¼"
0	0	2	2	2	87"	156½"
0	1	3	1	2	89¼"	160¼"
0	0	1	3	2	93"	166¾"
0	1	2	2	2	95¼"	170¾"
0	0	0	4	2	99¼"	177¾"
0	1	1	3	2	101¼"	181¾"
0	0	3	2	2	104¼"	186¼"
0	1	0	4	2	107¼"	191½"
0	0	2	3	2	110¼"	196¾"
0	1	3	2	3	114"	203¼"
0	0	1	4	3	117¾"	209¾"
0	1	2	3	3	120"	213½"
0	0	0	5	3	123¾"	220"

Fig. 6 Chimney system requirements.

730 ST ERMA 210 0232

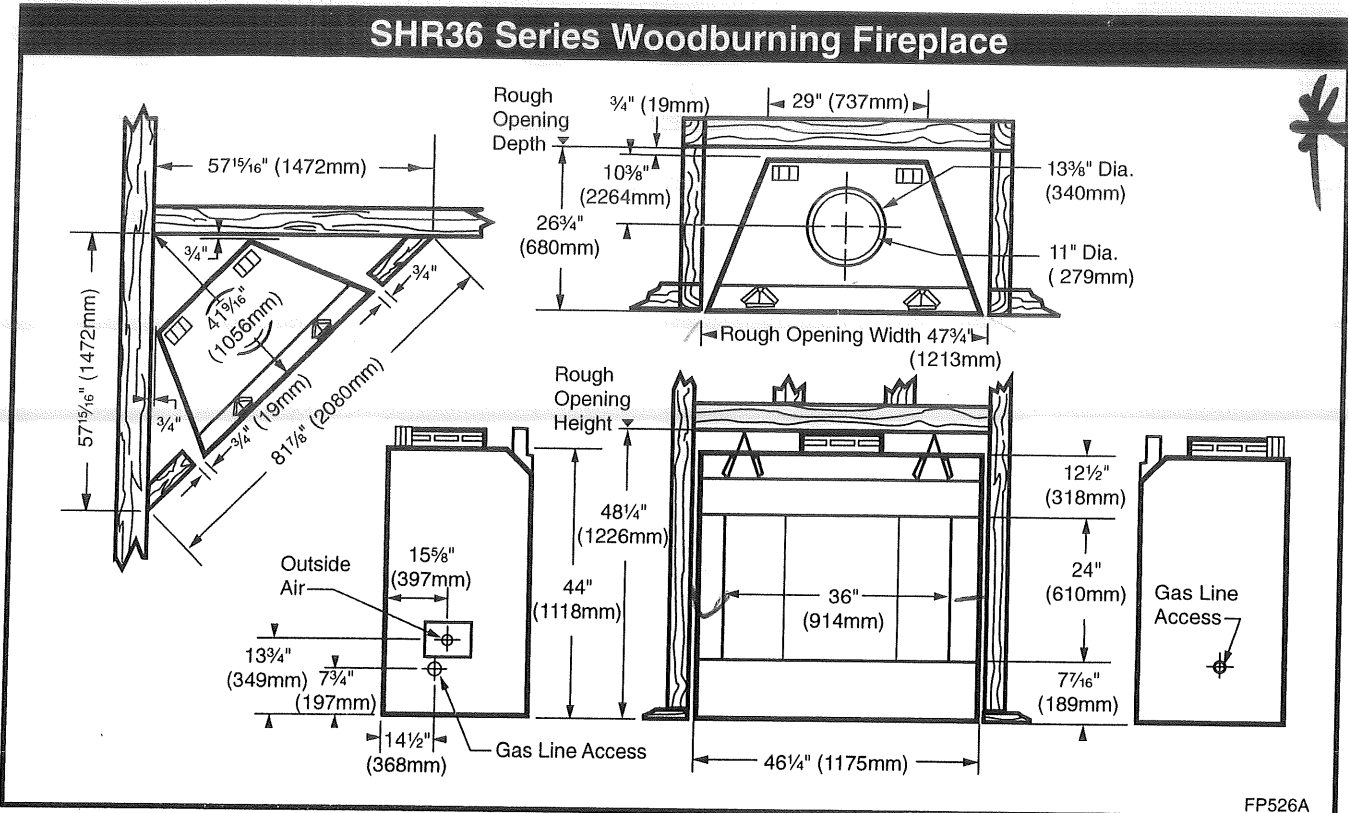


Fig. 1 SHR36 Series specifications and framing.

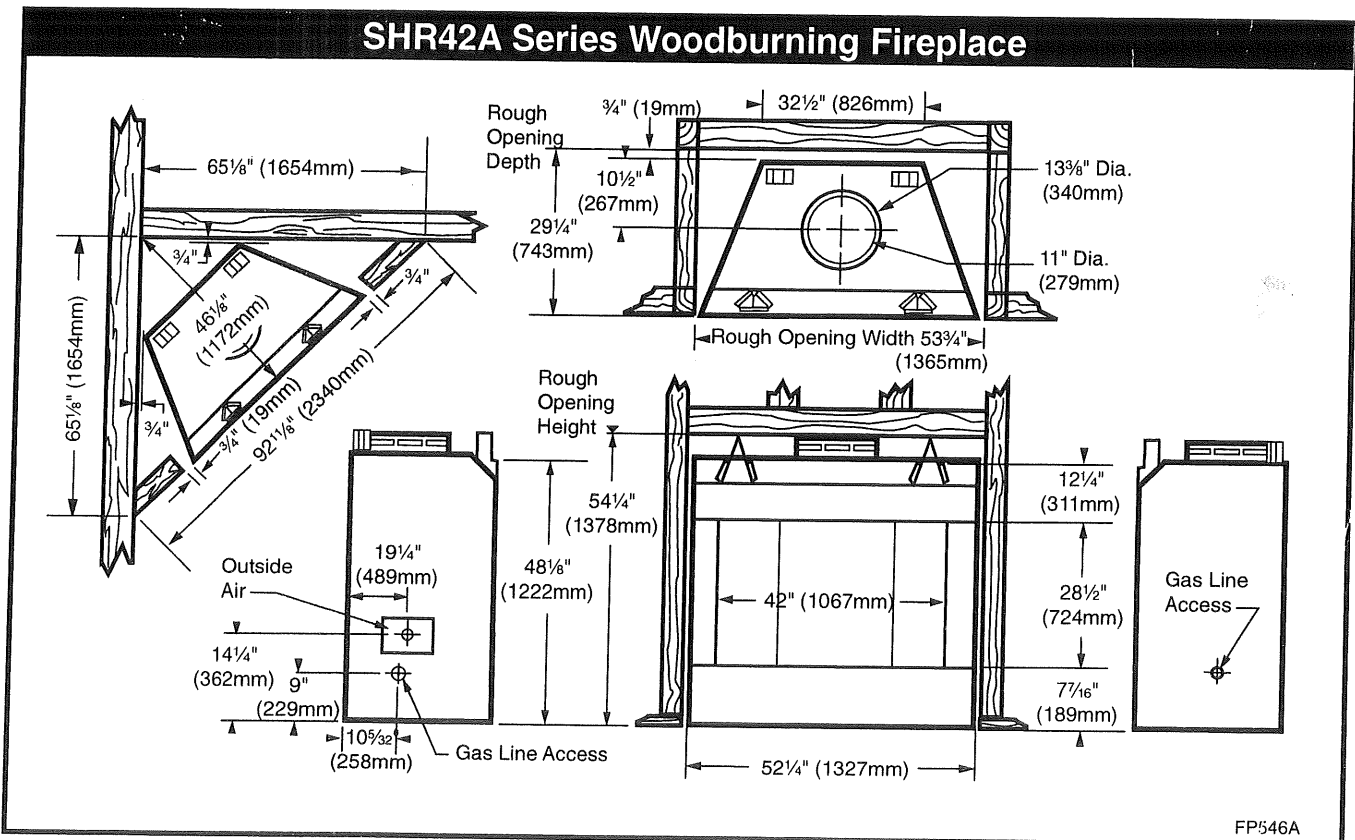


Fig. 2 SHR42A Series specifications and framing.

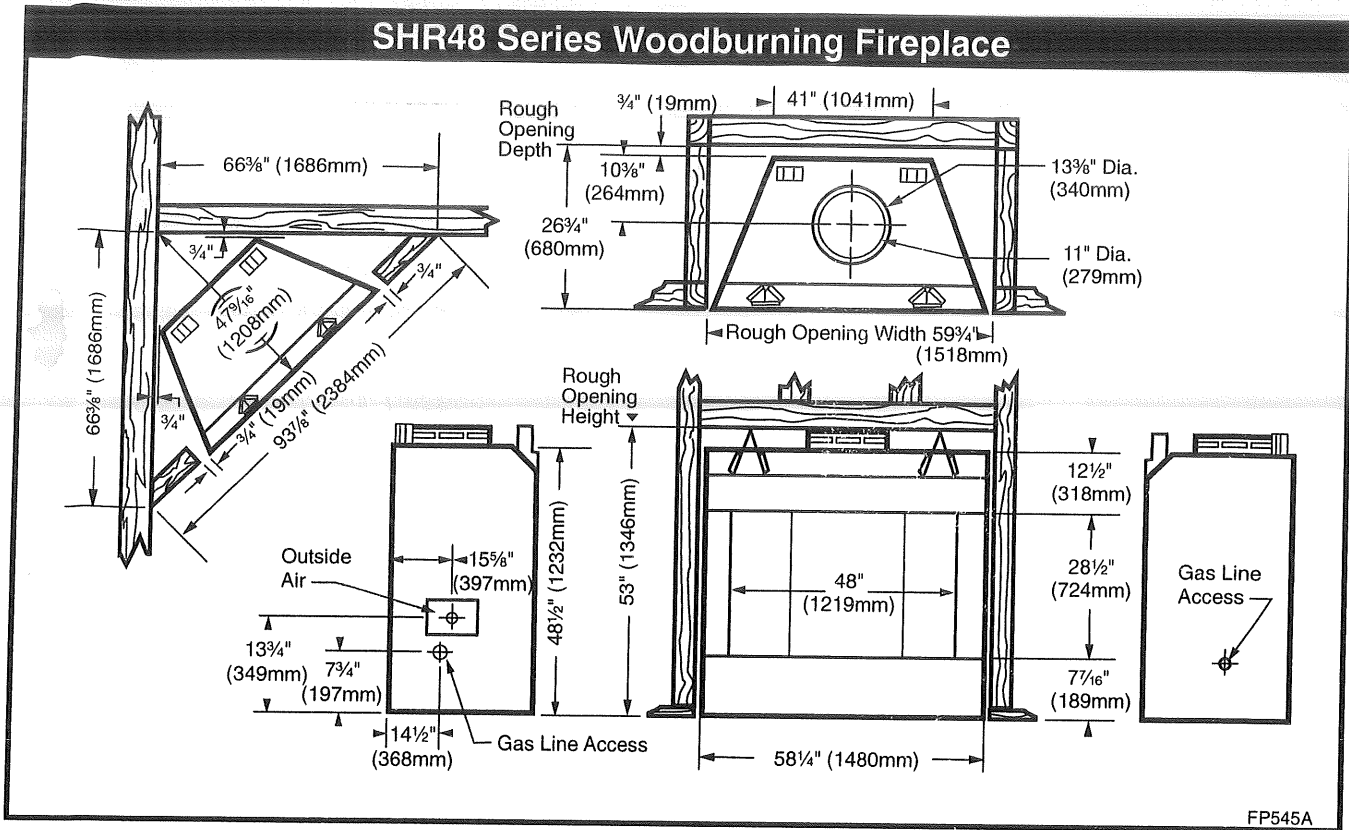


Fig. 3 SHR48 Series specifications and framing.

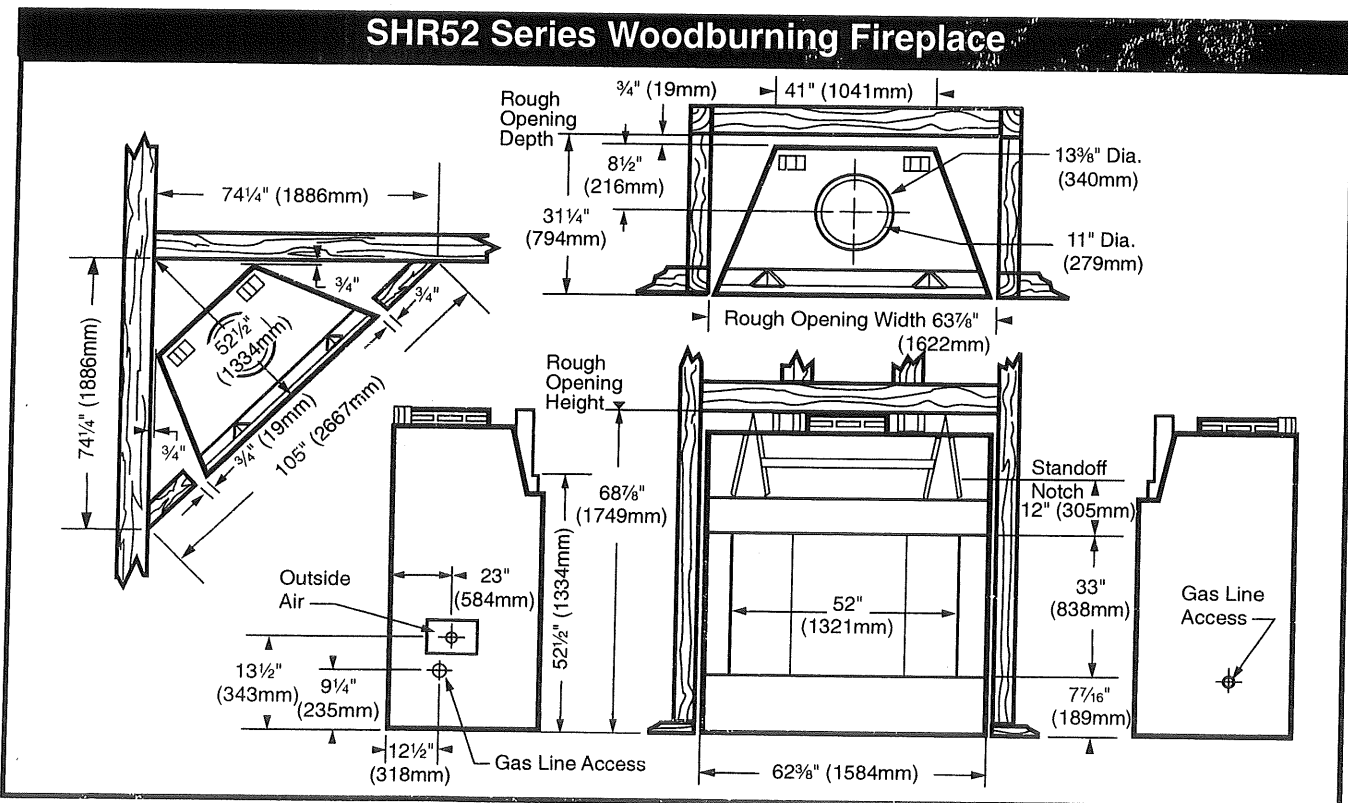


Fig. 4 SHR52 Series specifications and framing.

