

339-J-52

2003-0034

84 Farragut St.
Road Extension
Archie Giobbi

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Engineering Copy**

2003-0034
Application I. D. Number
02/21/2003
Application Date
Farragut Street
Project Name/Description

Giobbi Archie S &
Applicant
1184 Washington Ave , Portland , ME 04103
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 797-2535 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

84 - 84 Farragut St, Portland, Maine
Address of Proposed Site
339 J052001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units	Acreeage of Site	R3 Zoning
---	------------------	---------------------

Check Review Required:

- | | | | |
|--|---|---|---|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input checked="" type="checkbox"/> Subdivision
of lots <u>3</u> | <input type="checkbox"/> PAD Review | <input checked="" type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> HistoricPreservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 02/25/2003

Engineering Comments

PUBLIC WORKS ENGINEERING REVIEW....3/18/03

I have reviewed the submittal dated 2/21/03 and offer the following comments:

1. Upon reviewed the storm drain design, Public Works is requesting the applicant extend either a 6 inch or 8 inch diameter storm drain stub in an easterly direction towards Barden Street. The stub extending out of CB#1 should be approximately 85 linear feet. The stub extending out of CB#2 should be 35 linear feet. The purpose of these stubs would be to outlet foundation drains for the proposed dwellings.
2. The plans need to specify details of the City's Technical Standard for a Type "E" catch basin structure; granite curb installation; "casco" trap for catch basin; driveway apron.
3. It should be noted on the plans that both CB#1 and CB#2 will be fitted with the appropriately sized "casco" catch basin trap.
4. The proposed driveway entrances need to be revised to conform with the City's Technical Standard. The terminal ends of each driveway entrance should be 2 feet wider at the gutter line than at the property line.
5. The applicant is advised to contact Carol Merritt at Public Works regarding the required permits and fees associated with construction activity within the public right of way.
6. Public Works is requesting that "as-built" construction drawings (red line markups) be supplied to Public Works by the applicant's contractor upon completion of the roadway and utility improvements.
7. The applicant must supply a CADD file, upon receiving City approval for this development proposal. This CADD file should be sent to Jon Giles, GIS Coordinator at Public Works.

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

April 16, 2003

Mr. Archie Giobbi
1184 Washington Ave
Portland, ME 04103

Subject: Farragut Street Road Extension
(ID # 2003-0034) (CBL# 339J052)

Dear Mr. Giobbi:

On March 24, 2003, the Portland Planning Authority granted minor site plan approval for the roadway extension of Farragut Street.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

Jay Reynolds
City of Portland
Planning Dept.

May 22, 2003

Re: Farragut Street

Dear Jay,

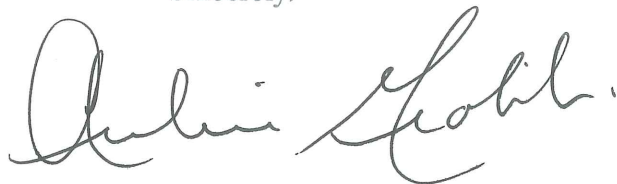
I am writing to request that the Portland Planning Department, in its capacity to review approved projects, reconsider the granite curb and sidewalk requirements for the Farragut St. extension that was approved on April 16, 2003.

My request to waive the curbs/sidewalk requirements stem from the following reasons:

1. The remainder of Farragut St. does not have existing curbs or sidewalks.
2. Affordable Housing in Portland starts with a developer/builder being able to reduce their costs. Reduced costs leads to lower market prices for a buyer.
3. Farragut St. homeowners' main concern is not the lack of curbs or sidewalks but storm drainage problems. This concern has been addressed by me directly and I have been responsive to the wishes of the Public Works in dealing with this concern.

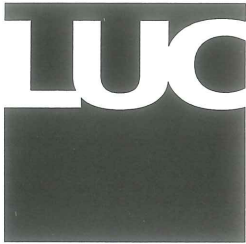
I hope the Portland Planning Staff will issue me a waiver so I may move forward in a more affordable manner, one which will I believe will be of benefit to the abutters of this road extension. Thank You.

Sincerely,



Archie Giobbi, Portland resident
1184 Washington Ave.

Amendment
3 or More Criteria



Land Use Consultants, Inc.

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

April 11, 2003

2763

Jay Reynolds
Department of Planning & Urban Development
389 Congress Street
Portland, ME 04101

RE: Farragut Street Development

Dear Jay:


I am submitting herewith-revised plan sheet 1 showing the proposed development of three (3) single-family house lots at the end of Farragut Street per our phone discussion on April 7, 2003.

Based on our discussion, we have revised sheet 1 of the plan set. A swale has been graded to drain as much runoff as possible to the proposed catch basin #1 in Farragut Street.

I have attached seven (7) copies of the revised Plan Sheet 1 per your comments and our phone conversation on April 10, 2003.

Please call me if you have any questions or require additional documentation.