11" CF Two-Wall Flue & Terminations

Jan 13, 2003 **Chimney Flue Components**

Model	Description	Wt.	Cu.Ft.	List Price
INTERMEDIATE SECTIONS				
11CF1	1-Foot Chimney Section	5	1.4	\$ 37.00
11CF18	18-Inch Chimney Section	8	2.0	\$ 48.00
11CF3	3-Foot Chimney Section	14	4.1	\$ 77.00
11CF4	4-Foot Chimney Section	17	5.4	\$ 99.00
11CS	Chimney Support	2	1.1	\$ 37.00
OFFSETTING ELBOWS				
11CF30/2	30 - Degree Offset and Return Elbow	6	6.0	\$ 130.00
FIRESTOPS				
FS2A	Firestop for Straight-Up Chimney	2	0.6	\$ 16.00
FS2A/5	Firestop for Straight-Up Chimney/ 5 Pack	8	0.6	\$ 71.00
FS2A/25	Firestop for Straight-Up Chimney/ 25 Pack	42	1.0	\$ 282.00
FS6A	Firestop for 30-Degree Offset	4	0.8	\$ 28.00

Chimney Termination Components

Model	Description	Wt.	Cu.Ft.	List Price
ROUND CONTEMPORARY TOPS				
RLTCF11	Round Louvered Termination for CF11 Pipe	12	4.4	\$ 94.00
RLTCF11L	Long Round Louvered Termination for CF11 Pipe	20	7.3	\$ 128.00
8/6/12	0-6/12 Pitch Flashing - Includes Drawband	12	7.4	\$ 64.00
8-6-12/5	0-6/12 Pitch Flashing/ 5 Pack - Includes Drawband	60	7.4	\$ 287.00
8-6-12/50	0-6/12 Pitch Flashing/ 50 Pack - Includes Drawband	600	16.8	\$2,607.00
8/12/12	6-12/12 Pitch Flashing - Includes Drawband	14	13.3	\$ 119.00
8-12-12/5	6-12/12 Pitch Flashing/ 5 Pack - Includes Drawband	70	13.3	\$ 536.00
DB-8A	Drawband	1	0.2	\$ 10.00
TRADITIONAL CHASE TOPS				
SLTCF11	Square Black Louvered Termination for CF11 Pipe	24	7.5	\$ 211.00
TRADITIONAL CHASE SHROUDS				
SKDSBL	Square Black Knock-Down Shroud	4	0.6	\$ 48.50
PKDSBL	Pyramid Black Knock-Down Shroud	4	0.6	\$ 48.50
BSKDKU	Bishop Shroud			\$ 210.00
PSKDKU	Pagoda Shroud			\$ 179.00
SSKDKU	Square Shroud			\$ 94.00
TTSKDKU	TT Shroud			\$ 63.00
SSLBU	Square Shroud Legs			\$ 358.00
PSLBU	Pagoda Shroud Legs			\$ 769.00
BSLBU	Bishop Shroud Legs			\$ 579.00
TTSLBU	TT Shroud Legs			\$ 200.00
TRADITIONAL CHASE HOUSING				
*S20BR	48" Simulated Red Brick Top Housing w/ upper baffle and lower flashing	35	15.3	\$ 105.00
*S20BT	48" Simulated Tan Brick Top Housing w/ upper baffle and lower flashing	35	15.3	\$ 105.00
*S20BW	48" Simulated White Brick Top Housing w/ upper baffle and lower flashing	35	15.3	\$ 105.00
S20UB	CF11/S8 Upper Baffle for S20B Housing	6	2.7	\$ 31.00
202036R	36" Extension for S20BR/S20BT/S20BW Specify: R (red), T (tan) or W (white) finish	27	9.2	\$ 115.00

*NOTE: SLTCF11 and S20UB must be ordered for complete assembly.

SHR36/42/48

Jan 13, 2003 SHR36 SuperHearth® Series

Standard Features: 36" Fully Insulated Radiant Fireplace - Full Refractory Lining - Herringbone Design Standard - Built-in Flue Damper - Integral Outside Combustion Air - Basket Gate - Wire Mesh Firescreen - 1 Carton - Uses 11" CF Chimney

Model	Description	Wt.	Cu.Ft.	List Price
SHR36	36" Insulated Radiant Fireplace	234	38.3	\$ 805.00
GLASS DOORS				
36SHGDKBK	36" Bi-fold Glass Door Kit Black w/ Black Track	18	2.4	\$ 206.00
36SHGDKBB	36" Bi-fold Glass Door Kit Brushed Brass w/ Black Track	18	2.4	\$ 191.00
36SHGDKDP	36" Bi-fold Glass Door Kit Polished Brass w/ Black Track	18	2.4	\$ 249.00
36SHGDKS	36" Bi-fold Glass Door Kit Pewter w/ Black Track	18	2.4	\$ 259.00
OPTIONAL ACCESSORIES				
RSHRBG36	Replacement Basket Gate	12	1.7	\$ 60.00
AK-MST	Outside Air Kit Termination (includes collar and cap)	1	0.2	\$ 23.00
AH3244BK	Adjustable Hood- Black (for use with NV gas log sets)	3.3	0.7	\$ 69.00
AH3244PB	Adjustable Hood- Polished Brass (for use with UV gas log)	3.3	0.7	\$ 92.00

SHR42 SuperHearth® Series

Standard Features: 42" Fully Insulated Radiant Fireplace - Full Refractory Brick Lining - Herringbone Design Standard - Built-in Flue Damper - Integral Outside Combustion Air - Basket Gate - Wire Mesh Firescreen - 1 Carton - Uses 11" CF Chimney

Model	Description	Wt.	Cu.Ft.	List Price
SHR42	42" Insulated Radiant Fireplace	342	45.6	\$ 865.00
GLASS DOORS				
42SHGDKBK	42" Bi-fold Glass Door Kit Black w/ Black Track	22	3.2	\$ 246.00
42SHGDKBB	42" Bi-fold Glass Door Kit Brushed Brass w/ Black Track	22	3.2	\$ 231.00
42SHGDKSS	42" Bi-fold Glass Door Brushed Aluminum w/Stainless Steel Track	22	3.2	\$ 289.00
42SHGDKDP	42" Bi-fold Glass Door Kit Polished Brass w/ Black Track	22	3.2	\$ 289.00
42SHGDKS	42" Bi-fold Glass Door Kit Pewter w/ Black Track	22	3.2	\$ 299.00
OPTIONAL ACCESSORIES				
RSHRBG42	Replacement Basket Gate	14	1.9	\$ 67.00
AK-MST	Outside Air Kit Termination (includes collar and cap)	1	0.2	\$ 23.00
AH3244BK	Adjustable Hood- Black (for use with UV gas log sets)	3.3	0.7	\$ 69.00
AH3244PB	Adjustable Hood- Polished Brass (for use with UV gas log)	3.3	0.7	\$ 92.00

SHR48 SuperHearth® Series

Standard Features: 48" Fully Insulated Radiant Fireplace - Full Refractory Brick Lining - Herringbone Design Standard - Built-in Flue Damper - Basket Gate - Wire Mesh Firescreen - 1 Carton - Uses 11" CF Chimney

Model	Description	Wt.	Cu.Ft.	List Price
SHR48	48" Insulated Radiant Fireplace	484	62.3	\$ 1,315.00
GLASS DOORS				
48SHGDKBK	48" Bi-fold Glass Door Kit Black w/ Black Track	43	6	\$ 286.00
48SHGDKBB	48" Bi-fold Glass Door Kit Brushed Brass w/ Black Track	43	6	\$ 271.00
48SHGDKDP	48" Bi-fold Glass Door Kit Polished Brass w/ Black Track	43	6	\$ 329.00
48SHGDKS	48" Bi-fold Glass Door Kit Pewter w/ Black Track	43	6	\$ 339.00
OPTIONAL ACCESSORIES				
RSHRBG48	Replacement Basket Gate	18	2.6	\$ 75.00
AK-MST	Outside Air Kit Termination (includes collar and cap)	1	0.2	\$ 23.00

Planning Information

Preplanning an installation is very important to ensure safety and to save time and money. An installer must predetermine where a fireplace will be set and how the chimney system will be run.

Mounting the Fireplace

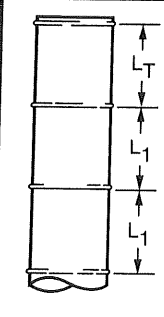
A fireplace may only be mounted on the following surfaces:

1. A flat combustible surface.
2. A raised wooden platform.
3. A concrete block or other solid object placed beneath each of the four (4) corners of the fireplace.

The fireplace **must** be spaced 3/4 inch from a combustible back wall and 3/4 inch from a combustible side wall or support. (Fig. 20, Page 14)

Planning the Chimney Run

Determine how the chimney will be run, length of run and chimney components required to complete the job. (Fig. 6) **Never** install a chimney below minimum heights.



11CF Chimney Model No.	Total Length (L _T)	Installed Length (L ₁)
11CF1	11½"	10½"
11CF18	17½"	16½"
11CF3	35½"	34½"
11CF4	47½"	46½"

FP288b

Fig. 7 Installed lengths of chimney sections.

In planning a chimney system, it is important to know:

1. The height of a chimney is measured from the hearth to the exit point on the termination.
2. A chimney cannot be offset more than 30 degrees from a vertical plane.
3. A chimney may run straight up or it may be necessary to offset it to avoid obstructions.
4. The maximum length of an angled run (total chimney system) is 20 feet.
5. No more than 2 offsets (4 total 30° elbows in) per fireplace may be used.
6. A guy wire stabilizer is required for chimneys extending more than 6 feet above a roof line.

The Ten Foot Rule

Major U.S. building codes specify a minimum chimney height above the roof top. The "Ten Foot Rule" is a fire safety rule and not a draft rule. To ensure proper draft, it is recommended that you always meet or exceed the "Ten Foot Rule," especially when installing a termination on a high pitch roof. (Fig. 8)

The key points of the "Ten Foot Rule" are:

1. If the horizontal distance from the chimney to the peak of the roof is 10 feet or less, the top of the chimney must be at least 2 feet above the peak of the roof, but never less than 3 feet in height above the highest point where it passes through the roof.
2. If a horizontal distance from the chimney to the peak of the roof is more than 10 feet, a chimney height reference point is established that is on the surface of the roof a distance of 10 feet from the center of the chimney in a horizontal plane. The top of the chimney must be at least 2 feet above the reference point, but never less than 3 feet in height above the highest point where it passes through the roof.

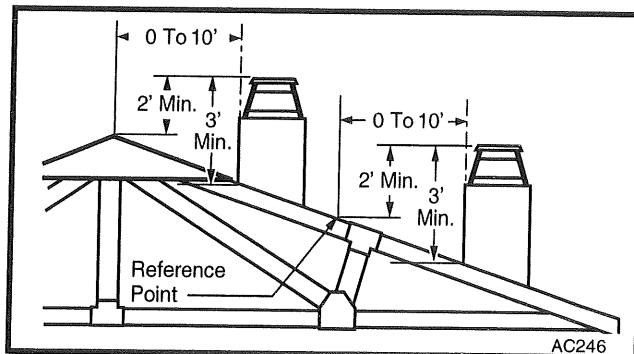


Fig. 8 Ten Foot Rule illustration.

Chimney Supports

The chimney system is supported by the fireplace for vertical chimney heights less than 30 feet above the hearth. Chimney supports are required if the vertical height exceeds 30 feet with 11CF chimneys. Locate chimney supports at ceiling holes or other structural framing at 30 foot heights. Spacing between chimney supports **must not** exceed 30 feet. Use Chimney Support Model 11CS. **(NOTE: The 11CS can not be mounted directly to the fireplace.)** Support provided by elbow straps fulfills the support requirement only if they are spaced as previously described. (A chimney support is 2½" long when installed.)

Angled chimney runs require a support every six (6) feet in addition to the elbow straps. Chimney supports are used for this function. (Fig. 9)

Chase Installation

A chase is a vertical boxlike structure which encloses the fireplace and/or chimney. Chases are typically built on the outside of the house with fireplace opening cut into the outer wall of a room. (Page 5, Fig. 5)

If you need help in determining fireplace location or how the chimney system should be run, contact your Vermont Castings, Majestic Products dealer for assistance.

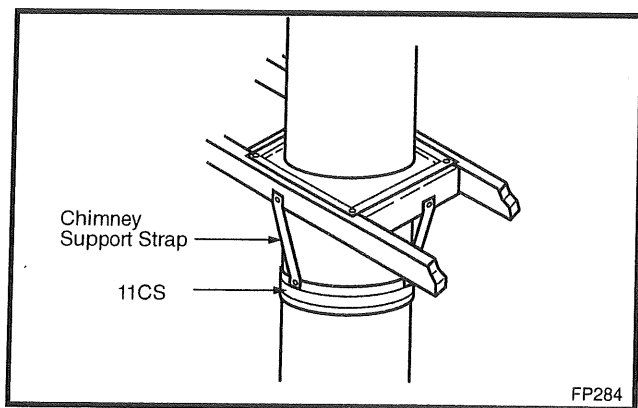


Fig. 9 Chimney support installation

Installation

Insulating Fireplace Enclosure for Cold Climates

If you live in a cold climate, it is not required but **highly recommended** that you insulate the fireplace enclosure to eliminate cold air penetration as much as possible.

Insulate base of fireplace with a noncombustible insulation rated for a minimum of 300° F. Insulating is **very important** for outside wall installations over a concrete slab. If fireplace is installed on a platform, insulation should be placed on top of the platform **before** fireplace is set. (Fig. 10)

When a fireplace is installed in a chase or on an outside wall, enclosure should be treated like any outside wall in a home. Insulation should be installed on the inside wall as well as the outside wall(s). In a chase, it is also a good idea to install a firestop at the first ceiling level above the fireplace and enclose the chase with sheeting material. Insulation may then be installed above sheeting material to assure the space around the fireplace is totally protected. (Fig. 5)

CAUTION: WHEN INSTALLING A FIREPLACE IN AN INSULATED ENCLOSURE, BE SURE ALL REQUIRED AIR SPACES ARE MAINTAINED.

(Page 15, Fig. 19)

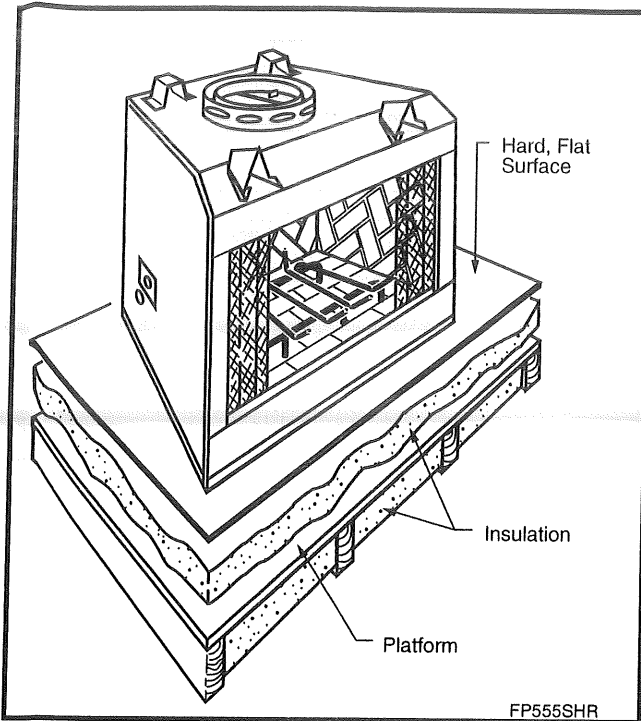


Fig. 10 Insulating between platform and fireplace.

Framing

Framing can be constructed before or after the fireplace is set in place, however, most installers build the frame before setting the fireplace.

Frame fireplace with 2 x 4 lumber or heavier materials. Refer to framing dimensions in Figures 1 - 4 for basic fireplace specifications.

NOTE: Framing should be positioned to accommodate wall covering and fireplace facing material.

Firebrick Installation

For the SHR52 model the firebrick is packed separately and must be installed in the fireplace.

You will need four (4) firebrick, three (3) brick retainers, a phillips head screwdriver, and the grate.

The side and rear firebrick each have a notch in the top of the brick panel. The side firebrick have a notch in the lower front side of each panel. The herringbone pattern faces out of the fireplace always. (Fig. 11)

NOTE: The screens and screen rod smoke baffle assembly must be removed and set aside before proceeding. Remove the two screws holding the screens place. There are seven screws holding the screen rod smoke baffle in place.

1. Remove the three brick retainers from the combustion dome by removing the phillips screws, set aside.
2. Set the left firebrick in place on the left side of the fireplace.

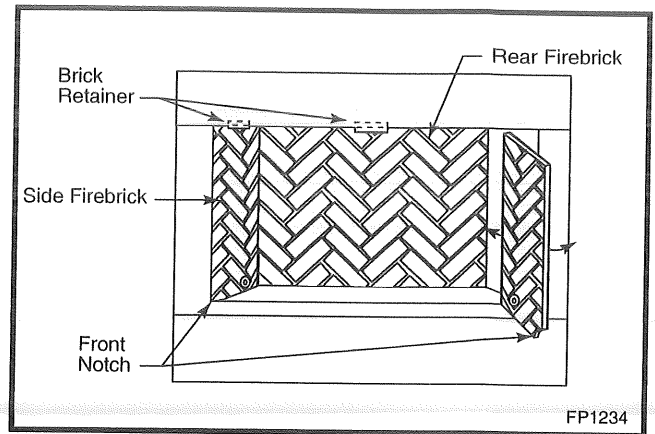


Fig. 11 SHR52 Firebrick installation.

3. Slide the rear firebrick back into the left corner behind the end of the left firebrick. Push both panels back as far as possible into the left side and corner.
4. Swing the right side of the back firebrick into place. Attach the left brick in place using a brick retainer at the top and phillips screw removed earlier.
5. Slide the right firebrick into place as far back as possible. Attach rear firebrick and right firebrick using brick retainers and phillips screws removed earlier.
6. Slide the hearth firebrick into the grate clip. (Fig. 12) The grate will be used as a handle to set the hearth firebrick in place.
7. With the hearth firebrick securely in place in the grate clip, carefully lift the hearth firebrick into the fireplace, set the rear of the firebrick down, then slide back to meet the rear firebrick. Gently set the front of the firebrick in place. Replace screens and screen rod smoke baffle assembly.

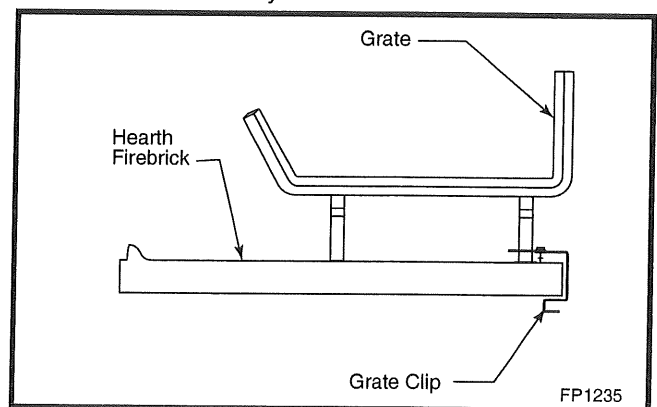


Fig. 12 Hearth firebrick in place in grate clip.

Chimney Set-up

Since you have already preplanned the chimney run, you should know exactly how the installation is to be accomplished — how much pipe is required, the number of elbows, if any, and type of termination to be used.

CAUTION: REPORT TO YOUR DEALER ANY PARTS DAMAGED IN SHIPMENT, SPECIFICALLY CHECK THE END CONNECTION OF CHIMNEY SECTIONS AND ELBOWS.

NOTE: SHR Series Fireplaces must use Majestic model 11CF, 11 inch, 2 wall chimney systems. The installation procedure described in this manual applies **only** to the 11CF system, chimney components may not be mixed.

Straight-Up Chimney Installation

To mark the centerline of the flue, put the fireplace in final position and measure out from the wall $11\frac{1}{8}$ ". Mark a spot on the ceiling directly above the fireplace. Draw a line parallel to the back wall through this mark. (Fig. 13)

Using a plumb bob positioned directly over center point of fireplace flue collar, mark the ceiling to establish the chimney center point. (Fig. 13)

Offset Installation

In order to clear an obstruction, it may be necessary to offset chimney from vertical. This is accomplished by using Majestic elbows. Use the *30° Offset Elbow* table on Page 6 to determine proper offset and parts required.

Each offset requires two (2) elbows. The second elbow is equipped with support straps. It is very important to install the second elbow in each offset as close to the ceiling or support as possible so the elbow straps can be secured to framing members to help support the weight of the chimney.

Determine offset distance of your chimney arrangement from centerline of fireplace to centerline of chimney where it is to pass through ceiling.

Locate center point of the chimney on ceiling as though a straight up chimney arrangement is to be used. Measure your offset dimension from straight up chimney center point on ceiling.

Ceiling Chimney Hole/ Possible Obstructions

The size of the hole in ceiling will vary with the angle at which the chimney passes through ceiling.

Drive a nail up through ceiling at marked chimney center point. Go to floor above and see where hole will be cut. Check to see where existing ceiling joists and other possible obstructions are located...i.e. wiring, plumbing etc... If necessary, reposition chimney and/or fireplace to avoid obstructions.

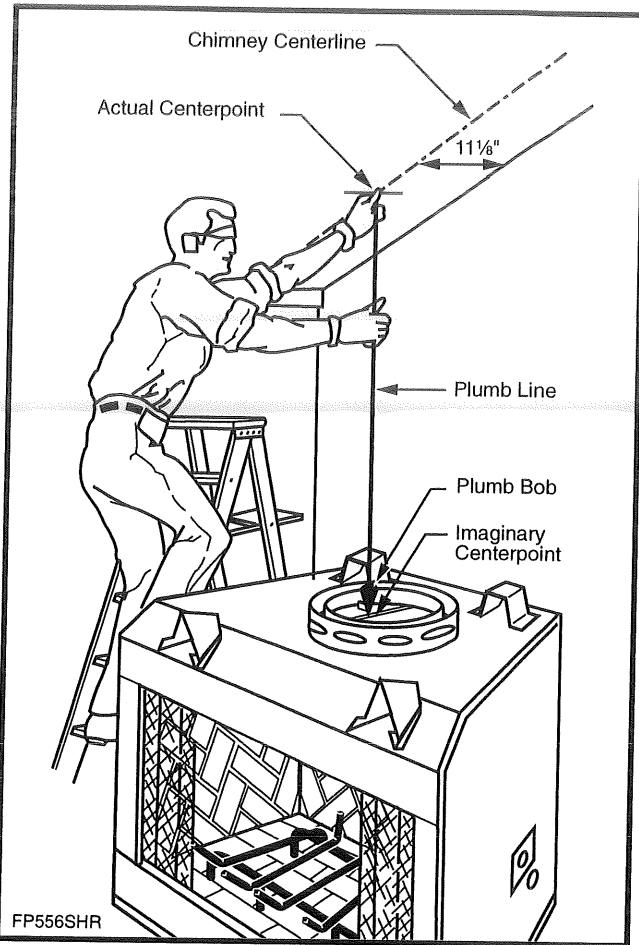


Fig. 13 Locate centerline of chimney with plumb line.

Cutting the Hole

Cover fireplace collar opening and cut proper sized chimney hole in chimney. (Fig. 14 & 15)

Framing the Ceiling Hole

Frame the ceiling chimney hole as shown in Figure 15. It is good practice to use framing lumber that is the same size as the ceiling joists; this is a requirement at attic level.

The following table gives firestop spacer model numbers:

Size of Chimney	Angle of Chimney at Ceiling	
	Vertical	30°
11" CF 2-Wall	FS2A 17½" x 17½"	FS6A 17⅞" x 29⅝"

Fig. 14 Ceiling chimney hole size necessary for installing firestop spacer.

The **inside dimension** of the frame **must be** the same as the hole size selected from Figure 11 in order to provide the required 2 inches of air space between the outside diameter of the chimney and the edges of the framed ceiling hole.

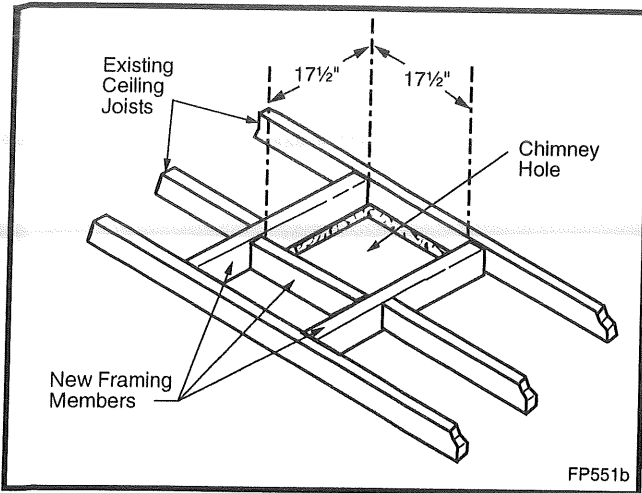


Fig. 15 Typical frame for ceiling chimney hole

Positioning, Safety Strips, Securing the Fireplace

Slide fireplace into position.

Lift the fireplace front slightly and slide the metal safety strips under front bottom edge about 1 1/2 inches, allowing the remainder to extend in front of firebox. Overlap strips at least 1/2 inch to provide a positive joint. (Flat safety strips are packed with fireplace.) (Fig. 16)

Safety strips are used to ensure that any combustible materials in front of the fireplace are protected even though a noncombustible hearth extension is required.

If fireplace is to be elevated above the floor, a "Z" shaped metal safety strip must be fabricated and used to protect combustible surfaces in front of the fireplace. This "Z" shaped safety strip is not provided but must be fabricated of metal with each horizontal leg at least 1 1/2 inches wide and equal in length to the metal strips provided with the fireplace.

Note: Safety strips are not required over noncombustible floors where all supports at the base of the fireplace are noncombustible.

Four (4) nailing flanges are supplied with the fireplace (found on the fireplace hearth). To level the box and secure it firmly in place, remove the nailing flanges from the hearth and install at the sides of the fireplace as shown in Figure 17.

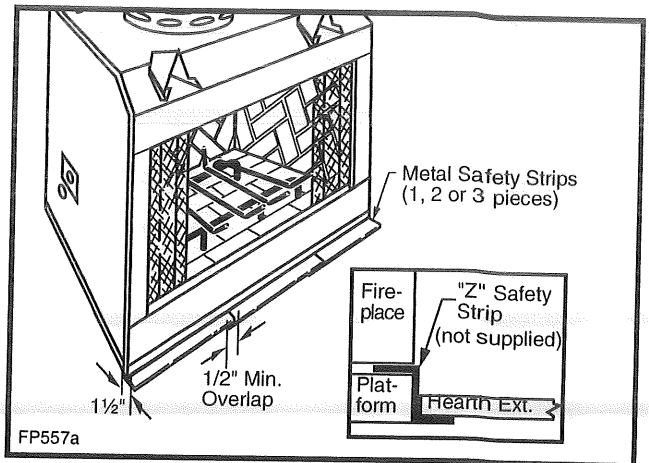


Fig. 16 Safety strip installation.

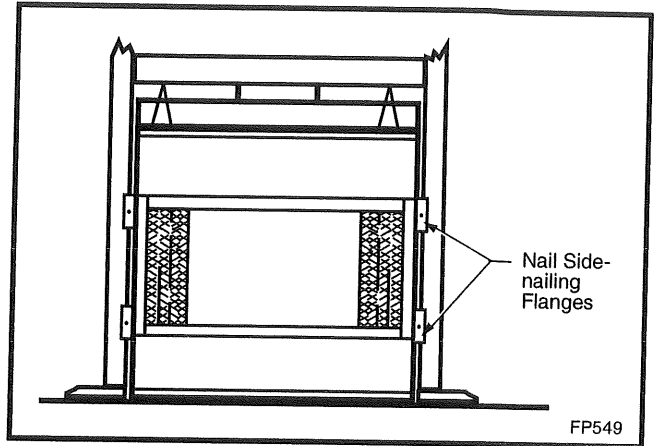


Fig. 17 Fasten fireplace in position.

Installing Outside Air Kit

An outside air damper assembly is installed in all SHR Series Fireplaces. If desired, or if local codes mandate the use of an air kit, then an AK-MST is required to complete the installation (from air damper assembly to the outdoors). If the outside air kit is to be used, the AK-MST **MUST** be installed **BEFORE** the fireplace is enclosed. Refer to the AK-MST instructions for field installation.

Installing the Chimney System

Start by attaching the first chimney section to the collar on top of the fireplace.

Install the pipe as pictured in Figure 18. When you get a good lock, you will hear the pipe clearly snap together. Once sections are snap-locked in place, it is extremely difficult to get them apart. **Make sure the pipe is firmly snapped and locked together as each pipe section is mounted.**

When installing elbows, only outer pipe will snap-lock. Middle pipes simply slide into position. Be sure to always attach straps on upper elbow to a structural framing member. (Fig. 19)

Continue installing the pipe as required until pipe is installed up through the ceiling. At this point, you must install a firestop spacer.

Installing the Firestop Spacer in the Ceiling Hole

A firestop spacer is used to keep pipe spaced properly and required for safety.

Nail the firestop spacer (at each corner) to the framing members of the ceiling hole. **Note:** A firestop spacer is not required at the roof.

Hole sizes listed in Figure 14 for angled firestop spacers provide minimum required air space to chimney pipe for ceiling thickness up to eight (8) inches. When combined thickness of ceiling material, ceiling joists and flooring material exceeds eight (8) inches, adjustments must be made in framing to assure that minimum air spaces to chimney are maintained.

Proper Firestop Spacer Installation

Figure 20 shows different installation procedures for both an area that *is* an attic and an area that *is not* an attic.

If the area above the ceiling **is not** an attic, position the firestop spacer with the flange on the ceiling side and the angled portion extending up into the hole.

If the area above the ceiling **is** an attic, position the firestop spacer with the flange on the top of the framed hole and the angled portion extending down into the hole.

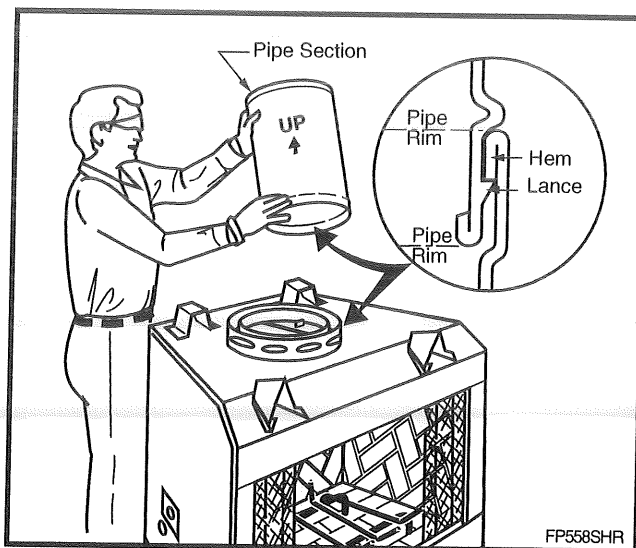


Fig. 18 Install pipe, listening for the snap-lock to fasten.