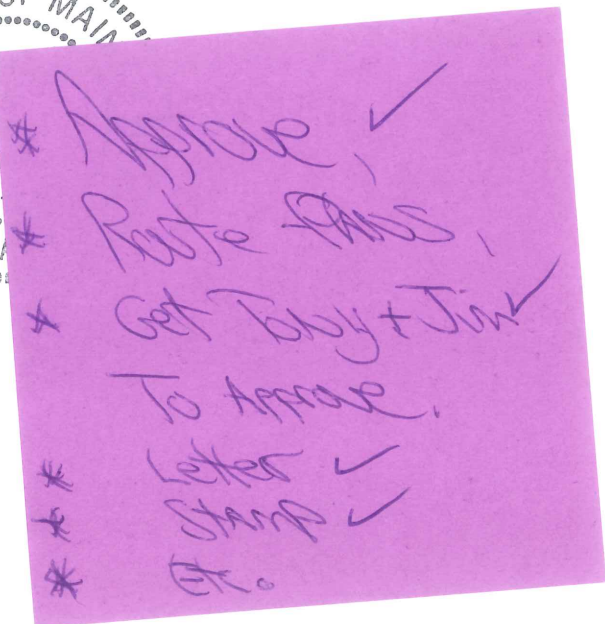
Sincerely,


David A. Kamila, P.E.
President

cc: Archie Giobbi

dak/DAK

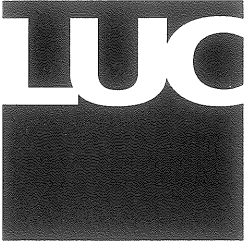
Enclosures



966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 3313
f a x (207) 878 0201
www.landuse@gwi.net

Invoices over 30 days are subject to late payments of 1 - 11/2 % compounded monthly.



Land Use Consultants, Inc.

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

April 2, 2003

2763

*p l a n n e r s
e n g i n e e r s
l a n d s c a p e
a r c h i t e c t s*

Jay Reynolds
Department of Planning & Urban Development
389 Congress Street
Portland, ME 04101

RE: Farragut Street Development

Dear Jay:

I am submitting herewith-revised plans showing the proposed development of three (3) single-family house lots at the end of Farragut Street per our meeting on March 18, 2003. My client is Mr. Archie Giobbi, who recently purchased the lots along with his sister Nicola Woodward from the estate of Joseph Savignano. We had prepared plans for Mr. Savignano in 1994, but never completed the permitting process.

Based on our discussion and preliminary review by Tony Lombardo, we have revised the plans to include the following items listed below:

Your Comments included the following items:

- Swale on back of Selleck property has been regraded.
- Revise grades on at intersection of Farragut and Barden Street.
- Add silt fence along west side of lots.
- Add same 5' strip ROW to lots 1 & 2.
- Revise grading around lot 3 upgradient of house.
- Need draft deed for ROW strips and drainage easement.
- Get capacity letters for water and sewer.
- Verify distance to nearest hydrant.

Comments from Tony Lombardo of the engineering department included the following items:

- Plans need to specify details of the city's technical standard for a Type "E" Catch Basin structure, granite curb installation, "Casco" trap for catch basin and driveway apron.
- The plans should note that both CB#1 and CB#2 will be fitted with the appropriately sized "Casco" catch basin trap.
- The proposed driveway entrances need to be revised to conform to the City's Technical Standards with terminal ends at each driveway entrance should be two feet wider at the gutter line.
- The applicant has been advised to contact Carol Merritt at Public Works to verify what permits and fees apply to working in the city right of way.

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 3313
f a x (207) 878 0201
www.landuse@gwi.net



- Upon the completion of the roadway and utility improvements, the Public Works department requests that “as built” drawings be supplied to Public Works.
- Upon receiving city approval, the applicant must supply a CADD file. The CADD file should be sent to Jon Giles, GIS coordinator at Public Works.

The following revisions were made to the plans per your comments. The swale that has been regraded behind the Selleck property has been surveyed and drafted on the attached plans. Also the nearest hydrant to the lot is 570 ± feet so a fire hydrant has been proposed and is depicted on the revised plans.

Additional revisions were made to the plans in response to the comments by Tony Lombardo. Sheet 3 has been added showing additional details requested by the city’s engineering section. The applicant will be informed of the city’s request for as built drawings after completion of the improvements and to contact Carol Merritt about permits and fees related to the proposed work. There are some CADD files associated with the project and will be provided if needed but most of the plans were hand drawn and a hard copy has been provided to the city. Also contacts have been made in regards to sewer and water capacity. No response has been received for sewer but a letter has been received for water and is attached to this letter. A copy of the draft deed and the outstanding sewer capacity letter will be provided separately.

I have attached seven (7) copies of the revised Plan Sheets 1, 2 and 3 per yours and Tony Lombardo’s comments and our phone conversation on April 1, 2003.

Please call me if you have any questions or require additional documentation.

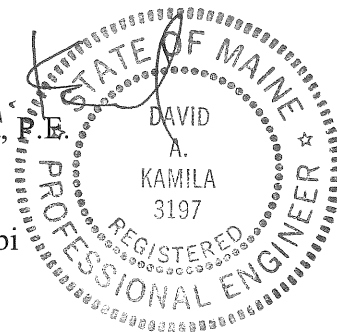
Sincerely,

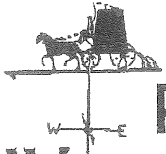
David A. Kamila,
President

cc: Archie Giobbi

dak/DAK

Enclosures





Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961

FAX (207) 784-0907

www.pwd.org

December 26, 2003

Mr. Archie Giobbi
Archie Giobbi Real Estate
1184 Washington Ave.
Portland, ME 04103

Re: Farragut St, Portland

Dear Sir:

The Portland Water District has an 8" water main in Farragut Street, Portland, near the proposed three lot subdivision. A test on a nearby hydrant produced the following results: static pressure 61 psi; pito pressure 12 psi; with a flow of 581 gpm. With these results in mind, the District feels we have sufficient capacity available to serve this proposed project and meet all normal fire protection and domestic water service demands. Please notify your plumber of these results so that they can design your system to best fit the available pressure.