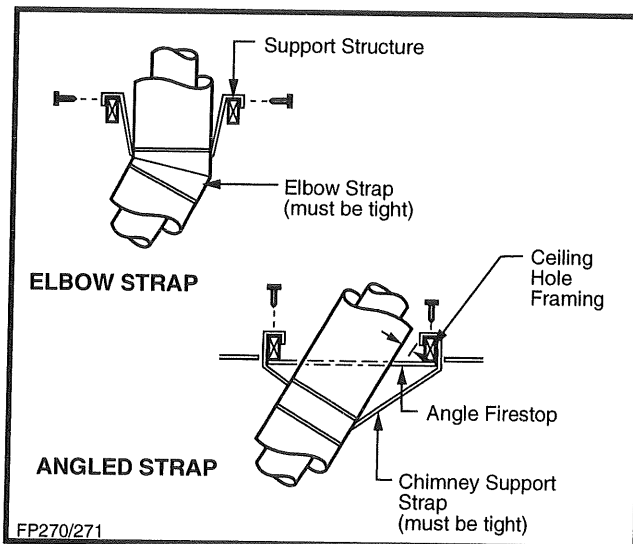


Fig. 19 Attach straps to a structural framing member.

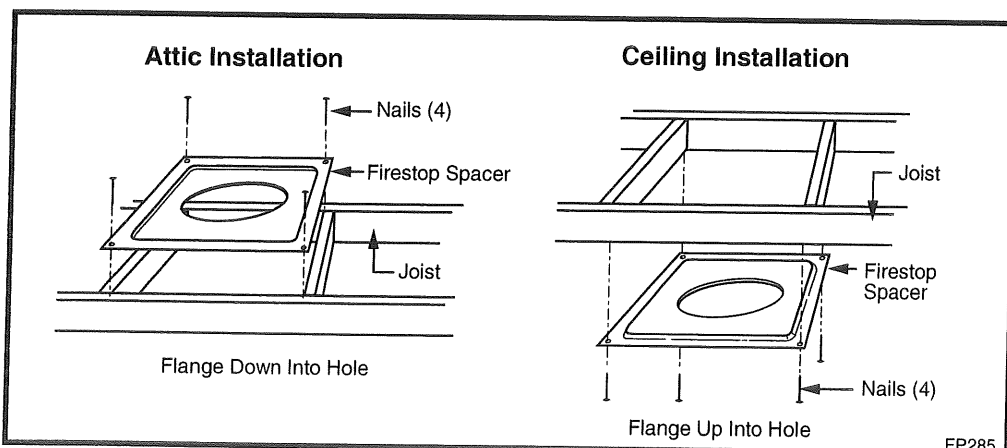


Fig. 20 Installing firestop spacer.

Firestop spacers are not available for, nor are they required on, vertical walls.

The Majestic Fireplaces' chimney components have been tested and approved with the area where the outer pipe slides through the firestop spacer sealed with a noncombustible caulk if desired, or left completely open with no sealant.

Continue Installing Pipe to Complete Run

Continue attaching pipe sections to complete system to next level always being careful that the pipe is firmly snap locked in place before proceeding to next pipe section.

Chimney Supports

If chimney supports are required, they are installed the same as elbows. Nail chimney support straps to adjacent structural framing, as shown in Figure 8, Page 8. Bend straps as necessary and make sure they are secure so they will support the weight of the chimney. A chimney support is 2½" long when installed. Consider this dimension when determining how many straight chimney sections are needed.

Note: Chimney supports are generally used in long runs in a chase installation.

Additional Ceilings

If you encounter additional ceilings, repeat same steps required for first ceiling installation. Refer to firestop illustration on Page 12, Figure 20.

Penetrating the Roof

Run pipe to roofline. Since chimney system must be vented to the out-of-doors, you **must** use an approved Vermont Castings, Majestic Products termination.

If a chase is used, refer to the installation manual provided with the termination cap.

Locate Chimney Centerpoint on Roof

Use same procedure detailed in locating center point of the flue system.

Drive a nail up through roof at the center point. This will determine center point on outside of the roof.

Cut and Frame Roof Hole

Size of roof hole varies with the type of chimney termination installed. Refer to installation instructions provided with Vermont Castings, Majestic Products chimney termination to find correct size roof hole.

There must be a 2 inch air space between outermost portion of chimney sections and any adjacent combustible surfaces. (Combustible surfaces include burnable materials such as: ceiling members, joists, flooring, combustible insulation and roof structures.)

WARNING: DO NOT PACK REQUIRED AIR SPACES WITH INSULATION OR OTHER MATERIALS.

Mark an outline of the roof hole around the centerpoint of the nail. **NOTE:** Hole dimensions given in the chimney top installation instructions are **horizontal** dimensions; therefore, the hole size must be marked on the roof accordingly.

Cover the opening of the installed chimney so debris cannot get into the system.

Cut and frame the hole. It is good practice to use framing lumber that is the same size as the rafters. Install the frame securely because the chimney top and flashing anchored to the frame must be able to withstand heavy winds.

Install Remainder of Chimney Sections

Since you have already preplanned the height of your termination according to the *Ten Foot Rule*, continue to install pipe to the predetermined height.

Check the chimney top installation instructions for details on how high above the roof top the chimney sections (all pipes) should extend.

Installing Top Housing or Termination

Follow the installation instructions provided with the Vermont Castings, Majestic Products chimney termination you have selected.

Installing Chimney in a Chase

Refer to Page 5, Figure 4 for an illustration of a typical chase installation.

CAUTION: Treatment of firestop spacers and construction of chase may vary with type of building. These instructions are not a substitute for local building codes. You **must** check your local building codes to determine specific requirements for your city or state. **NOTE:** Other building materials may be required in addition to Vermont Castings, Majestic Products Firestop Spacers.

Finishing

CAUTION: All joints between the finished wall and the fireplace surround (top/sides) must be sealed with noncombustible material to prevent cold air leakage into the room. Only noncombustible material may be applied to the facing of the fireplace surround. (Black painted area) (Fig. 21)

The SHR52 has a framing shield between the front standoffs that may be used to attach finish material. (Fig. 23)

Finish Wall

Finish the wall with material of your choice. **Do not install a combustible mantel shelf less than 12" (305mm) above the front opening.** If a combustible material is used below a flat mantel shelf, consult your local building codes for minimum clearance from top of fireplace opening to bottom of mantel shelf.

All joints (top, bottom and sides) where wall or decorative facing material meets fireplace surround must be completely sealed with a noncombustible material. (Figs. 22 - 26)

NOTE: No side wall protection is required for fireplaces installed at 45° to two (2) side walls (corner installation).

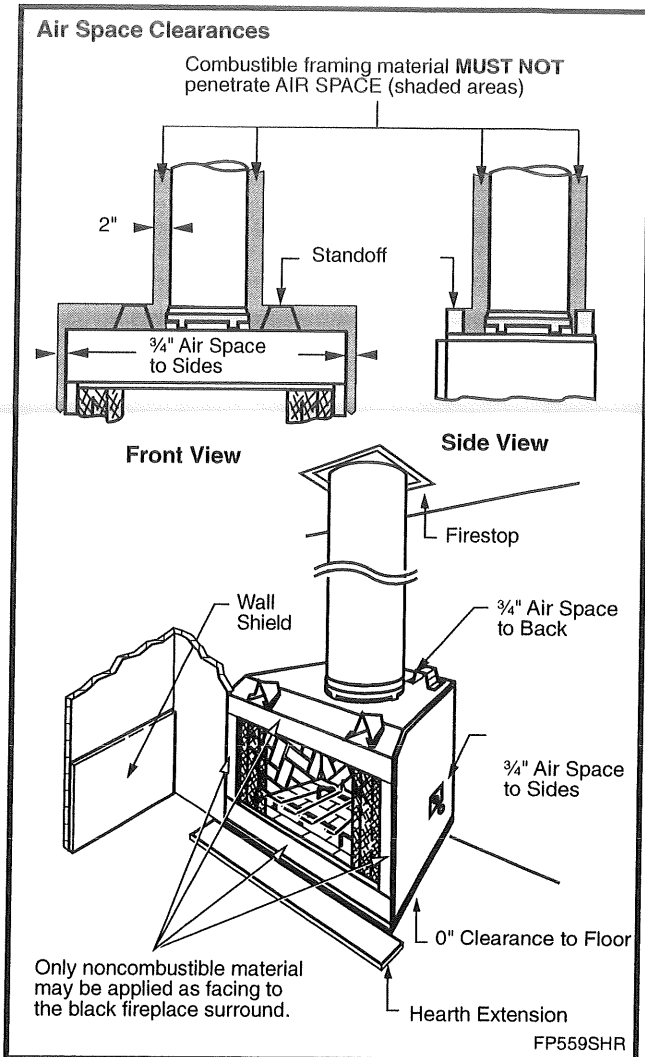


Fig. 21 Minimum clearances to combustibles.

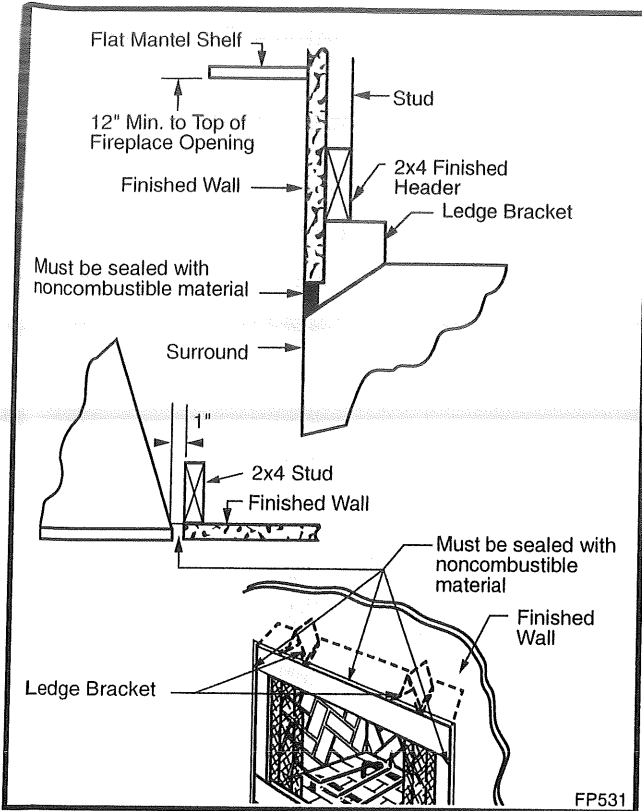


Fig. 22 Fireplace surround flush with finished wall.

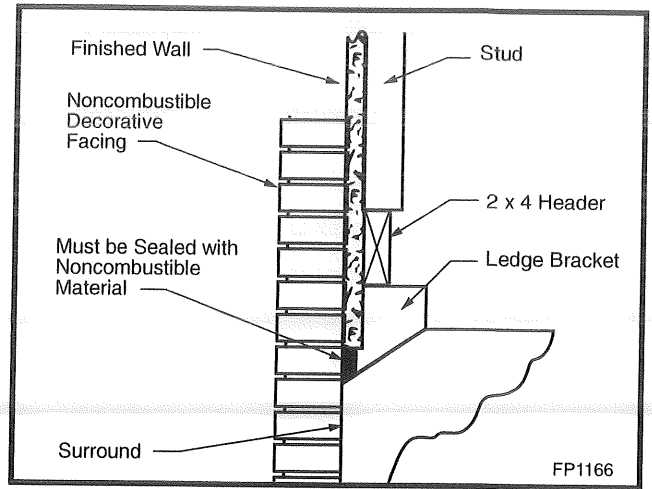


Fig. 24 Fireplace surround flush with finished wall.

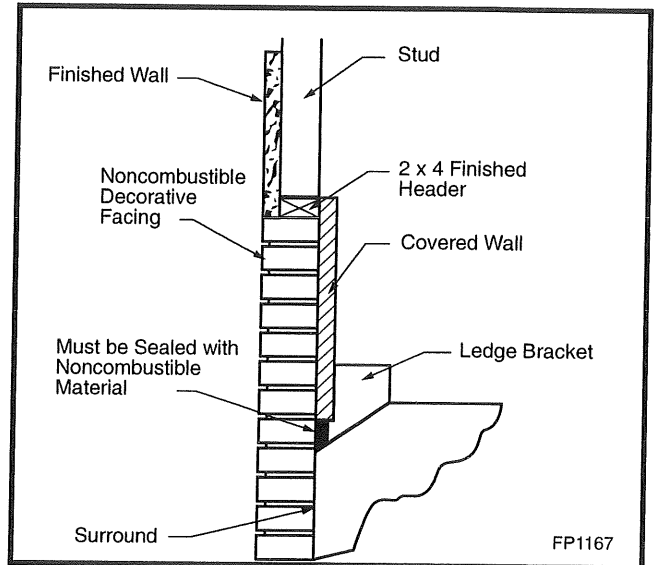


Fig. 25 Facing on fireplace surround flush with finished wall.

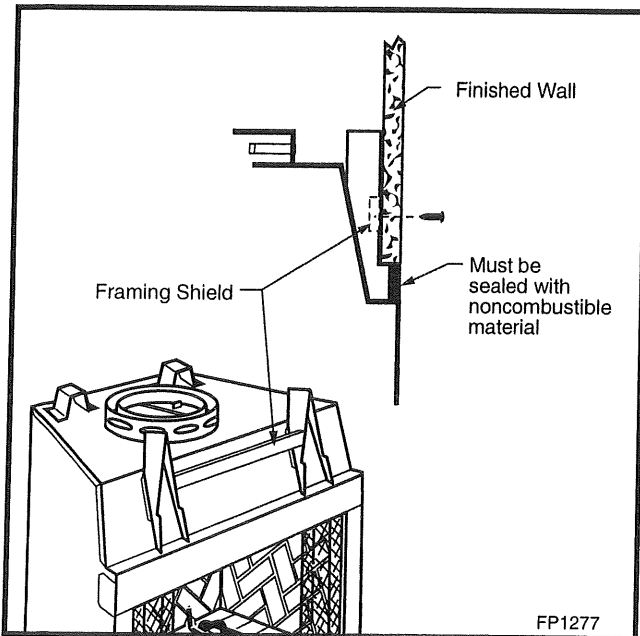


Fig. 23 SHR52 framing shield may be used to attach finish material.

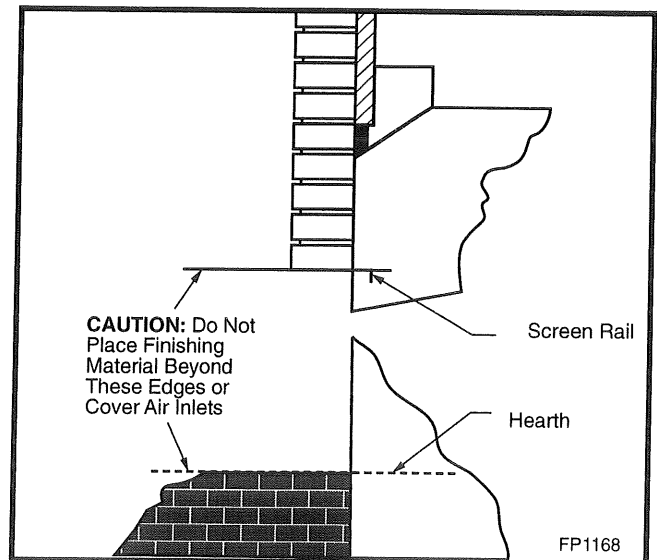


Fig. 26 Finishing front of fireplace.

Side Wall Protection

Adjacent combustible side walls that are within dimensions shown in Figure 29 of fireplace opening must be protected with Wall Shield Model SP40 or a specifically built wall shield described in Figure 28.

The special wall shield design described in Figure 25 is an alternate method of adding protection to side walls and can be used in place of the SP40 with the same wall clearances specified for the SP40. Rt must =1.85 minimum.

Examples of wall shield insulation:

1. Manville - CERAFORM 126, K=.27, 1/2 inches thick
2. Majestic - EH2416, K = .458, 1 inch thick required.

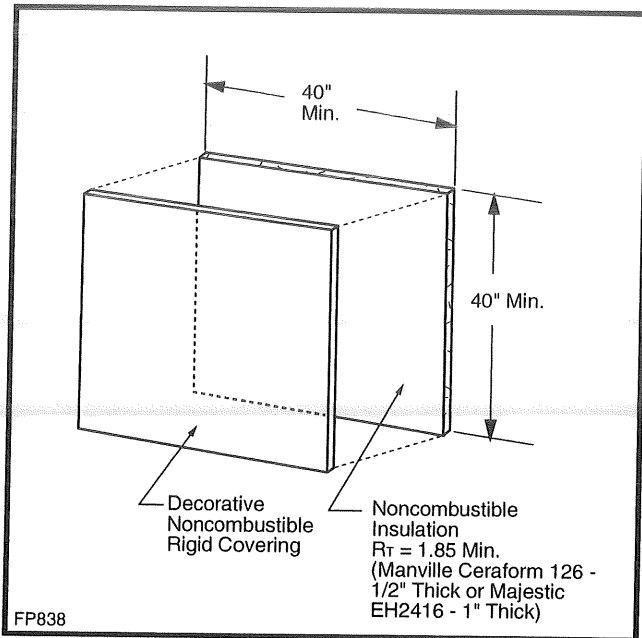


Fig. 28 Noncombustible wall shield dimensions.

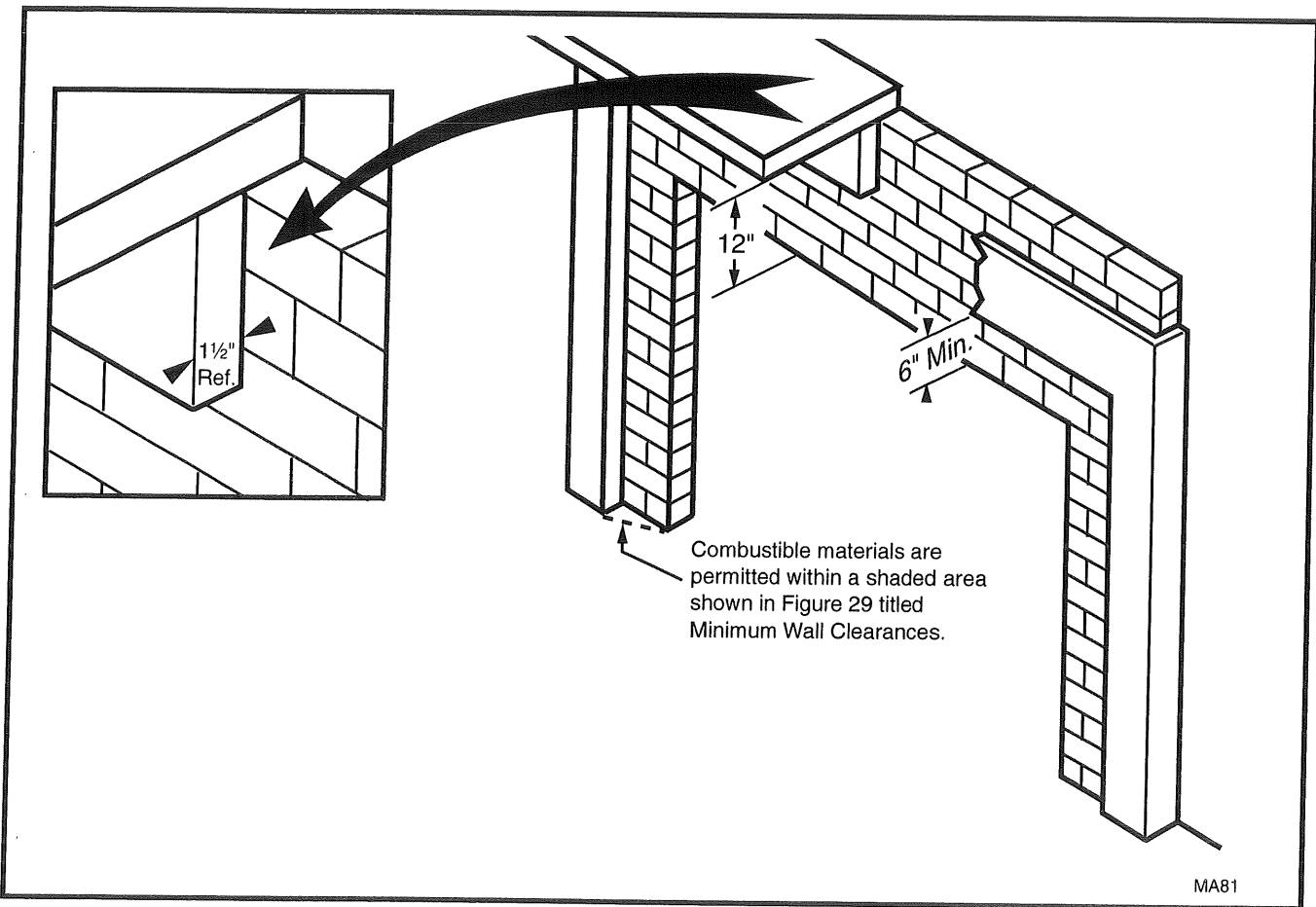


Fig. 27 Combustible mantel clearances.

Hearth Installation

A hearth extension is required to protect a combustible floor in front of the fireplace. Refer to Figure 29 for minimum dimensions and mounting detail.

NOTE: Hearth Extension must not cover the air inlet opening of a fireplace.

The hearth extension described in Figure 29 must be a durable noncombustible material with a minimum (total) Rt value of 1.09; refer to Figure 30 for examples. The overall height (above a combustible floor), depth and width must be as indicated, with the extension centered to the fireplace opening.

The top of insulation must be covered with a noncombustible decorative covering or a piece of .018" minimum sheet metal, to protect hearth extension material. (Fig. 29)

Secure the hearth extension to the floor to prevent shifting, using trim molding or other similar means at three (3) outer edges. Seal crack between the fireplace hearth and hearth extension with a noncombustible material. (Figs. 29, 31, 32, 33)

WARNING: HEARTH EXTENSION MUST BE INSTALLED IN ACCORDANCE WITH FIGURE 26.

Alternate noncombustible materials may be used providing the (total) thermal resistance (Rt value) of the alternate material employed is greater than or equal to $R = 1.09$. Thermal resistance (R) or thermal conductivity (K), may be obtained from manufacturer of the material. Factors are related by the formula $K = 1/R$. (Fig. 29)

T = given thickness

R = thermal resistance for a given thickness (T)

K = thermal conductivity

Noncombustible material with a lower R value may be used, provided thickness of material is sufficiently greater to maintain an equivalent (total) thermal resistance (Rt).

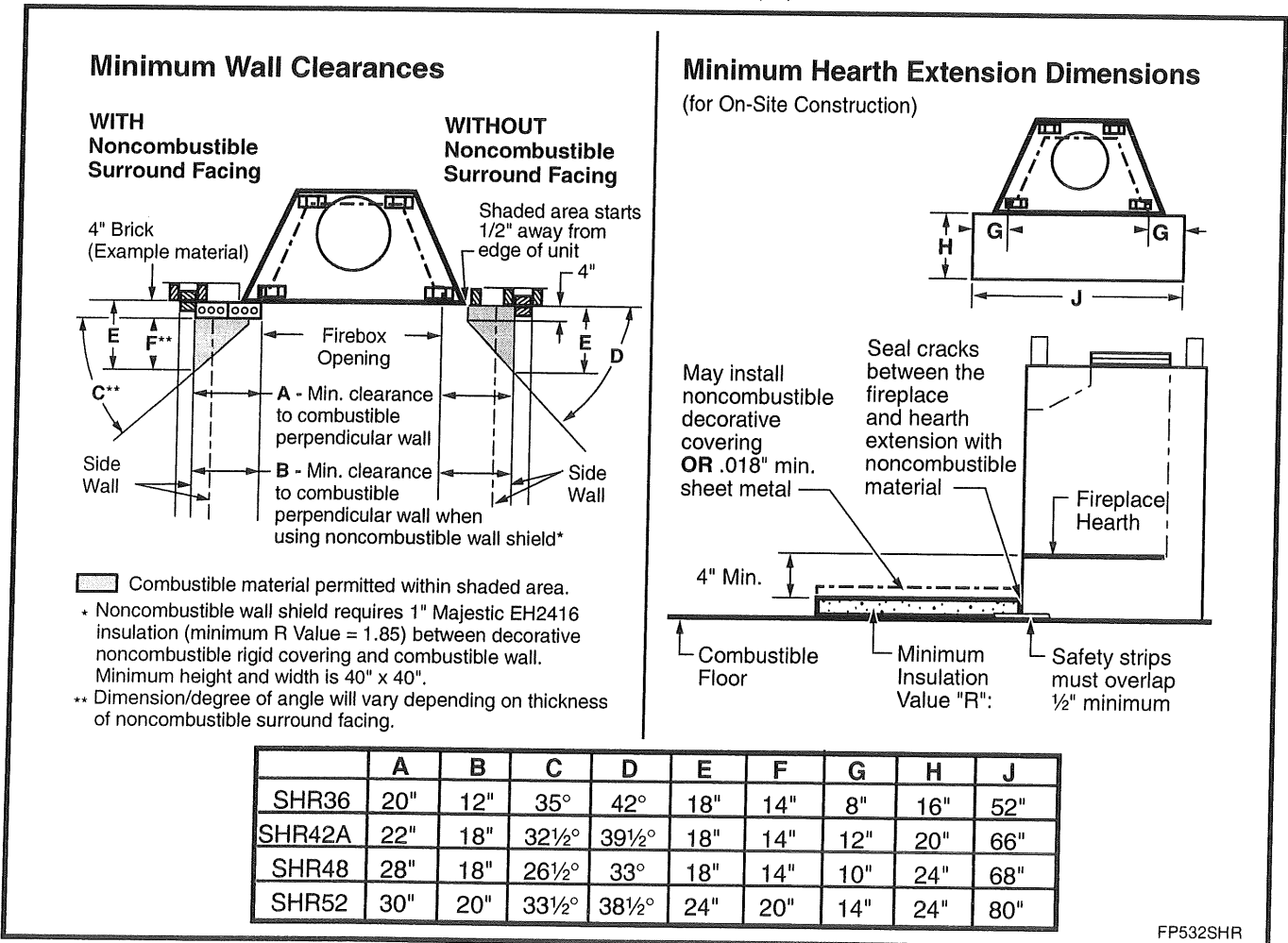


Fig. 29 Combustible side wall protection and hearth extension dimensions.

**Example of Determining
Hearth Extension Equivalents**

To determine the thickness required for any new material:

$$\text{NEW required thickness} = \frac{\text{K of new material (per inch)} \times \text{thickness of listed material}}{\text{K of listed material (per inch)}} \times \text{thickness of listed material}$$

Example for Common Brick

$T(\text{new}) = 5.0/0.458 \times 0.50 \text{ in.} = 5.46 \text{ in.}$ (new required thickness).

Common Materials And Factors

Material	K*	R	Minimum Thickness
EH2416 (Vermont Castings, Majestic Products)	0.458	1.09	0.50 in.**
Common Brick	5.0	0.10	5.46 in.**

R Value is for 1/2 inch.
* Units of K = BTU/SQ FT/HR/BF/IN
** Thickness of Listed Material

FP533ADD

Fig. 30 Hearth extension material factors.

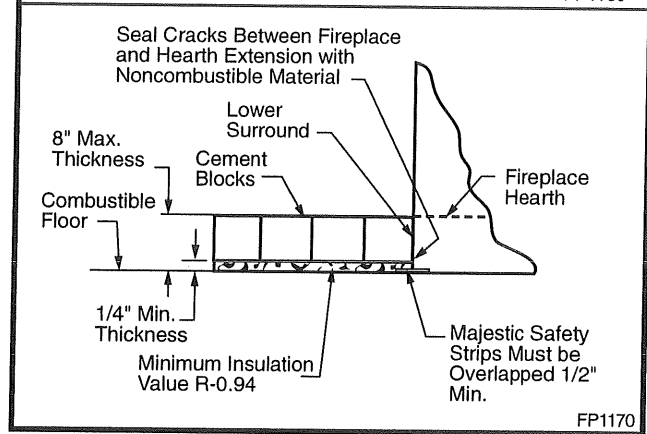
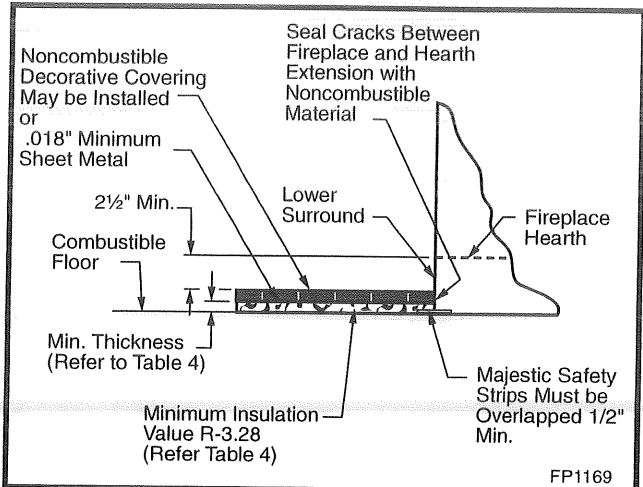


Fig. 31 Protection of adjacent combustible side walls and hearth extension dimensions.

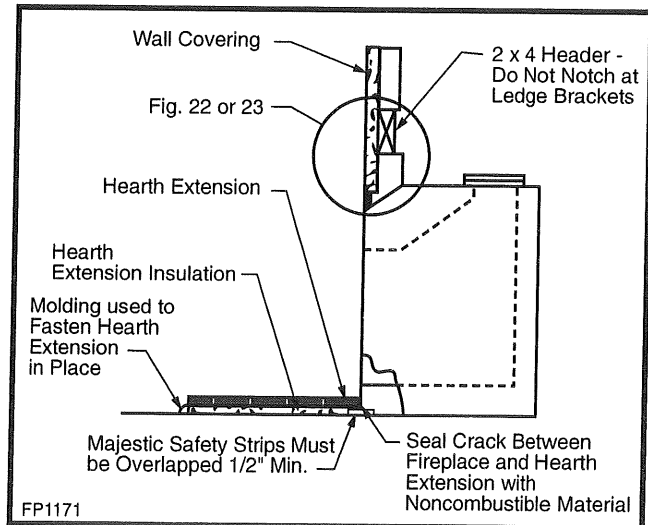


Fig. 32 Sealing detail.

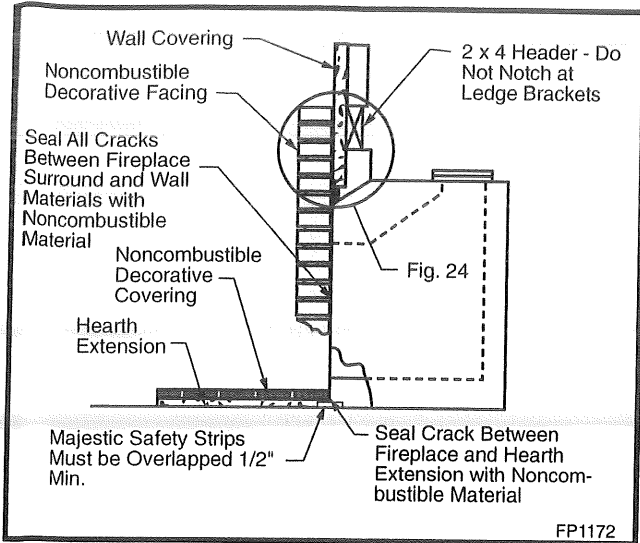


Fig. 33 Sealing detail.