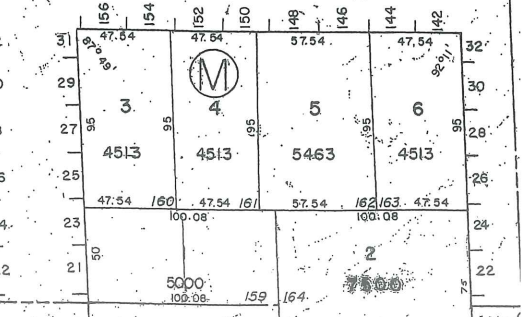
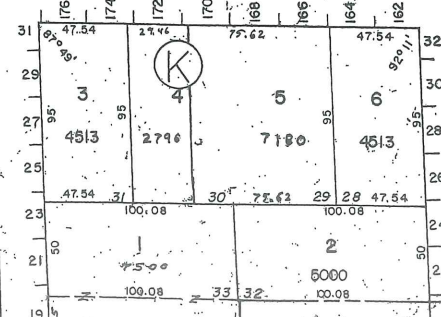
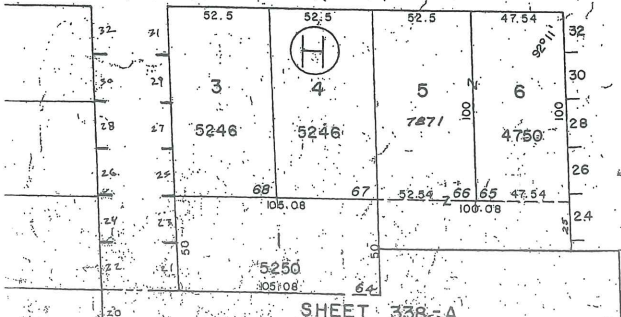
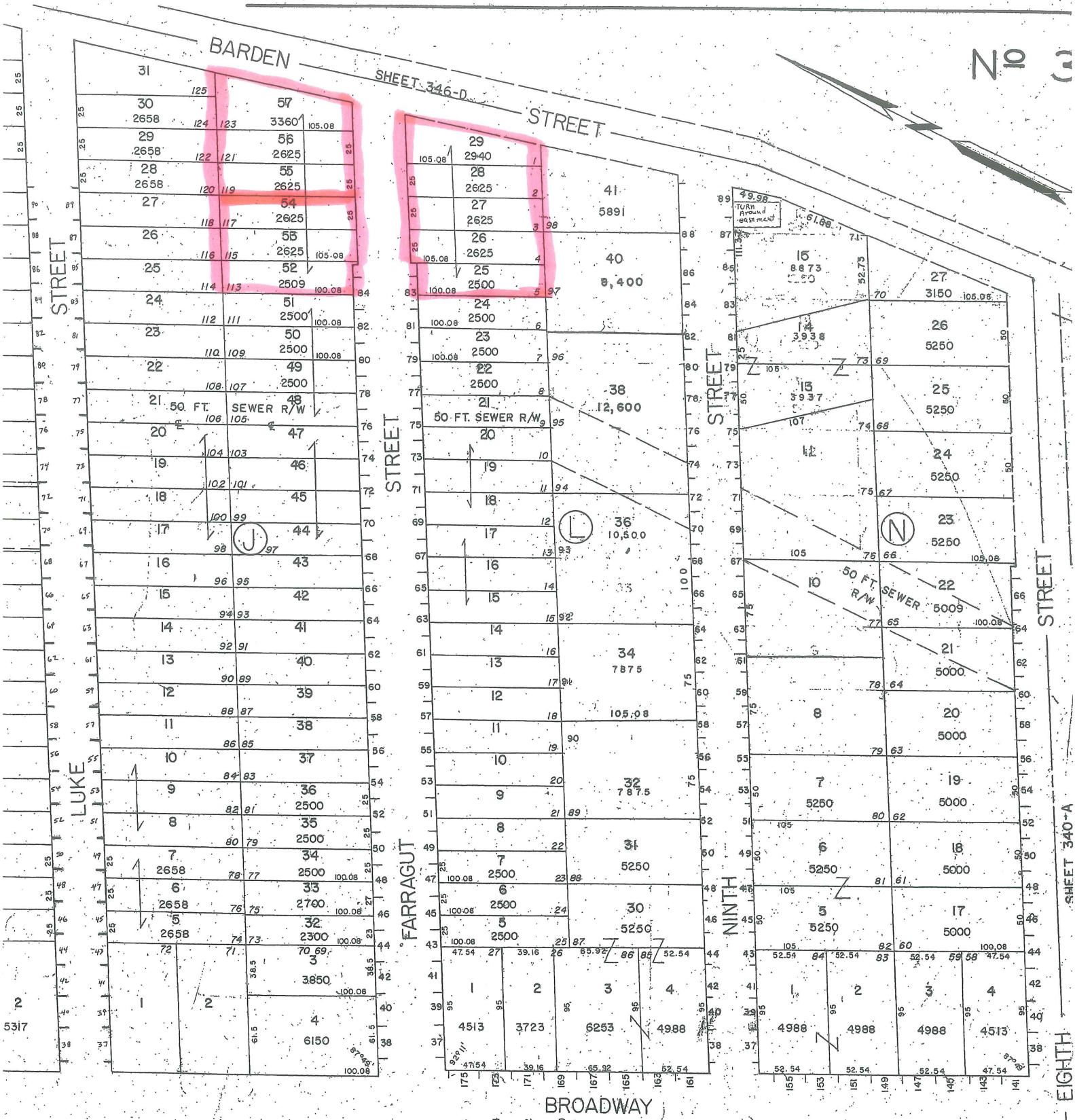
With certification by the developer that all required permits have been received, we look forward to serving this project.