Installing Line for Gas Logs

Vermont Castings, Majestic Products fireplaces are designed to accept a 1/2 inch gas line for installation of an approved gas appliance. (Vermont Castings, Majestic Products manufactures a wide variety of gas logs for use in Vermont Castings, Majestic Products fireplaces.)

Be sure to have the appliance installed in accordance with building codes.

Gas connection may enter from either left or right side of the fireplace.

Locate appropriate gas line in the outer casing of fireplace and remove insulation from gas line tube. (Fig. 34)

From inside the fireplace, locate the knockout on the firebrick -- be sure you are on the appropriate or "gas line" side of the fireplace. Using a flat bladed screwdriver or small chisel and hammer, carefully tap around the knockout until it loosens and falls out.

Install 1/2 inch certified gas pipe through opening. After gas pipe installation is complete, use insulation that was removed from gas line tube to repack space around the pipe. Material should be inserted from outside of the fireplace and packed tightly to totally seal between the pipe and tube.

Note: Gas pipe should not come in contact with any wood structures until it has reached a point at least one (1) inch away from fireplace side.

NOTE: When installing an ANSI Z21.11.2 ventless appliance, the finishing material used for the mantel must be rated at 250°F or greater.

BTU input of a gas appliance installed in fireplace should be rated less than 100,000 BTU/Hr.

Gas pipe installation is intended for connection to a decorative gas appliance only when (1.) incorporating an automatic shutoff device and (2.) complying with the Standard for Decorative Gas Appliances for Installation in Vented Fireplaces (ANSI Z21.60) or CSA draft requirements for Gas-Fired Log Lighters for Woodburning Fireplaces (Draft No. 4, August 1993).

Decorative gas appliance should be installed in accordance with the National Fuel Gas Code, ANSI Z223.1 (latest edition).



CAUTION: WHEN USING DECORATIVE GAS APPLIANCE, FLUE DAMPER MUST BE SET IN FULLY OPEN POSITION. IF YOU HAVE GLASS DOORS ON THE FIREPLACE, THEY MUST ALSO BE FULLY OPENED.



WARNING: DO NOT OPERATE AN UNVENTED GAS LOG SET IN THIS FIREPLACE WITH THE CHIMNEY REMOVED.



WARNING: WHEN INSTALLING AN UNVENTED GAS LOG SET, THE VERMONT CASTINGS, MAJESTIC PRODUCTS MODEL AH3244BK OR AH3244PB 4" ADJUSTABLE HOOD MUST BE USED.

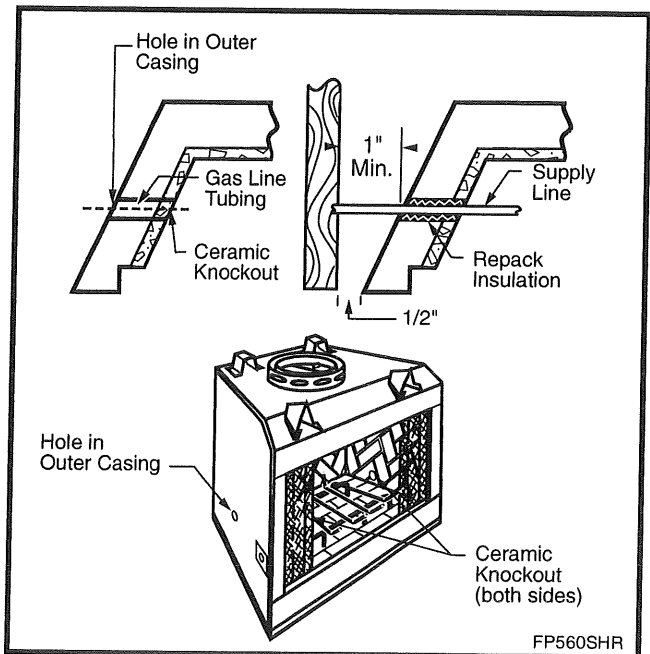
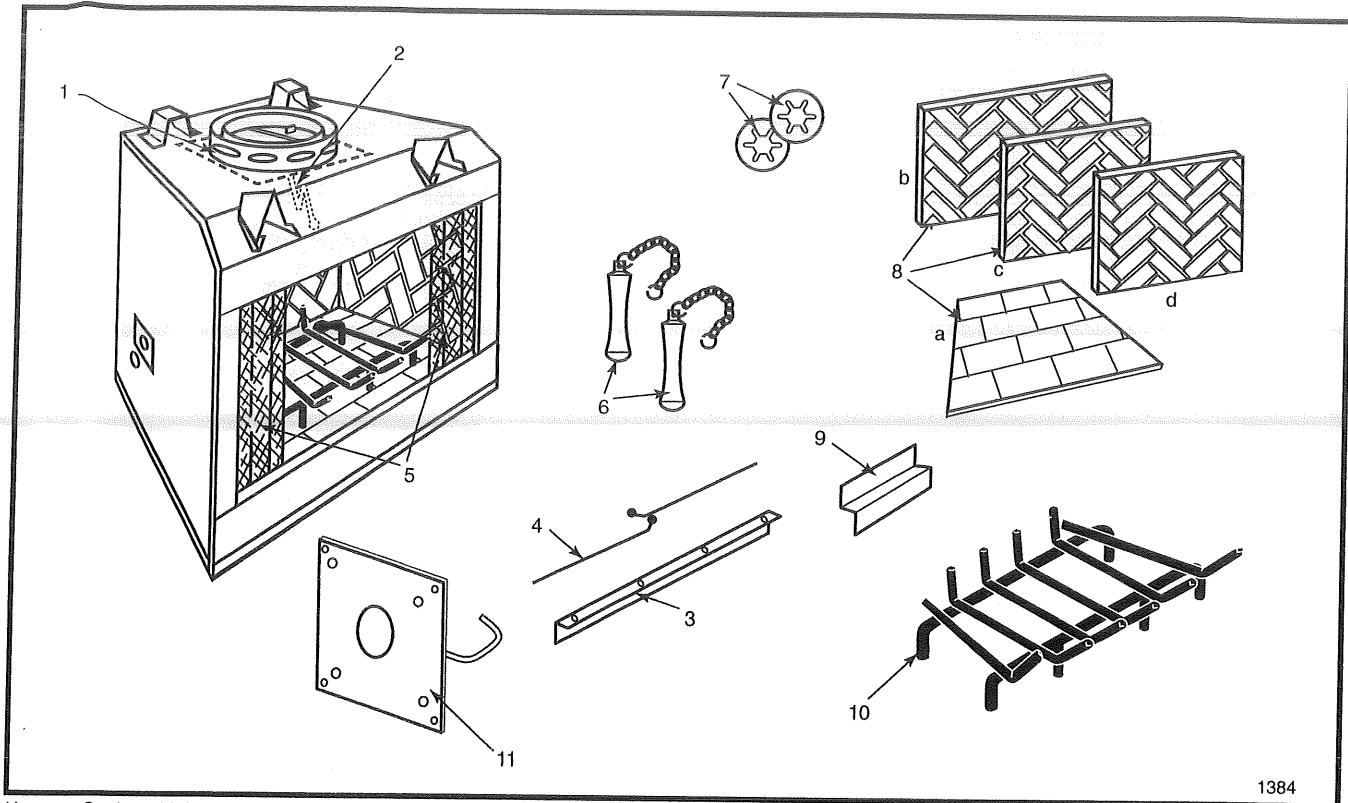


Fig. 34 Gas line access.

If installing an unvented gas log set, refer to statement below:

Only unvented gas log sets which have been found to comply with the Standard for Unvented Room Heaters, ANSI Z21.11.2, are to be installed in this fireplace.



1384

Vermont Castings, Majestic Products reserves the right to make changes in design, materials, specifications, prices and discontinue colors and products at any time, without notice.

SHR36/42A/48/52 Woodburning Fireplace

For units FH30RO, GH40RO, HH30RO, IH10RO

Item/Model Number	SHR36	SHR42A	SHR48	SHR52
1. Damper Weld Assembly	RP210	RP210	RP210	RP210
2. Damper Handle	20001418	20001418	20001418	20005322
3. Screen Rail	20001429	20006021	20001431	20005299
4. Screen Rod (two per fireplace)	7554181	7554199	20001428	20002790
5. Screen (two per fireplace)	7554295	20001723	20001723	20005278
6. Screen Pull (two per fireplace)	5584139	5584139	5584139	5584139
7. Push Nut (two per fireplace)	7512167	7512167	7512167	7512167
8a. Firebrick - Hearth	20001272	20005611	20001172	20005303
8b. Firebrick - Back	20004165	20005610	20004147	20005293
8c. Firebrick - Left Side	20004166	20005612	20004154	20005302
8d. Firebrick - Right Side	20004167	20005613	20004148	20005304
9. Firebrick Retainers (three per fireplace)	20001432	20001432	20001432	20001432
10. Basket Grate	20004203	20004203	20004311	20005433
11. O.S.A. Assy.	20003076	20003076	20003076	20005762

Accessories

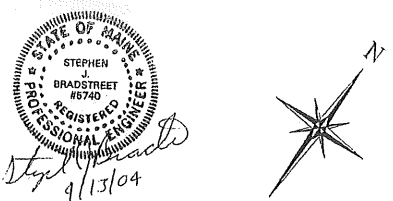
The following accessories for this appliance are available from your local Vermont Castings, Majestic Products distributor. Should you need additional information beyond what your distributor can furnish, contact: Vermont Castings, Majestic Products, 410 Admiral Blvd., Mississauga, Ontario, Canada L5T 2N6 Attn: Technical Services.

CAUTION: This fireplace and chimney assembly is a highly engineered system, and, as such, must be operated only with Vermont Castings, Majestic Products approved components. If you use an unapproved component to make any modifications, you may create a possible fire hazard and will void the Vermont Castings, Majestic Products warranty. In addition, such action may void the coverage provided by the owner's insurance.

Accessory	Description	Model No.
Glass Enclosure Kit	Designed to enclose the fireplace opening with glass doors allowing the fire to remain visible. Available in Polished, Brushed Brass, Black and Pewter	36SHGDKDP/BB/BK/S 42SHGDKTDP/BB/BK/S 48SHGDKDP/BB/BK/S 52SHGDKDP/BB/BK/S
Outside Air Kit	Provides outside air for fuel combustion in the firebox. This accessory must be installed before fireplace is installed.	AK-MST
Hearth Extension	Located on the floor in front of fireplace to protect the floor from heat, hot embers, ashes, etc.	EH2416
Hearth Patching Kit	Used to patch cracks in hearth.	HPC1
Wall Shield	Used to protect walls adjacent to the fireplace.	SP40
Firestop	Required at each floor level and attic on multi-story installation.	FS2A (straight flue) FS6A (30° inclined flue)
Chimney Support	Used to support the chimney at each 30 feet of vertical height above the hearth and at every 6 feet of inclined chimney run. Each support adds 2½" to chimney length.	11CS (11" flue)

LEGEND

- Iron pin found
- ⊙ Copied 5/8" rebar to be set
- ⊕ Utility pole
- ⊗ Coniferous Tree/Shrub
- ⊙ Sewer manhole
- ⊕ Water valve
- ⊙ Catch Basin
- ⊙ Drain manhole
- Property line
- - - Right of Way
- - - Edge of pavement
- - - Edge of concrete
- Curb
- - - Stockade Fence
- - - Plan lot lines - references 2 and 3
- - - Underground water line
- - - Sewer Line
- - - Storm Drain
- ⊙ Plan lot number
- ▭ Existing building
- 1' contour
- 5' contour

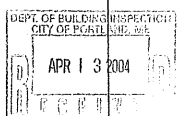


STEPHEN J BRADSTREET SEALS THIS PLAN FOR SITE DESIGN ONLY. BOUNDARY AND EXISTING SITE TOPOGRAPHY WERE PROVIDED BY TITCOMB ASSOCIATES. References:

- 1) "Standard Boundary Survey Luke, Haskell, and Woodbury Streets Portland, Maine," made for Diversified Properties by Titcomb Associates dated 4/10/01, Job # 201026, File # 8187.
- 2) "Plan of Half Acre Homes," surveyed for Almon F. Hill - Elmer E. Parmenter - Norman True, made by E.C. Jordan and Co. Civil Engineers dated April 1915 and recorded in Plan Book 13, Page 2.
- 3) "Plan of Lenoxdale," made by John McClintock, dated May 1906 and recorded in Plan Book 11, Page 15.
- 4) "Standard Boundary Survey, Plan of Land on Ninth and Farragut Streets in Portland Maine," made for One Ninth Street Associates by Daniel T.C. LaPoint revised to 6/14/91 and recorded in Plan Book 191, Page 74.
- 5) City of Portland Engineering Department street and monumentation records.

- Notes:
- 1) Bearings are referenced to Magnetic North 2004
 - 2) Book and Page references are to the Cumberland County Registry of Deeds.
 - 3) Parcel is subject to the deed restriction that no building or attachments may be built within fifteen feet of any street (see Book 2438, Page 276).
 - 4) The location of underground utilities is approximate based on information provided by others. DIGSAFE and/or the appropriate utilities should be contacted prior to any excavation. The possible existence of underground utilities other than water, sewer and storm sewer was not investigated.
 - 5) Elevations are referenced to the City of Portland Datum using trigonometric leveling based on reference 1.

ZONE - R3 RESIDENTIAL



Owner of Record: Ben J. Nappi and Margaret L. Nappi
 Book 2438, Page 276 and Book 11251, Page 223
 Total Area - 21,690 square feet (0.50) acres

Revised 4/01/04 - Boundary parcel to be retained.

PLAN OF
Existing Conditions-Parcel to be Conveyed
 Broadway and Ninth Street
 Portland, Maine

MADE FOR
Michael Mitton
 P.O. Box 2742 South Portland, Maine

JOB# 203104.1 DATE: 3/19/04 SCALE: 1"=10'
 BOOK# 755
 DISC#
 FILE# 8771

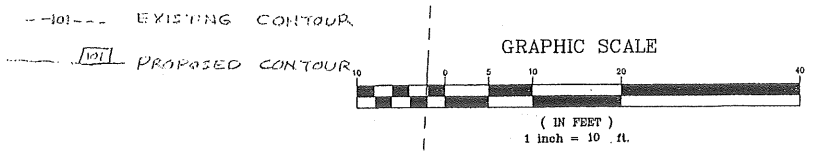
Titcomb Associates
 133 Gray Road
 Falmouth, Maine 04105



This survey conforms to the current standards of the Maine State Board of Registration for Land Surveyors except as noted.

Exceptions:
 (1) No report written.
 (2)
 (3)

William J. Acheson PLS 2271



GENERAL NOTE:

1. FOUNDATION NOTES

- A. ALL CONCRETE FOOTINGS TO BE 3000 P.S.I. @ 28 DAYS.
- B. ALL FOOTINGS TO BE 8"x16" UNLESS OTHERWISE NOTED.
- C. ALL FOUNDATION WALLS TO BE 8" THICK WITH TWO #4 REBAR CONTINUOUS AT THE TOP.
- D. WALL TO BE 7'-10" IN HEIGHT FOR HOUSE/GARAGE COMMON WALL. GARAGE PERIMETER TO BE 4'-0" HIGH FROST WALL.
- E. BASEMENT WINDOWS TO BE 12"x16".
- F. ANCHOR BOLTS 1/2"x8" APPROX. 6'-0" O.C. AND WITHIN 12" FROM CORNERS.
- G. SLAB ON GRADE 4" THICK.
- H. 4 MIL VAPOR BARRIER (BASEMENT).
- I. FIBER MESH REINFORCED SLAB @ GARAGE.
- J. SLAB CONTROL CUTS AS NOTED.
- K. CONTRACTOR TO PROVIDE AND APPLY WATERPROOFING.

2. DECK SPECS

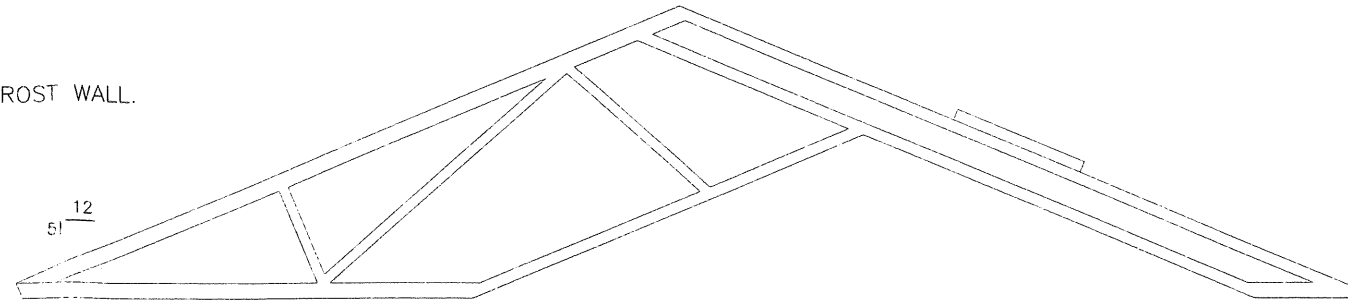
- A. 2x10 PRESSURE TREATED FRAME.
- B. 5/4 x6 PRESSURE TREATED DECKING
- C. 6x6 POST
- D. 42" HIGH RAILS
- E. 2x2 PRESSURE TREATED BALLUSTERS @ 4" O.C.

3. HOUSE SPECS

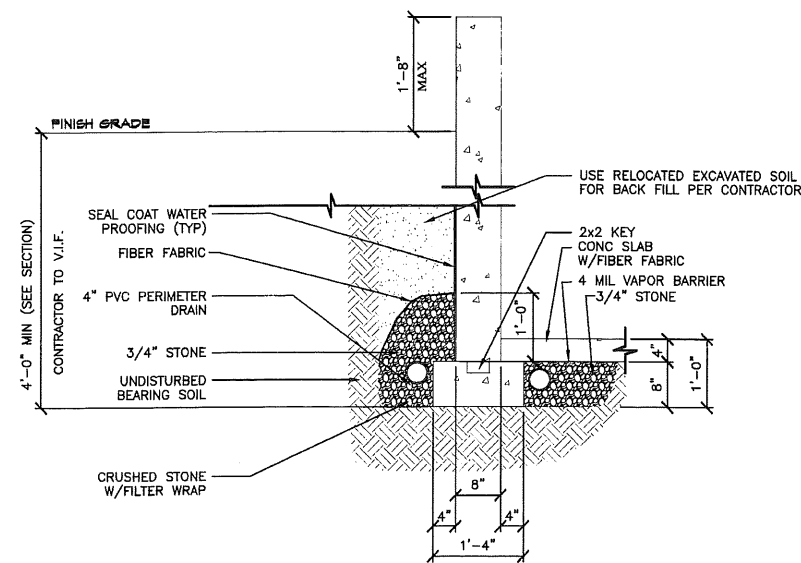
- A. ALL WALLS 2x6 SPF 24" O.C.
- B. DOUBLE TOP PLATES
- C. EXTERIOR SHEATHING IS TO BE 7/8" OSB
- D. R-19 INSULATION IN ALL WALLS AND R-38 IN ALL CEILINGS
- E. CONTINUOUS 4 MIL VAPOR BARRIER INTERIOR
- F. CONTINUOUS TYVEK HOUSE WRAP ON EXTERIOR
- G. ALL SIDING VINYL D4 MASTIC IN A NATURAL COLOR.
- H. ALL GYPSUM BOARD TO BE 1/2" W/TAPE AND 3 COATS OF JOINT COMPOUND
- I. GARAGE CEILING AND HOUSE COMMON WALLS TO BE 5/8" TYPE "X" GYPSUM BOARD W/TAPE AND 3 COATS OF JOINT COMPOUND

4. ROOF SPECS:

- A. TRUSSES 24" O.C (BY WOOD STRUCTURES INC.)
- B. 12" OVERHANGS ON ALL SIDES
- C. 2- HURRICANE CLIPS/TRUSS
- D. 25 YEAR ASPHALT 3-TAB SHINGLES
- E. CONTINUOUS SOFFIT AND RIDGE VENTING
- F. PORCH ROOF WITH 12"x12" GABLE VENT PER CONTR.



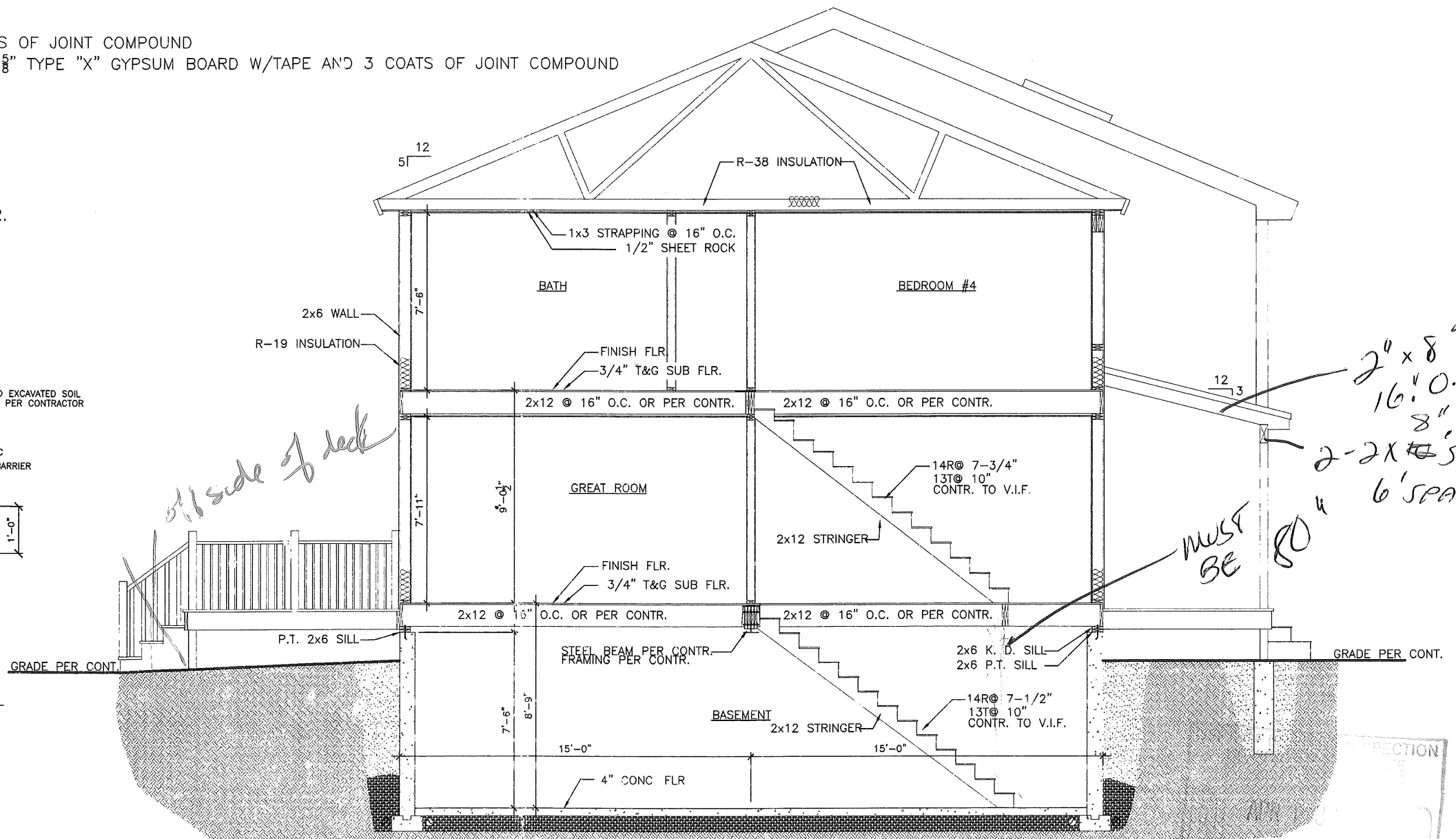
WOOD TRUSS @ MASTER BEDROOM
BY WOOD STRUCTURES
DESIGN AND LOCATION PER WOOD STRUCTURES



1 FOOTING DETAIL
SCALE: 3/4"=1'-0"

NOTE:
SUBSTITUTE FOOTING AND WALL
SIZES WITH PLAN CALL-OUT.

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING
SERVICES ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGIN. IF DIMENSIONS AND SPECIFICATIONS ARE NOT CLARIFIED

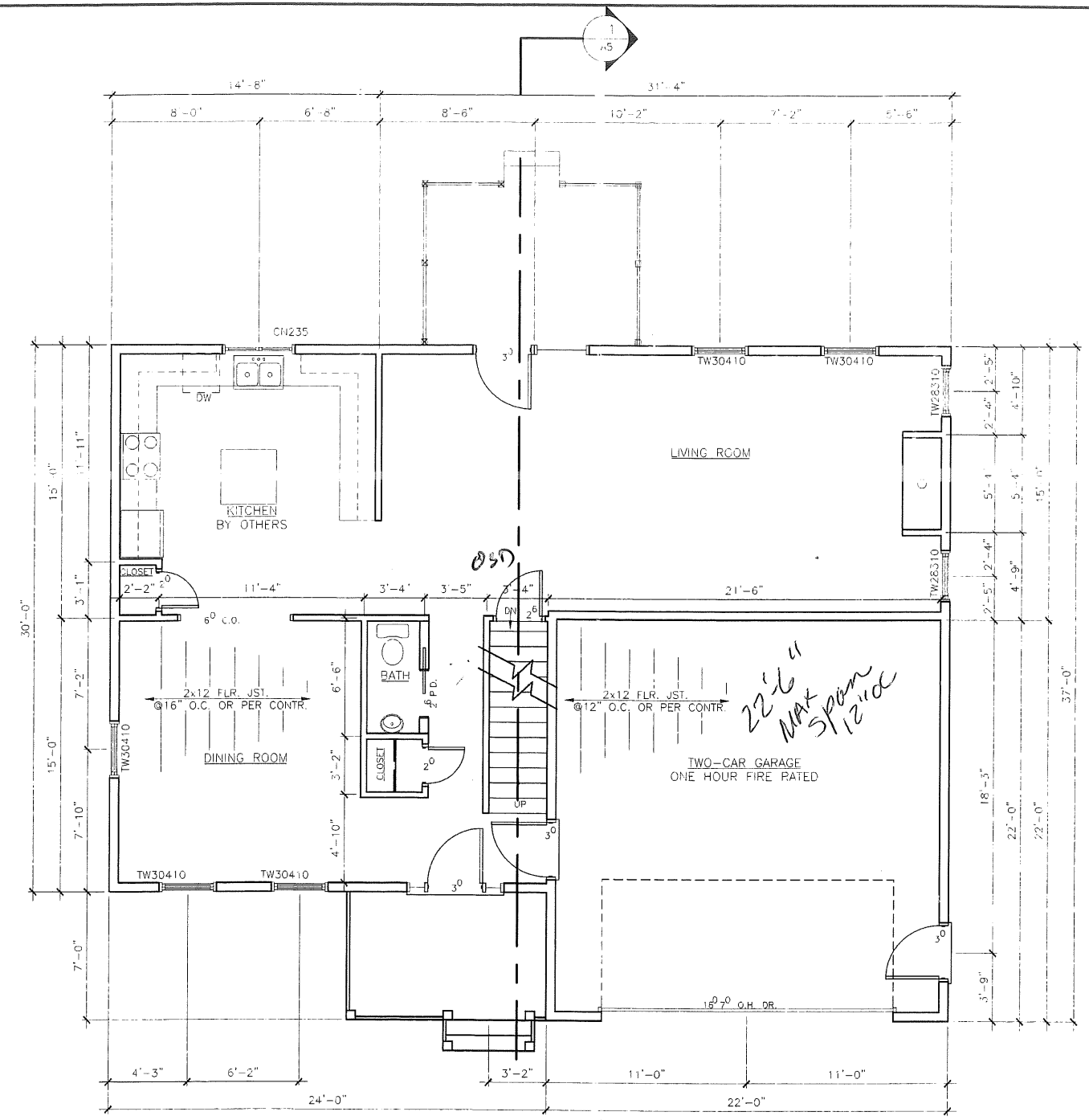


1 BUILDING SECTION

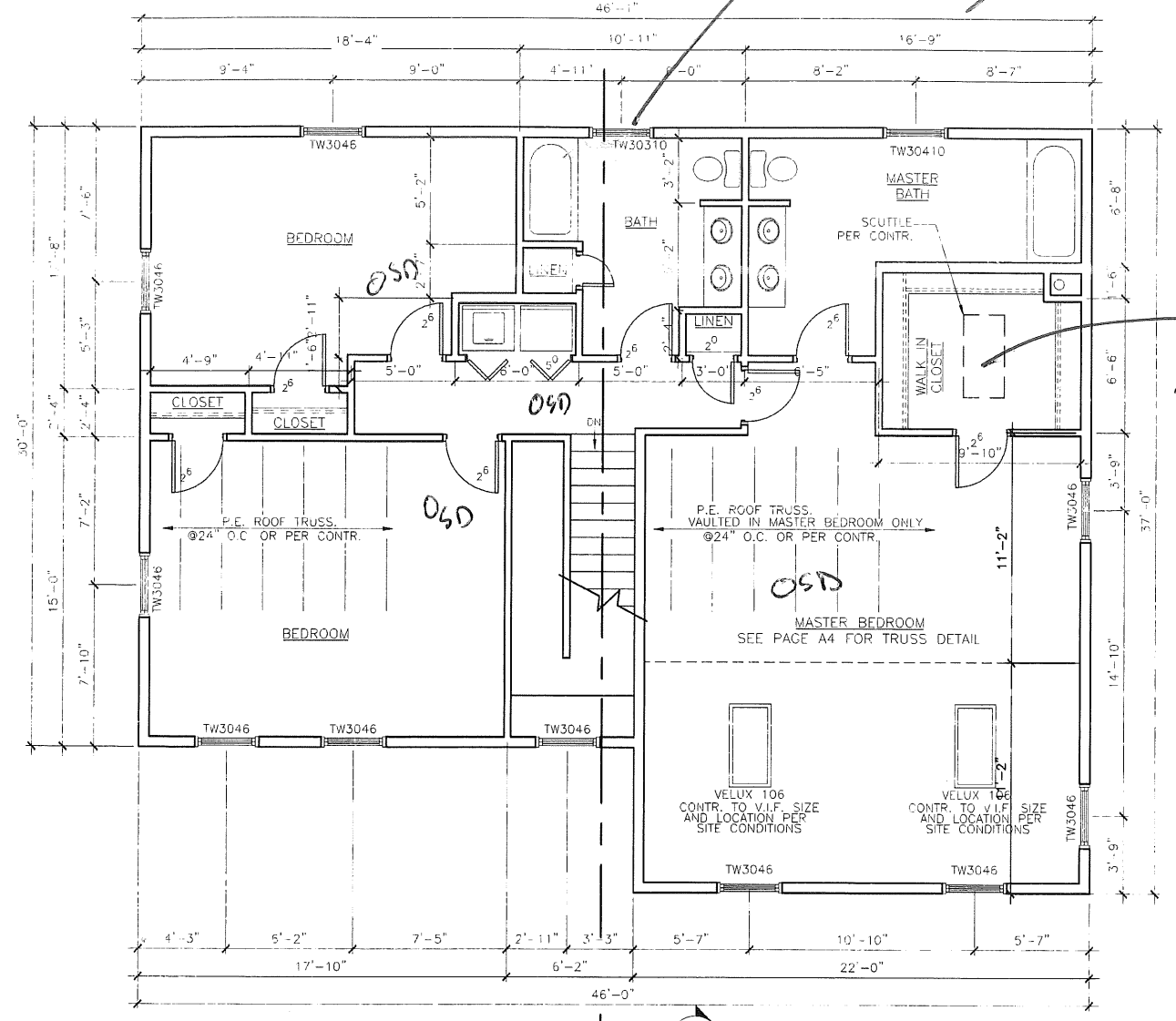
Handwritten notes:
2" x 8"
16" O.C.
8"
2-2x6's
6' span
MUST BE 80"