Sincerely,

PORTLAND WATER DISTRICT

David W. Sullivan, PLS
Engineering Supervisor

SHEET 346-D



**City of Portland
Department of Planning and Development
Planning Division**

389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To: David Kamila

Company: LUC

Fax #: 878-0201

Date: 3-25-03

From: Jay Reynolds

You should receive 2 page(s) including this cover sheet.

Comments: Attached Are Public Works Comments
for the Farmost St. Project.

Jay

Planning and Development Department
SUBDIVISION/SITE DEVELOPMENT

ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: SEPT 30, 2003

Project: FARRAGUT ST EXTENSION
 Location: FARRAGUT ST PORTLAND, ME
 Developer: STAR HOMES
 Type of Performance Guarantee: CASH

Type of Development: Subdivision _____ Site Plan (Major/Minor) MINOR

BE FILLED OUT BY THE APPLICANT:

	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
STREET/SIDEWALK						
Road			14,700			
Granite Curbing	255'	28.23	7,200			
Sidewalks						
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs						
Other						
EARTH WORK						
Cut			4,700			
Fill						
SANITARY SEWER						
Manholes	1	2,315	2,315			
Piping	80	25	2,000			
Connections	3	275	825			
Main Line Piping						
House Sewer Service Piping	90	14	1,260			
Pump Stations						
Other						
WATER MAINS						
			6,800			
STORM DRAINAGE						
Manholes	2	2,020	4,040			
Catchbasins	2	1,700	3,400			
Piping	150'	34.66	5,200			
Detention Basin						
Stormwater Quality Units						
Other						

SITE LIGHTING

EROSION CONTROL

Silt Fence

500

Check Dams

Pipe Inlet/Outlet Protection

Level Lip Spreader

Slope Stabilization

Geotextile

Hay Bale Barriers

10

30

30

Catch Basin Inlet Protection

0

0

RECREATION AND

OPEN SPACE AMENITIES

LANDSCAPING

(Attach breakdown of plant materials, quantities, and unit costs)

0

MISCELLANEOUS

TOTAL:

\$ 53,000

LESS WATER DIST.

6,800

GRAND TOTAL:

46,200

AMOUNT FOR INSPECTION FEE

INSPECTION FEE (to be filled out by the City)

PUBLIC

PRIVATE

TOTAL

2.0% of totals:

924.00

924.00

or

Alternative Assessment:

Assessed by:

(name)

(name)

[Signature]

Department of Planning & Development
Lee D. Urban, Director



471-3800 3490

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

CITY OF PORTLAND

FARRABUTTA
JOE FRUSTACI - 767-2490
OR

DATE FRUSTACI
671-4831

Notice to Developers, Architects, and Engineers

The municipal code requires that all development falling under site plan and/or subdivision review in the City of Portland be subject to a performance guarantee for various required improvements. The code further requires developers to pay a fee for the administrative costs associated with inspecting construction activity to ensure that it conforms with plans and specifications.

The performance guarantee covers major site improvements related to site plan and subdivision review, such as paving, roadway, utility connections, drainage, landscaping, lighting, etc. A detailed itemized cost estimate is required to be submitted, which upon review and approval by the City, determines the amount of the performance guarantee. The performance guarantee will usually be a letter of credit from a financial institution, although escrow accounts are acceptable. The form, terms, and conditions of the performance guarantee must be approved by the City through this office. The performance guarantee plus a check to the City of Portland in the amount of 2.0% of the performance guarantee or as assessed by the planning or public works engineer must be submitted prior to the issuance of any building permit for affected development.

Administration of performance guarantee and defect bonds is through this office. Inspections for improvements within existing and proposed public right-of-ways are the responsibility of the Department of Parks and Public Works. Inspections for site improvements are the responsibility of the Development Review Coordinator in the Planning Division.

Performance Guarantees will not be released by the City until all required improvements are completed and approved by the City and a Defect Bond has been submitted to and approved by the City.

Attachments

1. Cost Estimate of Improvements Form
2. Letter of Credit Performance Guarantee Form
3. Letter of Credit Defect Guarantee Form
4. Escrow Account (with private financial institution) Performance Guarantee Form
5. Escrow Account (with private financial institution) Defect Guarantee Form
6. Escrow Account (with City of Portland) Performance Guarantee Form
7. Escrow Account (with City of Portland) Defect Guarantee Form

Effective: January 2001

Planning and Development Department
SUBDIVISION/SITE DEVELOPMENT

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: SEPT 30, 2003

Name of Project: FARRAGUT ST EXTENSION

Address/Location: FARRAGUT ST PORTLAND, ME

Developer: STAR HOMES

Form of Performance Guarantee: CASH

Type of Development: Subdivision _____ Site Plan (Major/Minor) MINOR

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
STREET/SIDEWALK						
Road			14,700			
Granite Curbing			7,200			
Sidewalks						
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs						
Other						
EARTH WORK						
Cut			4,700			
Fill						
SANITARY SEWER						
Manholes			6,400			
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
WATER MAINS						
			6,800			
STORM DRAINAGE						
Manholes			12,700			
Catchbasins						
Piping						
Detention Basin						
Stormwater Quality Units						
Other						

SITE LIGHTING

EROSION CONTROL

Silt Fence

500

Check Dams

Pipe Inlet/Outlet Protection

Level Lip Spreader

Slope Stabilization

Geotextile

Hay Bale Barriers

Catch Basin Inlet Protection

RECREATION AND

OPEN SPACE AMENITIES

LANDSCAPING

(Attach breakdown of plant materials, quantities, and unit costs)

MISCELLANEOUS

TOTAL:

\$ 53,000

GRAND TOTAL:

INSPECTION FEE (to be filled out by the City)

PUBLIC

PRIVATE

TOTAL

: 2.0% of totals:

or

: Alternative

Assessment:

Assessed by:

_____ (name)

_____ (name)

From: Jay Reynolds
To: Anthony Lombardo
Date: Thu, Oct 2, 2003 8:13 AM
Subject: Re: Farragut Street Cost Estimate

Neither do I,
If he calls me, i'll forward him to you.

>>> Anthony Lombardo 10/02/2003 8:12:47 AM >>>
Sorry,
I don't have the time.

>>> Jay Reynolds 10/02 8:11 AM >>>
Can you contact Mr. Frustaci directly?
His number is on the estimate form. Thanks.
Jay

>>> Anthony Lombardo 10/01/2003 1:52:17 PM >>>
Jay,
The cost estimate provides only "total" cost for the construction activities listed. It does not provide unit item costs nor does it provide any quantities. Therefore, I will need the applicant to submit a more complete and detailed estimate prior to my review.

CC: Eric Labelle; Sarah Hopkins

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

July 23, 2003

Archie Giobbi
1184 Washington Ave
Portland, ME 04103

RE: Farragut Street Waiver Requests
CBL: 339 J052001

Dear Mr. Giobbi:

On July 16, 2003, the Portland Planning Authority made the following determinations regarding the waiver requests for sidewalk and curb on Farragut Street:

Sidewalk Waiver: The Planning Authority waives the sidewalk requirement for the northwest side of Farragut Street. Sidewalk will be required on the south east side of Farragut along the development frontage.

Curb Waiver: The Planning Authority does not waive the curbing requirement for this development

If there are any questions, please contact Jay Reynolds at 874-8632.

Sincerely,

Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Program Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Public Works Director
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Penny Littell, Associate Corporation Counsel
Correspondence File

JAMES F. CLOUTIER (MAYOR) (A/L)
PETER E. O'DONNELL (1)
KAREN A. GERAGHTY (2)
NATHAN H. SMITH (3)
CHERYL A. LEEMAN (4)

CITY OF PORTLAND
IN THE CITY COUNCIL

JAMES I. COHEN (5)
JOHN W. GRIFFIN (A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

AMENDMENT TO PORTLAND CITY CODE
CHAPTER 14 SECTION 506 (B) : MODIFICATIONS

And

CHAPTER 25 SECTION 96: REQUIRED FOR NONRESIDENTIAL DEVELOPMENT;
EXCEPTIONS

RE: CURB AND SIDEWALK REQUIREMENTS

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

1. That Section 14-506(b) of the Portland City Code is hereby
to read as follows:

Sec.14 -506 (b) Modifications.

(b) Where the planning board or planning authority finds that, for each of the requirements listed below, two or more of the conditions exist with respect to compliance with the requirements set forth in sections 14-498 and 14-499 pertaining to the provision and construction of curbs and/or sidewalks, it may waive, in whole or in part, the regulations so that substantial justice may be done and the public interest secured:

Sidewalks-

- A 1. There is no reasonable expectation for pedestrian usage coming from, going to and traversing the site.
- * 2. There is no sidewalk in existence or expected within 1000 feet and the construction of sidewalks does not contribute to the development of a pedestrian oriented infrastructure.
- N 3. A safe alternative-walking route is reasonably and safely available, for example, by way of a sidewalk on the other side of the street that is lightly traveled.
- N 4. The reconstruction of the street is specifically identified and approved in the first or second year of the current Capital Improvement Program or has been funded through an earlier CIP or through other sources.
- N 5. The street has been constructed or reconstructed without sidewalks within the last 24 months.
- * 6. Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.

Curbing-

1. The cost to construct the curbing, including any applicable street opening fees, is in excess of 5% of the overall project cost. 2. The reconstruction of the street is specifically identified and approved in the first or second year of the current Capital Improvement Program or has been funded through an earlier CIP or through other sources. 3. The street has been rehabilitated without curbing in the last 60 months.

* 4. Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.

* 5. Runoff from the development site or within the street does not require curbing for stormwater management.

In no event shall the waiver have the effect of creating potentially hazardous vehicle and pedestrian conflict or nullifying the intent and purpose and policies of the land development plan relating to transportation and pedestrian infrastructure and the regulations of this article.

At its discretion, the planning authority may refer any petition for a waiver from the curb and sidewalk requirement to the planning board for decision.

Sec. 25-96. Required for nonresidential, two-family or multi-family development; exceptions.

Where a nonresidential, or a two-family or multi-family development requiring site plan approval abuts any accepted street and a sidewalk with granite curbing satisfactory to the public works authority has not already been provided, a sidewalk constructed of bituminous concrete, portland cement concrete, brick or other paving material and granite curbing shall be provided along the entire street frontage of the lot. If either a sidewalk or curbing, but not both, shall exist at such location which is satisfactory to the public works authority, only a sidewalk or curbing, as the case may be, shall be provided. In either case, such sidewalk and curbing shall be constructed in accordance with the specifications and to the satisfaction of the public works authority at no cost to the city. In conjunction with major site plan review, the planning board, or with minor site plan review, the planning authority, may waive or modify the requirements contained herein upon a like finding and on the same terms and conditions as set forth in section 14-506(b) of this Code.

Planning Department



Jay Reynolds
Development Review
Coordinator

CITY OF PORTLAND

Briefly state which items
(1-6) and (1-8)

Apply to your Site Plan.

And Return to My
Attention.

Thanks,

Jay

Mr. Jay Reynolds
Dept. of Planning
City of Portland

Sw. → 2 of 6
Curb → 2 of 5
P.R.
Approve Both
LAVERS
7/10

Dear Jay.

Thank you for forwarding the letter in regard to Curb/ Sidewalk modifications.

I am replying to your request as to what applies on the Farragut St. Extension.

1. Sidewalks:

1. Applies: Farragut St. when extended, will end at a paper street, Barden St..
No pedestrian usage coming from, going to and traversing the site, is expected.. ✓

2. Applies: Farragut St. in its entire length does not have sidewalks and construction of sidewalks on this 150' extension that dead-ends on Barden st. will not contribute to the development of a pedestrian oriented infrastructure. ✓

~~3. Does not Apply: Farragut St., has no Sidewalks on either side.~~

~~4. Does not Apply: Farragut St., is not identified in the first or second year of the current CIP program or funded through earlier CIP or other sources. Re: Gretel Varney~~

~~5. Does not Apply: No construction on Farragut st. in the last 24 months. Re: Gretel Varney~~

~~6. Applies: Sidewalks would break up the existing road to lot landscaping and topography that runs the entire length of Farragut st., that is much more appealing than the intrusion Sidewalks and Curbing leading to a paper street, Barden st..~~

This letter is a response to the questionnaire on the modifications of Sidewalks.

Thank You

Sincerely.

Archie Giobbi, applicant
1184 Washington Ave.
Portland, Me. 04103

Mr. Jay Reynolds
Dept., of Planning
City of Portland

Dear Jay,

This letter is a response to the questionnaire on the modifications of Curbs.

1. Curbs:

✓ 1. Applies: Cost of the road extension is approximately \$ 68000.00. Installation of curbing on both sides of Farragut street (150' on each side or a total of 300') would cost approximately \$9000.00. (\$30.00 per linear foot installed, Re: Chase Excavating & Construction) Therefore Curbing costs would run around 13%.

238'
x
\$17,140.00

X 2. Does not Apply: Not Identified

X 3. Does not Apply: No rehab in the last 60 months. Re: Greta Varney.

X 4. Applies: Strict adherence to Curbing would alter the present site features of not only the lots but also the landscaping and topography of the entire Farragut St.. A more " country feeling " now exists without curbing.

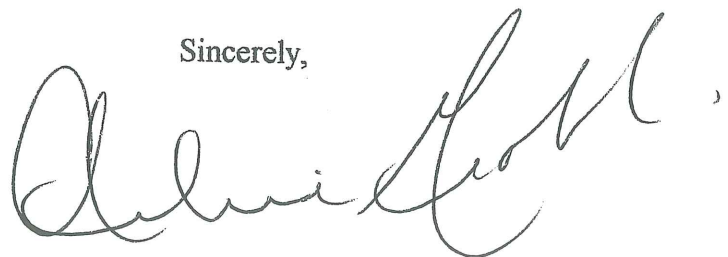
✓ 5. Applies: Engineering of the road extension has been totally predicated around the handling of storm water from not only the site but also the street runoff for nearly 500' up Farragut st. before reaching the development site.

Farragut st. will have 2 storm basins in the street to handle runoff from the road extension surface and will also have 2 swale basins on each side adjacent to the abutting lots to control water runoff on the neighbors property.

The lack of Curbing will be amply compensated by the presence of Storm Drains as well as properly landscaping the Lots at the street boundary.

Thank you for your consideration on Farragut street..

Sincerely,



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0034

Application I. D. Number

02/21/2003

Application Date

Farragut Street

Project Name/Description

Giobbi Archie S &

Applicant

1184 Washington Ave , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 797-2535 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

84 - 84 Farragut St, Portland, Maine

Address of Proposed Site

339 J052001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning **R3**

Check Review Required:

- | | | | |
|---|--|--|---|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input checked="" type="checkbox"/> Subdivision # of lots <u>3</u> | <input type="checkbox"/> PAD Review | <input checked="" type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 02/25/2003

Planning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

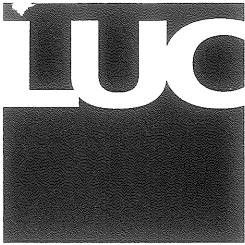
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permit _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |



Land Use Consultants, Inc.

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

February 23, 2003

2763

*p l a n n e r s
e n g i n e e r s
l a n d s c a p e
a r c h i t e c t s*

Sarah Hopkins, Development Review Program Manager
Department of Planning & Urban Development
389 Congress Street
Portland, ME 04101

Farragut Street Development

Dear Sarah:

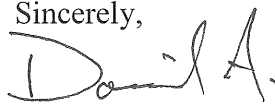
I am submitting herewith a revised plan showing the proposed development of three (3) single-family house lots at the end of Farragut Street. My client is Mr. Archie Giobbi, who recently purchased the lots along with his sister Nicola Woodward from the estate of Joseph Savignano. We had prepared plans for Mr. Savignano in 1994, but never completed the permitting process.

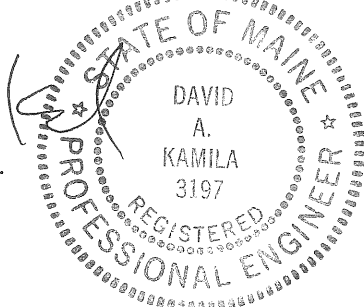
Based on our discussions and preliminary review by Tony Lombardo, we have revised the plan to include drainage inlets on Lots No. 1 and 3. We are proposing another house on Lot No. 3 in addition to the two proposed on Lots No. 1 and 2. We also moved the proposed Turn-around from Lot No. 3 to the vacant Barden Street right-of-way and will pave it as requested.

Our understanding is that this will be reviewed as a Section 14-403 project, subject to staff review only. I have attached nine (9) copies of the completed application form along with a check for \$475.00 as we agreed. I have also included 9 copies of the current deeds, which back reference the Savignano deed and there have been no out conveyances in between. Nine sets of the Plan Sheets 1 and 2 are also attached.

Please call me if you have any questions or require additional documentation.

Sincerely,


David A. Kamila, P.E.
President



cc: Archie Giobbi

dak:DAK

Enclosures

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 3313
f a x (207) 878 0201
www.landuse@gwi.net

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: 83-88 FARRAGUT ST.			Zone: R-3	
Total Square Footage of Proposed Structure		Square Footage of Lot: 3 LOTS = 27,420 SQ. FT.		
Tax Assessor's Chart, Block & Lot		Property owner, mailing address:		Telephone:
Chart# 339 339	Block# J L	Lot# 52-57 25-29	ARCHIE GIOBBI 1184 WASHINGTON AVE. PORTLAND, ME. 04103	
Telephone: 232-5343 (CELL) 797-2535		Consultant/Agent, mailing address, phone & contact person LAND USE CONSULTANTS, INC. 966 RIVERSIDE ST. PORTLAND, ME. 04103 DAVID A. KARRA 878-3313		Applicant name, mailing address & telephone: SAME AS ABOVE
Project name: FARRAGUT STREET		Proposed Development (check all that apply) <input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots 3 \$25.00 per lot \$ 75.00 <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00		
Major Development _____ \$500.00		Minor Development <input checked="" type="checkbox"/> 14-403 \$400.00 \$475.00 TOTAL		
Plan Amendments: _____ Board review \$200.00		_____ Staff review \$100.00		
Who billing will be sent to: ARCHIE GIOBBI Mailing address: 1184 WASHINGTON AVE. State and Zip: PORTLAND, ME 04103 Contact person: SAME Phone: 232-5343				

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 2/21/03
---	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

DATE: 12/12/2002 Loan No:

TAX INFORMATION SHEET

Borrower(s) Name: Archie S. Giobbi and Matilda M. Giobbi

Property: 83-85 and 84-86 Farragut Street, Portland, Maine 04103

Seller(s): Eleanor Savignano

Tax ID Information: Map 339 Block J Lots 52 to 57
Map 339 Block L Lots 25 to 29

Account Number: 35898 and 35922

Tax Authority: Portland Collector of Taxes
Address: P.O. Box 544
Portland, Maine 04101

Phone: 207-874-8300

Date Taxes paid through: 12/31/2002

Next Tax Due Date: 03/01/2003

Times per Year: Semi Annual: 03/01/2003, 09/01/2003

Yearly Tax: \$259.52

WARRANTY DEED
(Statutory Short Form)

ELEANOR SAVIGNANO,

of Cumberland, Rhode Island, for consideration paid, grant to

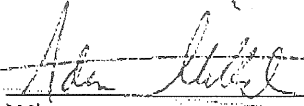
NICOLA M. WOODWARD,

of Scottsdale, Arizona, WITH WARRANTY COVENANTS, the following described real estate in
Portland, County of Cumberland and State of Maine:

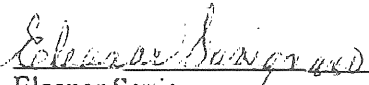
See Exhibit A attached hereto and made a part hereof.

Also hereby conveying all rights, easements, privileges, and appurtenances, belonging to the
premises hereinabove described.

WITNESS my hand and seal this 9th day of December, 2002.



Witness




Eleanor Savignano

STATE OF RHODE ISLAND
Providence County, ss.

December 9, 2002

Then personally appeared the above-named Eleanor Savignano and acknowledged the foregoing
instrument to be her free act and deed.

Before me,



Notary Public
JOANNE HALLAK
My Commission expires
8/16/05

EXHIBIT A

A certain lot or parcel of land, located on Farragut Street in Portland, Cumberland County and State of Maine, known as Tax Map 339 Block E Lots 25, 26, 27, 28 and 29 as shown upon the Tax Maps of the City of Portland Assessor on file in the Assessors Office in the City of Portland, such lots also being described as Lots 1, 2, 3, 4 and 5 as shown on the Plan of Lenoxdale, recorded in the Cumberland County Registry of Deeds in Plan Book 11, Page 15.

For title reference see Deed given by Eleanor Savignano, as Personal Representative of the Estate of Joseph P. Savignano, to Eleanor Savignano, of even or recent date herewith to be recorded prior hereto in the Cumberland County Registry of Deeds.

EXHIBIT A

Certain real estate located in Portland, in the County of Cumberland and State of Maine, and more particularly described as follows: Real Estate, Portland, Maine, Assessor's Plans on file in Assessor's Office, City Hall, Plan 339-J-52 to 57, Farragut Street, 84-86 & Barden Street, such lots being described as Lots No. 113, 115, 117, 119, 121 and 123 as shown on recorded plan of Lenoxdale, as recorded in the said Registry of Deeds in Plan Book 11, Page 15.

For title reference see Deed given by Eleanor Savignano, as Personal Representative of the Estate of Joseph P. Savignano, to Eleanor Savignano, of even or recent date herewith to be recorded prior hereto in the Cumberland County Registry of Deeds.



CITY OF PORTLAND

22 May 2003

Mr. Archie Giobbi, Broker,
Archie Giobbi Real Estate,
1184 Washington Avenue,
Portland, Maine 04103

**RE: The Capacity to Handle an Anticipated Increase in Wastewater Flows,
From Three Proposed Houses,
89, 90 and 94 Farragut Street, Portland, Maine.**

Dear Mr. Giobbi:

The existing eight inch diameter asbestos concrete sanitary sewer pipe, located in Farragut Street has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat**, the anticipated wastewater flows of **810 GPD**, from your proposed houses.

<u>Anticipated Wastewater Flows from the Proposed Houses:</u>	
3 Proposed Houses @ 270 GPD/House	= 810 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 810 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If I can be of further assistance, please call me at 874-8832.

Sincerely,
CITY OF PORTLAND

Frank Brancely
Frank J Brancely, B.A., and M.A.
Senior Engineering Technician

FJB

- cc: Alexander Q. Jaegerman, Acting Co-Director, Department of Planning, and Urban Development, City of Portland
- ✓ Sarah Hopkins, Senior Planner, Department of Planning, and Urban Development, City of Portland
- Eric Labelle, P.E., City Engineer, City of Portland
- Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
- Anthony W. Lombardo, P.E., Project Engineer, City of Portland
- Stephen K. Harris, Assistant Engineer, City of Portland
- Todd Merkle, Field Inspections Coordinator, City of Portland
- Desk file



03P034

TO: Jay Reynolds – Planner
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: 84 Farragut Street
DATE: March 5, 2003

Sebago Technics made a brief site visit on Tuesday, March 4, 2003 and has reviewed the Subdivision Plan Package and supporting documentation for the proposed 3-lot subdivision to be located at 84 Farragut Street. The following comments are submitted in outline format:

1. **Stormwater Management**

Stormwater treatment is not necessary for this project due to its small size (4,800 s.f.). Proposed field inlet pipes are shown as 10-inch diameter PVC. Minimum size storm drain pipe is 12-inch diameter per City Ordinance.

2. **Road Access/Circulation**

No comments.

3. **Grading/Erosion Control**

- A. Proposed grading in area of hammerhead turn around results in a 25% roadway slope.
- B. Appropriate BMPs such as silt fence should be placed along west side of Lot 1 to protect existing adjacent swale.
- C. Elevation 92 contour crosses swale along western side of Lot 1. This contour should be drawn to indicate a ditch section so that stormwater runoff is diverted to north and does not cross Selleck property line.
- D. The existing contours suggest a swale draining across Lot 3 from the east towards proposed dwelling. Flows conveyed by this ditch should be redirected around proposed house/lot to eliminate/reduce flooding at house.

4. **Utility Installation/Location**

- A. Letters must be obtained from utilities stating that adequate capacity exists in proposed sewer, water and natural gas infrastructure.
- B. Will all utility services be installed underground?
- C. Foundation drain locations and inverts should be indicated on plans. Are sump pumps proposed for basements? Are proposed home foundations on slab or basement?
- D. Will a streetlight be installed at hammerhead as part of the project?

5. **General**

- A. Indicate the location of mandated street trees on plans and include an appropriate tree planting detail.
- B. Will blasting of ledge be required to install building foundations or utility trenches?

6. **Details**

- A. Provide catch basin inlet protection detail.

Please contact our office with any questions.

TS:ts/??