REVISIONS
CODE: TOWN-S.PORLAND
DATE: 05 APRIL 04
SCALE: 3/8"=1'-0"
DRAWN: JR
TITLE: BUILDING CROSS SECTION

MITTON RESIDENCE
 PORTLAND, MAINE



2 FIRST FLOOR PLAN
 1/4" = 1'-0"

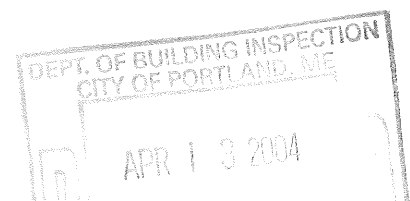


1 SECOND FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTE.

2. DECK SPECS
 - A. 2x10 PRESSURE TREATED FRAME.
 - B. 5/4 x6 PRESSURE TREATED DECKING
 - C. 6x6 POST
 - ✓ D. 42" HIGH RAILS
 - ✓ E. 2x2 PRESSURE TREATED BALLUSTERS @ 4' O.C
3. HOUSE SPECS
 - A. ALL WALLS 2x6 SPF 24" O.C.
 - B. DOUBLE TCF PLATES
 - C. EXTERIOR SHEATHING IS TO BE 1/2" OSB
 - D. R-19 INSULATION IN ALL WALLS AND R-38 IN ALL CEILINGS
 - E. CONTINUOUS 4 MIL VAPOR BARRIER INTERIOR
 - F. CONTINUOUS TYVEK HOUSE WRAP ON EXTERIOR
 - G. ALL SIDING VINYL D4 MASTIC IN A NATURAL COLOR.
 - H. ALL GYPSUM BOARD TO BE 1/2" W/TAPE AND 3 COATS OF JOINT COMPOUND
 - I. GARAGE CEILING AND HOUSE COMMON WALLS TO BE 5/8" TYPE "X" GYPSUM BOARD W/TAPE AND 3 COATS OF JOINT COMPOUND

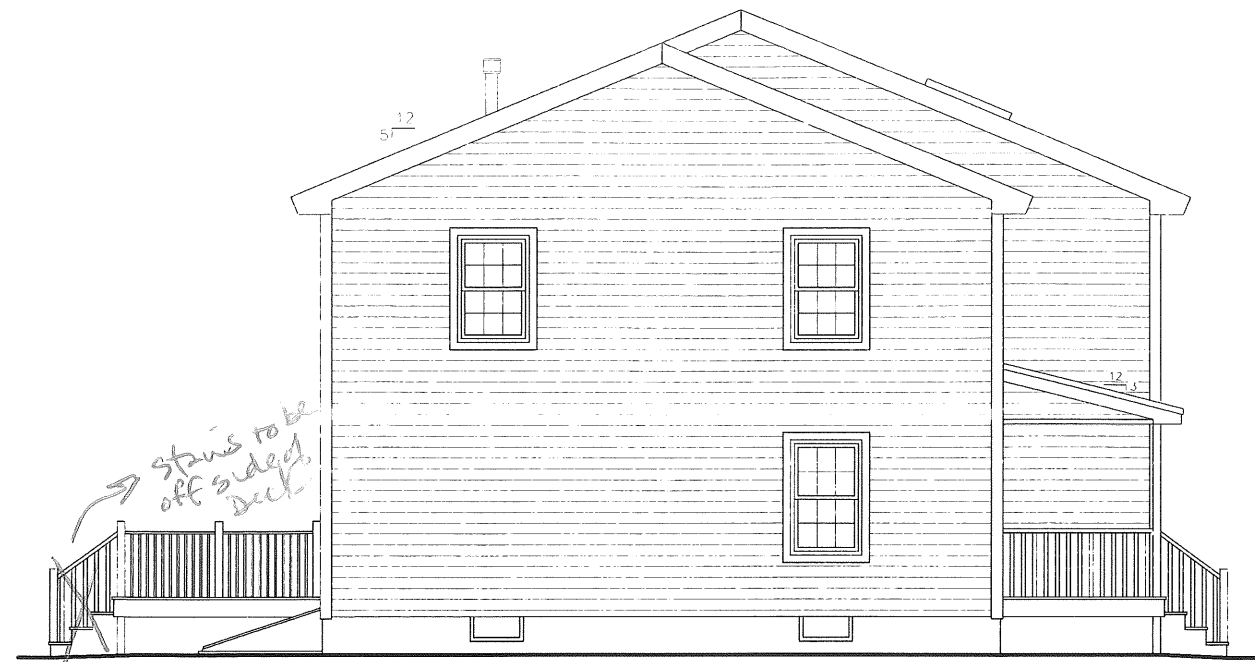
NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMG CADD DRAFTING SERVICES INC ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.



REVISIONS
CODE:
TOWN-S.PORTLAND
DATE: 05 APRIL 04
SCALE: 1/4"=1'-0"
DRAWN: JR
TITLE: 1st & 2nd FLOOR PLANS
FILE: 04-0041
SHEET:



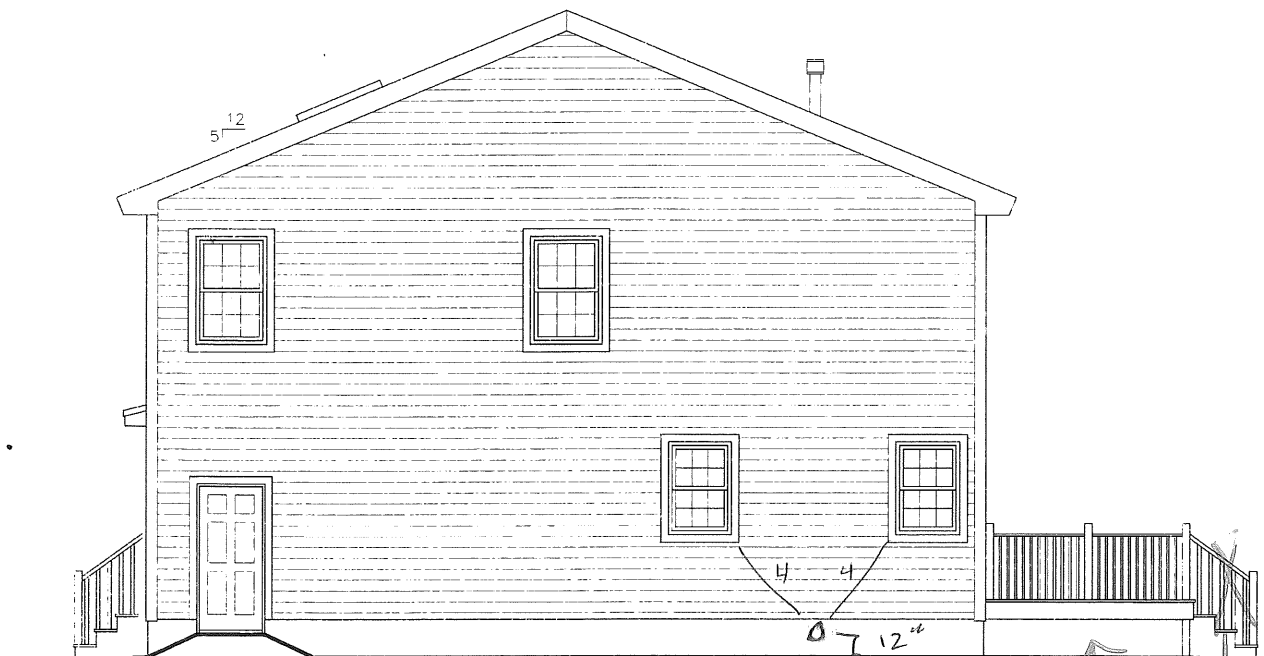
4 FRONT ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DRAWINGS, PLANS, SKETCHES, ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
REVISIONS, ERECTIONS, AND SPECIFICATIONS ARE NOT COVERED.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 13 2014
RECEIVED

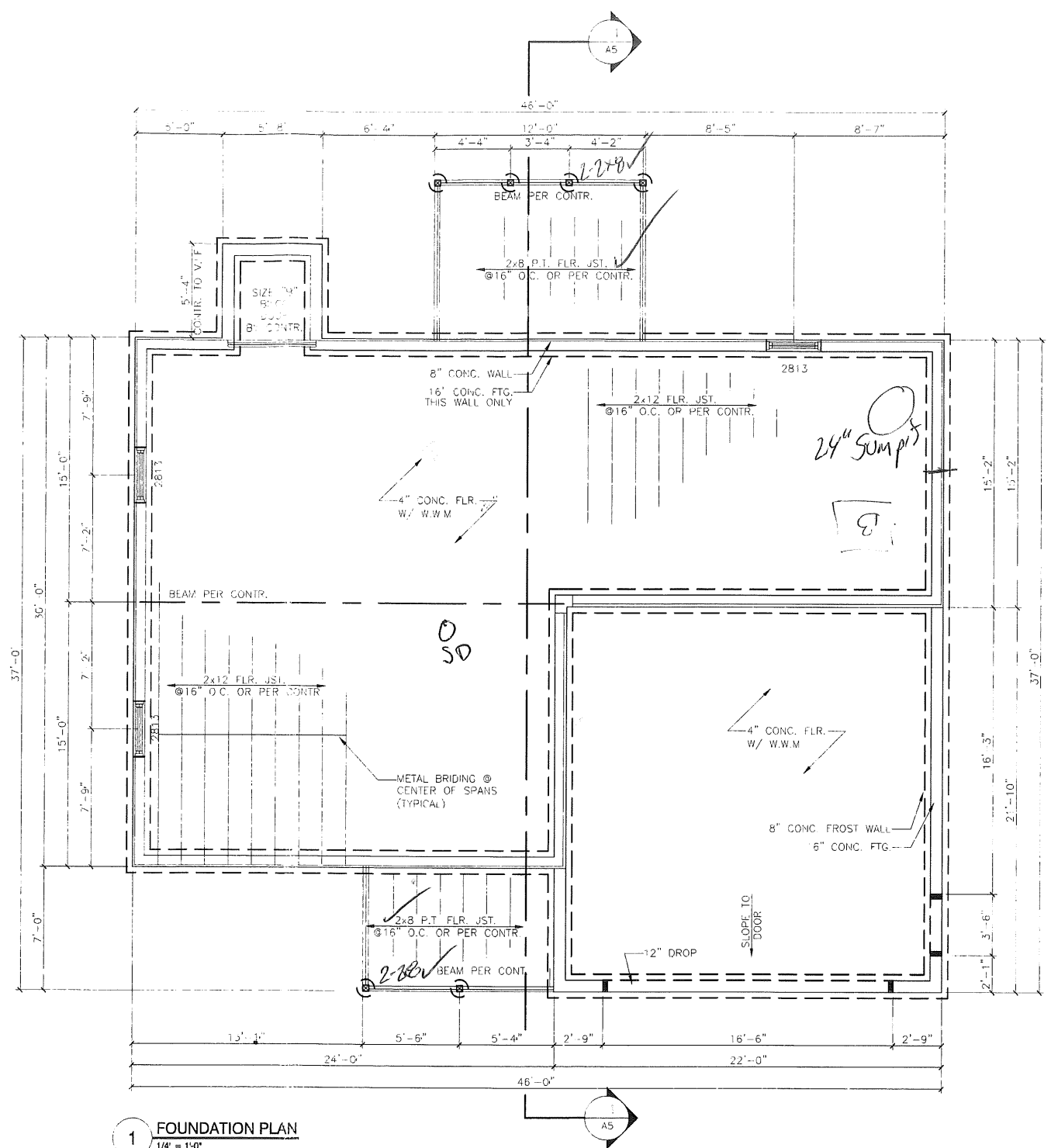
MITTON RESIDENCE
PORTLAND, MAINE

REVISIONS
CODE:
TOWN-S.PORLAND
DATE: 05 APRIL 04
SCALE: 1/4"=1'-0"
DRAWN: JR
TITLE: EXTERIOR ELEVATIONS

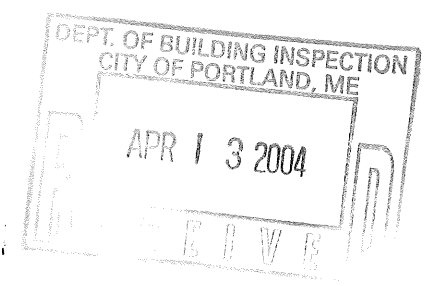
MITTON RESIDENCE
 PORTLAND, MAINE

GENERAL NOTE:

1. FOUNDATION NOTES
 - A. ALL CONCRETE FOOTINGS TO BE 3000 P.S.I. @ 28 DAYS.
 - B. ALL FOOTINGS TO BE 8"x16" UNLESS OTHERWISE NOTED.
 - C. ALL FOUNDATION WALLS TO BE 8" THICK WITH TWO #4 REBAR CONTINUOUS AT THE TOP.
 - D. WALL TO BE 7'-10" IN HEIGHT FOR HOUSE/GARAGE COMMON WALL. GARAGE PERIMETER TO BE 4'-0" HIGH FROST WALL.
 - E. BASEMENT WINDOWS TO BE 12"x16".
 - F. ANCHOR BOLTS 1/2"x8" APPROX. 6'-0" O.C. AND WITHIN 12" FROM CORNERS.
 - G. SLAB ON GRADE 4" THICK.
 - H. 4 MIL VAPOR BARRIER (BASEMENT).
 - I. FIBER MESH REINFORCED SLAB @ GARAGE.
 - J. SLAB CONTROL CUTS AS NOTED.
 - K. CONTRACTOR TO PROVIDE AND APPLY WATERPROOFING.



NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
 IF USED FOR CONSTRUCTION THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
 FOR LOCAL CODE COMPLIANCE.
 ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR
 CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
 AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
 AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMC CADD DRAFTING
 SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
 SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
 BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
 BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
 BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION



REVISIONS
CODE:
TOWN-S. PORTLAND
DATE: 05 APRIL 04
SCALE: 1/4" = 1'-0"
DRAWN: JR
TITLE:
FOUNDATION PLAN
FILE: 04-0041
SHEET: