

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 070641

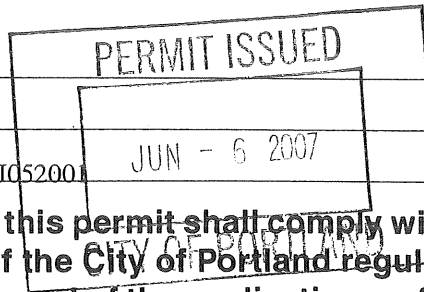
Please Read
Application And
Notes, If Any,
Attached

This is to certify that DUNTON DEAN L. & KIMBERLY I. DUNTON ITS/property owner

has permission to Install a 27' pool

AT 84 FARRAGUT ST

CALL 339-1052001



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Modification of inspection must be given and written permission procured before this building or part thereof is lifted or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

6/5/07 *City I R*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0641	Issue Date: 6/5/07	CBL: 339 J052001
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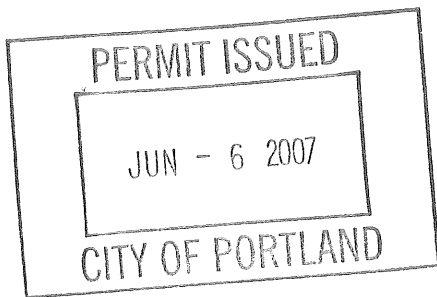
Location of Construction: 84 FARRAGUT ST	Owner Name: DUNTON DEAN L & KIMBERLY	Owner Address: 105 CHUTE RD	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Swimming Pools	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family Install a 27' pool	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 5
Proposed Project Description: Install a 27' pool		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SP Sw Pool R-3 See 44-432 JPLC 2003 Signature: 6/4/07 CL	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 06/01/2007	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input checked="" type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan <i>O.K.</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 6/5/07 <i>CL</i>	Date: _____	Date: 6/5/07 <i>CL</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0641	Date Applied For: 06/01/2007	CBL: 339 J052001
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Location of Construction: 84 FARRAGUT ST	Owner Name: DUNTON DEAN L & KIMBERLY	Owner Address: 105 CHUTE RD	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Swimming Pools	

Proposed Use: Single Family Install a 27' pool	Proposed Project Description: Install a 27' pool
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Dept: Zoning	Status: Approved	Reviewer: Chris Hanson	Approval Date: 06/04/2007
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 06/06/2007
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process. 3) Pool and barrier installation shall meet the code requirements in Appendix G of the IRC 2003			

Comments: 6/4/2007-csh: called owners to ask ?'s on stairs to pool and proposed deck on plan
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Pool Installation/Construction Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>84 Farragut St. Portland, ME 04103</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>DEAN & KIMBERLY DUNTON</u>	Telephone: <u>797-4973</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>84 FARRAGUT ST. PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>4,000</u> ^{\$1,000} Fee: \$ _____
Dimensions of pool: <u>27' round</u> <input checked="" type="radio"/> above or below ground:		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="font-size: small; margin: 0;">DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME</p> <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: 80%;"> <p style="font-size: x-large; margin: 0;">JUN - 1 2007</p> </div> <p style="font-size: x-large; margin: 0;">RECEIVED</p> </div>
Dimensions of decking and/or any platforms, sheds, or other structures:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Kimberly + Dean Dunton</u>		
Mailing address: <u>84 Farragut St Portland ME 04103</u>		
Phone: <u>797-4973</u>		

Please submit all of the information outlined in the pool application checklist. Failure to do so could result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kimberly J. Dunton</u>	Date: <u>5-25-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Cash



Pool Installation/Construction Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- A plot plan showing the shape and dimension of the lot, footprint of the pool and its distance from the actual property lines, and the principal structure. Include any decks or accessory structures
- A complete set of plans that include structural details, size and dimensions and a cross section showing the slope and depth ratios, ~~or~~ for above ground pool, design specifications. Often this information can be obtained from the manufacturer.
- A complete set of construction details for any accessory structures or decks including: pier or foundation layout, framing, fastenings, guards/handrails, baluster spacing and stair dimensions
- Details of required barrier protection including the design of fencing, gates, latches, ladders, or audible alarms (if applicable). Please show where they will be located and how they are constructed. This information can often be obtained from the manufacturer
- Proof of ownership is required if it is inconsistent with the assessors records *ABOVE GROUND POOL IS 52" & SERVES AS BARRIER*

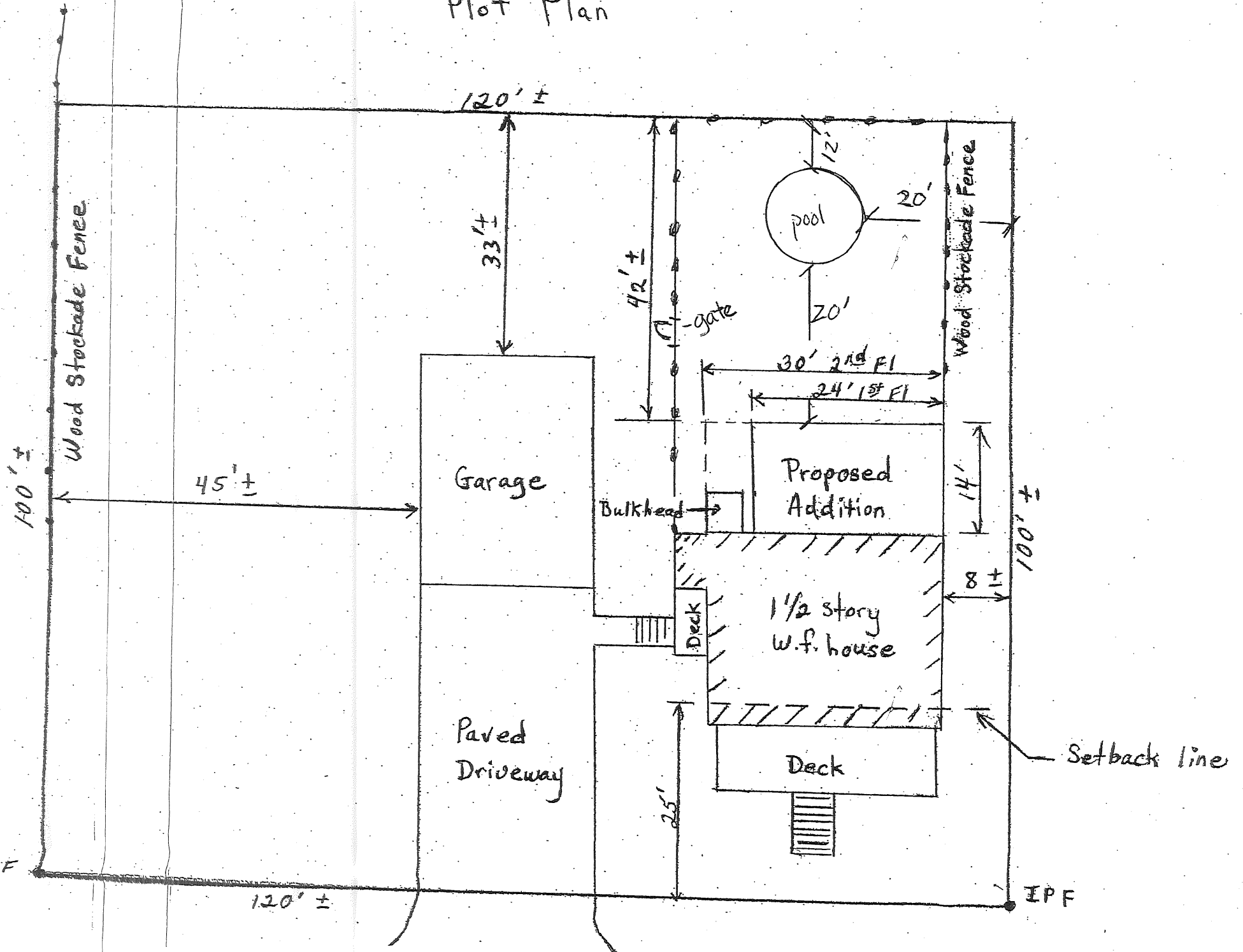
**All pool installations must be conducted in compliance with the
IRC 2003 Building Code Appendix G**

Separate permits are required for HVAC, and electrical installations.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Plot Plan



SECTION AG105 BARRIER REQUIREMENTS

AG105.1 Application. The provisions of this chapter shall control the design of barriers for residential swimming pools, spas and hot tubs. These design controls are intended to provide protection against potential drownings and near-drownings by restricting access to swimming pools, spas and hot tubs.

❖ This section describes the provisions for barriers around residential swimming pools, hot tubs, and spas. A swimming pool or similar facility creates an attractive temptation to children, including very young children and infants who do not know how to swim. The installation of an effective barrier can help reduce the number of children who die or are injured as the result of open access to a swimming pool, spa, or hot tub.

AG105.2 Outdoor swimming pool. An outdoor swimming pool, including an in-ground, aboveground or on-ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following:

1. The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade, such as an aboveground pool, the barrier may be at ground level, such as the pool structure, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).
2. Openings in the barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.
3. Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1.75 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
6. Maximum mesh size for chain link fences shall be a 2.25-inch (57 mm) square unless the fence is provided with slats fastened at the top or the bottom which reduce the openings to not more than 1.75 inches (44 mm).
7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall not be more than 1.75 inches (44 mm).
8. Access gates shall comply with the requirements of Section AG105.2, Items 1 through 7, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate, the release mechanism and openings shall comply with the following:
 - 8.1. The release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate, and
 - 8.2. The gate and barrier shall have no opening greater than 0.5 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.
9. Where a wall of a dwelling serves as part of the barrier one of the following conditions shall be met:
 - 9.1. The pool shall be equipped with a powered safety cover in compliance with ASTM F1346; or
 - 9.2. All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The alarm shall sound continuously for a minimum of 30 seconds immediately after the door is opened and be capable of being heard throughout the house during normal household activities. The alarm shall automatically reset under all conditions. The alarm system shall be equipped with a manual means, such as touchpad or switch, to temporarily deactivate the alarm for a single opening. Such deactivation shall last for not more than 15 seconds. The deactivation switch(es) shall be located at least 54 inches (1372 mm) above the threshold of the door; or
 - 9.3. Other means of protection, such as self-closing doors with self-latching devices, which are approved by the governing body, shall be acceptable so long as the degree of protection afforded is not less than the protection afforded by Item 9.1 or 9.2 described above.
10. Where an aboveground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a ladder or steps, then:
 - 10.1. The ladder or steps shall be capable of being secured, locked or removed to prevent access, or
 - 10.2. The ladder or steps shall be surrounded by a barrier which meets the requirements of Section AG105.2, Items 1 through 9. When the ladder or steps are secured, locked or removed, any opening created shall not allow the passage of a 4-inch-diameter (102 mm) sphere.

❖ This section provides prescriptive requirements for the construction of the swimming pool barrier.

1. The barrier height requirement of 48 inches (1219 mm) above the ground is based on reports that document the ability of children under the age of 5 to climb over barriers that are less than 48 inches (1219 mm) in height. The basis for the 4-inch (102 mm) criterion for an opening between the barrier and the top of the pool frame is the same as for guard construction as addressed in Section R312. Refer to Commentary Figure AG105.2(1).
2. The general provision is applicable only when one of the conditions addressed in Items 4, 5, 6, and 7 is not present. For example, a chain-link fence would be regulated by the requirements of Item 6, which reduces the general opening criterion of 4 inches (102 mm) to 2.25 inches (57 mm). The basis for the 4-inch (102 mm) criterion is the same as for guard construction per Section R312. It is based on studies of the body measurements of children 13 to 18 months old.
3. This provision reduces the potential for gaining a foothold and climbing the barrier.
4. The more stringent 1.75-inch (44 mm) provision for spacing between vertical members applies when the spacing between horizontal members is less than 45 inches (1143 mm). It acknowledges the potential for a child to gain both a handhold and a foothold on closely spaced horizontal members and reduces the potential for a child to gain a foothold by limiting the space between the vertical members on the same barrier. If the horizontal members are spaced less than 45 inches (1143 mm) apart, they must also be located on the swimming pool side of the fence as shown in Commentary Figure AG105.2(2) so that they are not available to be used to climb the barriers.
5. This requirement is the counterpart to Item 4 in that it permits the opening in the barrier to be 4 inches (102 mm) provided the vertical spacing of the horizontal members equals or exceeds 45 inches (1143 mm) as illustrated in Commentary Figure AG105.2(2). It is consistent with Item 2, which limits openings in the barrier to a 4-inch (102 mm) diameter. The spacing of horizontal members 45 inches (1143 mm) apart precludes them from being used by small children to climb the barrier.
6. The 2¹/₄-inch (57 mm) dimension is intended to reduce the potential for a child to gain a foothold [see Figure AG105.2(3)]. The mesh size is permitted to be larger than 2¹/₄-inches (57 mm) square if slats are used to reduce the mesh opening to 1³/₄ inches (44 mm) in order to decrease

the potential for a child to obtain a foothold or handhold.

7. A slightly larger opening is permitted for barriers composed of diagonal members other than chain link fences, on the basis that such barriers would be more difficult to gain a foothold and handhold on than a chain link fence. The 1.75-inch (44 mm) dimension is consistent with Items 4, 5 and 6.
8. A gate represents the same potential hazard relative to climbing as do the other portions of the barrier: therefore, it must be constructed in accordance with applicable Items 1 through 7. Additionally, since the gate also represents a potential breach of the barrier because the gate can be opened, the code provides prescriptive details for the construction and operation of the gate. A self-closing pedestrian gate must open away from the pool because if the latch fails to operate, a child pushing on the gate will not gain immediate access to the pool. Pushing on the gate may also engage the latch. Large, nonpedestrian gates are not required to be self-closing because of prohibitive cost and maintenance concerns coupled with the fact that these gates are typically operated by persons other than small children. The 54-inch (1372 mm) latch height requirement limits the potential for small children to reach and activate the latch. If the latch is located lower than 54 inches (1372 mm), the code's prescriptive location requirements preclude the latch from being activated by small children who are not on the pool side of the gate.
9. Many residential settings with backyard pools use the dwelling as a portion of the barrier required around the pool, such as where the fence bounding the property terminates at the dwelling. This limits access to the pool by unsupervised children around the perimeter of the fence, but there is still a potential for children to access the pool from within the dwelling. Indeed, almost half the children involved in drowning or near-drowning accidents gained access to the pool from the dwelling.

The provisions of this section restrict such access by small children and are applicable to all doors in walls that form a portion of the barrier required around swimming pools.

Protection of such door openings to pool areas can be achieved in any one of the methods described in Items 9.1 through 9.3. The first alternative does not require protection of the exterior door itself but limits access to the pool by means of a power safety cover. The performance criteria specified when this option is selected assures that the power safety cover is an adequate and

reliable barrier to the pool. In Item 9.2, the alarm is configured to allow adults who are accessing the house to open the door, enter the house, and deactivate the system to prevent a false alarm. The touchpad permitted to deactivate the system is required to be mounted 54 inches (1372 mm) above the floor, which is presumed to be beyond the reach of small children.

Item 9.3 permits doors to pool areas to be protected by devices that render the door self-closing and self-latching. Any other requirements would be performance based, as the code only requires equivalency with Items 9.1 or 9.2. One possible criterion could require the release mechanism for the latching device to be located a minimum of 54 inches (1372 mm) above the floor, which is presumed to be beyond the reach of small children. In addition, doors protected by the method specified in Item 9.3 should probably open away from the pool area. This is so that if the door failed to latch, a child outside the pool area pushing against the door would cause it to close and not swing to an open position.

10. The code permits the wall of the pool itself to serve as the barrier to the pool, provided that the wall extends at least 48 inches (1219 mm) above the finished ground level around the perimeter of the pool. Unless capable of being secured, locked, or removed, the ladder must be surrounded by a complying barrier to limit access to the ladder.

AG105.3 Indoor swimming pool. All walls surrounding an indoor swimming pool shall comply with Section AG105.2, Item 9.

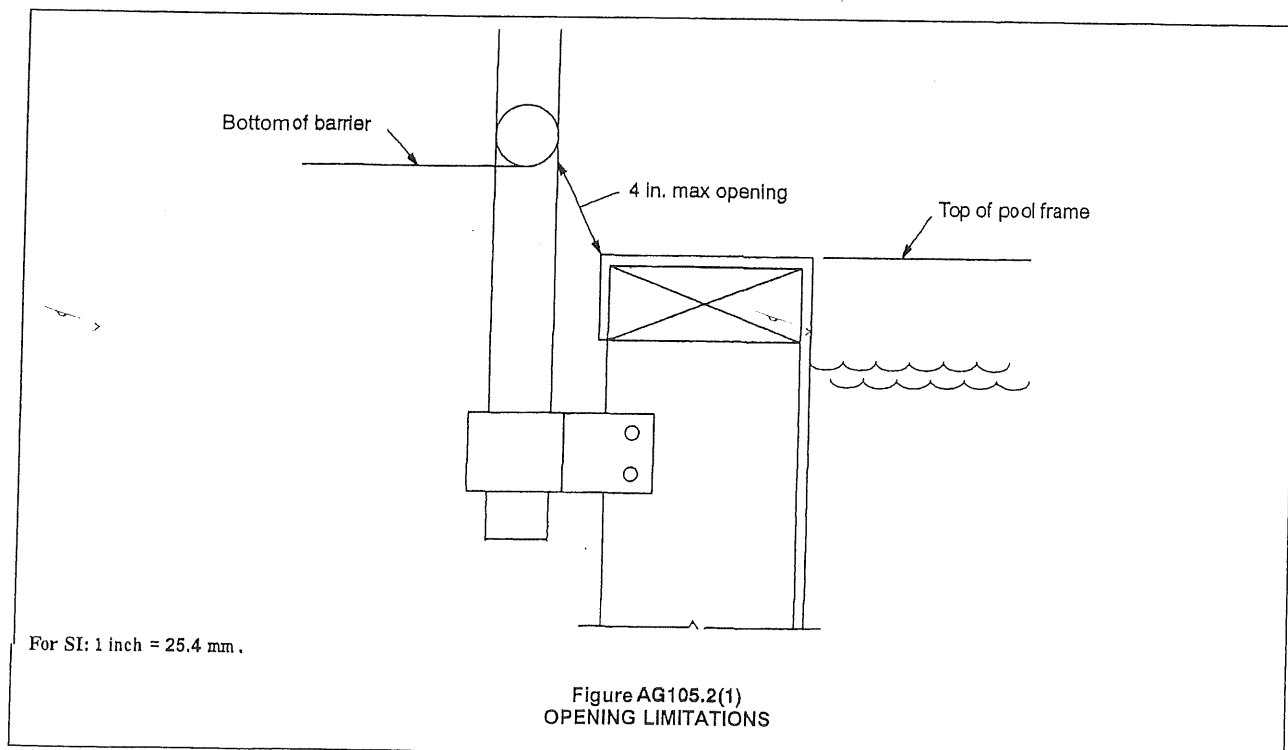
- ❖ Indoor pools represent the same hazards as outdoor pools. For this reason, the walls and doors surrounding an indoor swimming pool are regulated in the same manner as an exterior wall of a dwelling where the wall is used as a barrier for an outdoor pool. The provisions of Section AG105.2, Item 9 apply in their entirety.

AG105.4 Prohibited locations. Barriers shall be located so as to prohibit permanent structures, equipment or similar objects from being used to climb the barriers.

- ❖ The purpose of a swimming pool barrier would be defeated if children could climb on benches, planters, pumps, and similar permanent features adjacent to the barrier and gain access to the pool area. Therefore, the area adjacent to the barrier must be carefully designed and constructed to avoid such a condition. This provision is performance in character and must be reviewed on a case-by-case basis.

AG105.5 Barrier exceptions. Spas or hot tubs with a safety cover which complies with ASTM F 1346, as listed in Section AG108, shall be exempt from the provisions of this appendix.

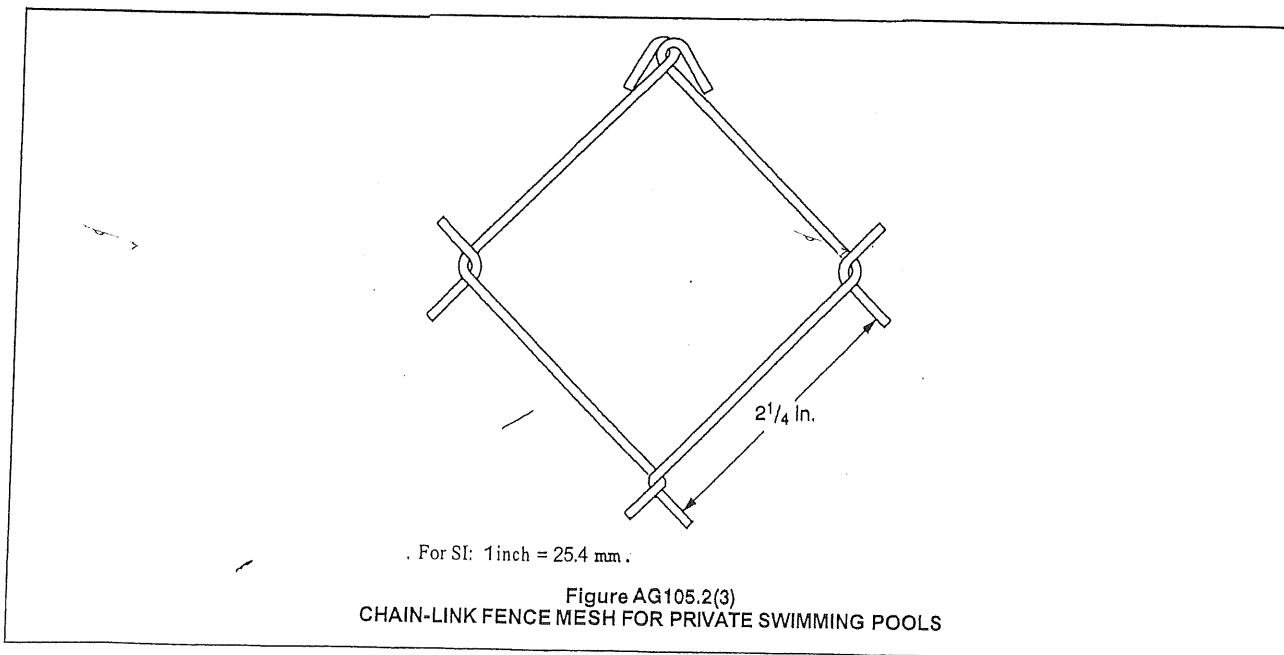
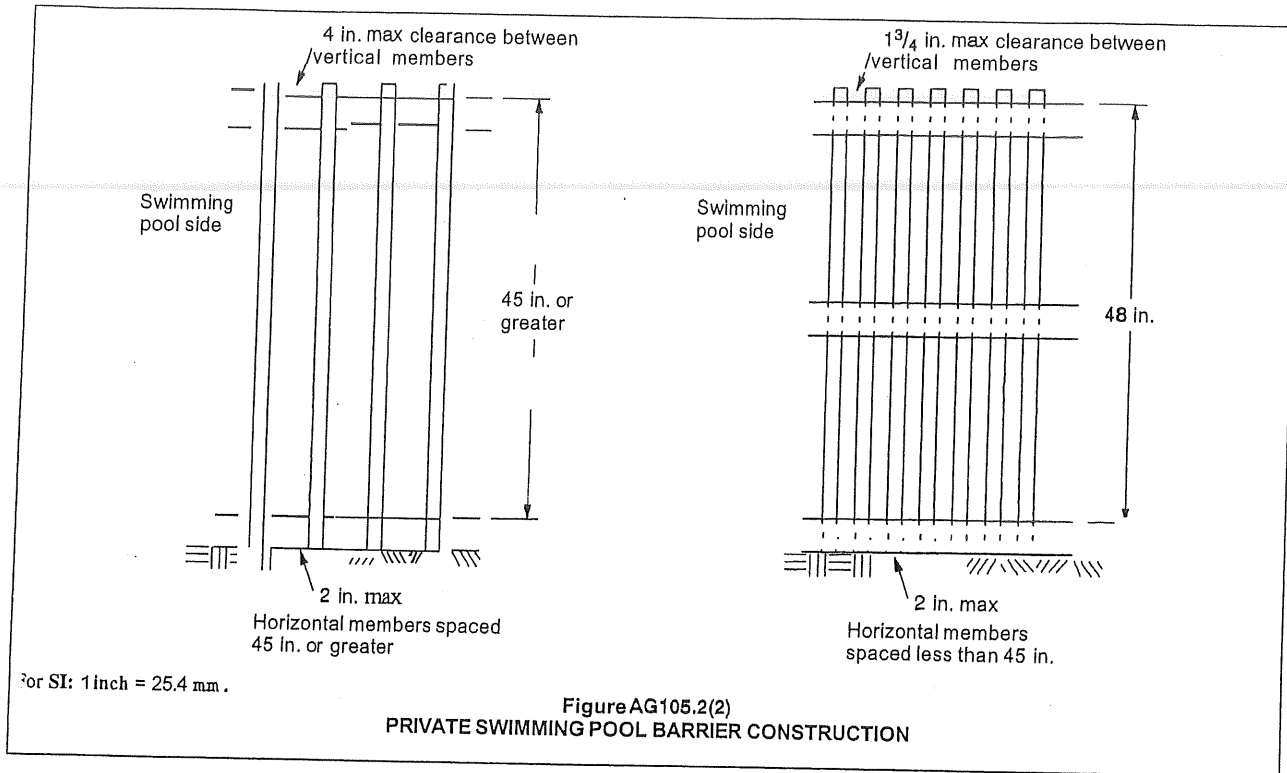
- ❖ The provisions of this appendix chapter are not applicable to spas and hot tubs where an approved safety cover serves as the protective barrier. The requirements of ASTM F 1346 contain a number of criteria so that the safety cover can provide an equivalent level of



protection as that provided by a swimming pool enclosure barrier. The following requirements are representative of several of the specifications found in the standard:

1. There should be a means of fastening the safety cover to the hot tub or spa, such as key locks, combination locks, special tools or similar devices that will prohibit children from removing or operating the cover. The fastening mechanism, design, and location are vital components that help prevent a child's entry to the water.

2. The safety cover should have a label that provides a warning and message regarding the risk of drowning. The label is also very important for



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 339 J052001
 Location 84 FARRAGUT ST
 Land Use SINGLE FAMILY
 Owner Address DUNTON DEAN L & KIMBERLY J DUNTON JTS
 105 CHUTE RD
 WINDHAM ME 04062
 Book/Page 23248/191
 Legal 339-J-52-53-54
 FARRAGUT ST 84-88
 7759 SF

*R-3 Zone
 10' from str.
 10' side lines
 10' rear "*

Current Assessed Valuation

Land \$62,500 Building \$134,600 Total \$197,100

Property Information

Year Built 2006 Style Split Level Story Height 1 Sq. Ft. 1901 Total Acres 0.178
 Bedrooms 4 Full Baths 2 Half Baths Total Rooms 7 Attic None Basement Full

Outbuildings

Type Quantity Year Built Size Grade Condition

Sales Information

Date	Type	Price	Book/Page
10/11/2005	LAND	\$90,741	23248-191
07/21/2005	LAND	\$91,100	22920-316
01/20/2005	LAND	\$86,500	22245-153
06/01/2003	LAND	\$37,500	19625-322
12/01/2002	LAND	\$15,000	18544-271

Picture and Sketch

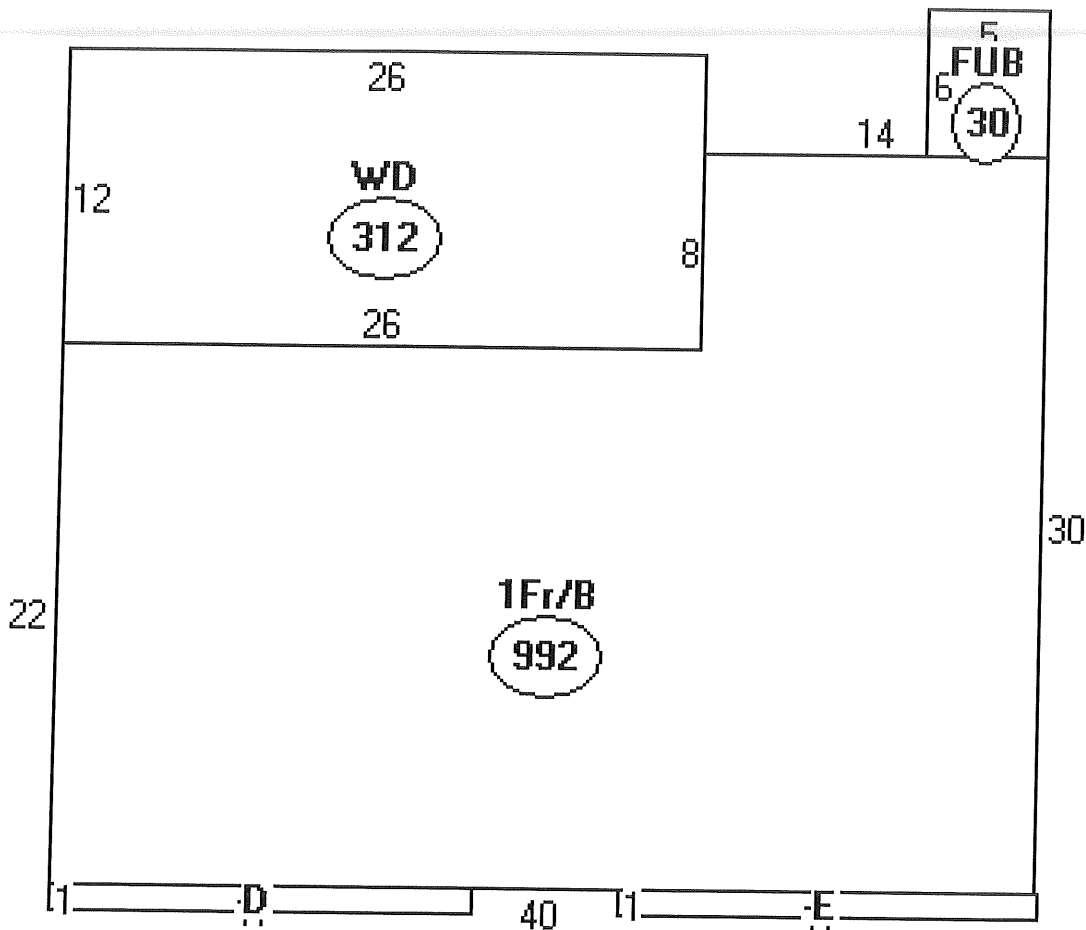
[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



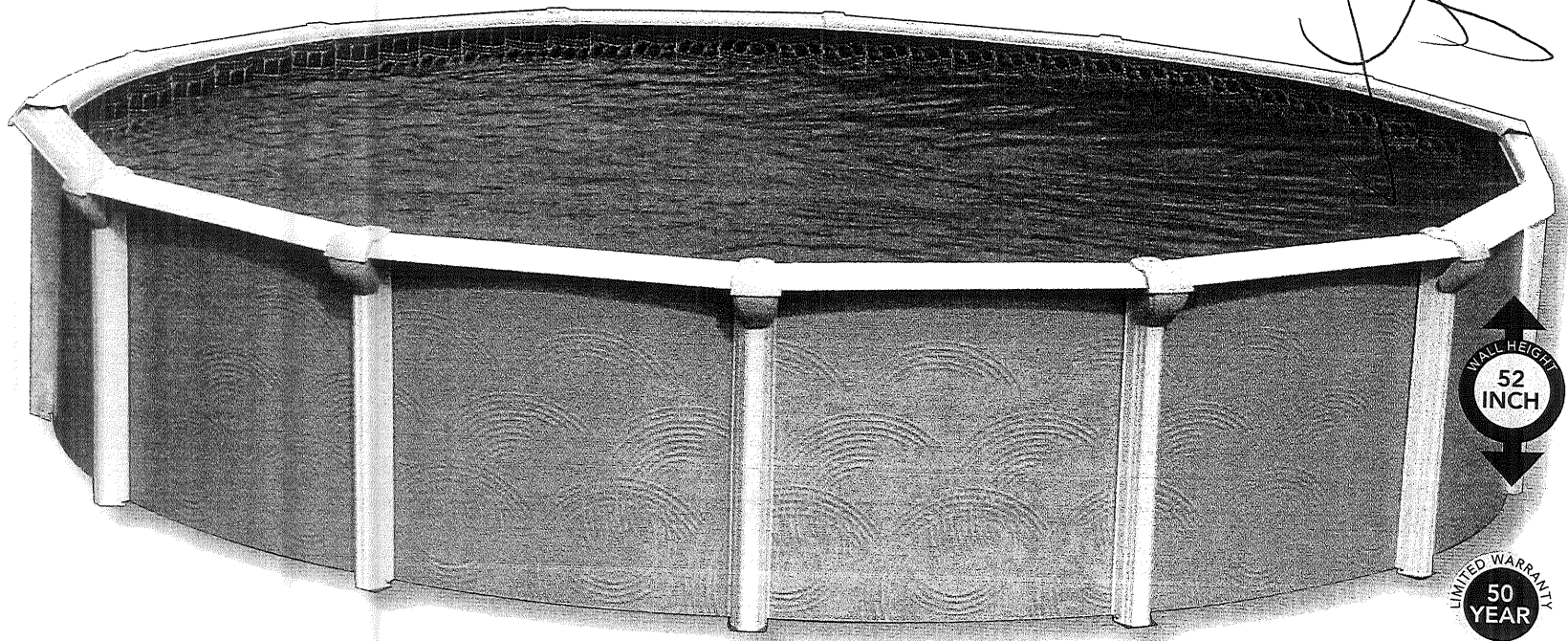


Descriptor/Area

- A: 1Fr/B
992 sqft
- B: WD
312 sqft
- C: FUB
30 sqft
- D: 1Fr
17 sqft
- E: 1Fr
17 sqft

CATALINA — Strong and durable

With a 9" frame, the Catalina is a pool you'll have a long time.



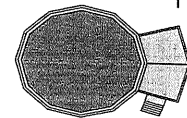
Features

- Liner** - All-Weather EZ Hook Metal Diamond Print Liner
- Wall** - Sunset Designer Steel Wall
- Top Seats** - 9" Deluxe Contoured Steel
- Verticals** - 9" Deluxe Boxed Steel
- Tracks** - 1" Steel Universal Top & Bottom Rails
- Seat Cover** - 2-Piece Resin Seat Cover
- Plates** - Steel Universal Top & Bottom Plates

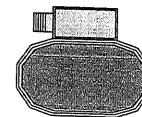
Available Sizes

- 15' Round
- 18' Round
- 21' Round
- 24' Round
- 27' Round
- 30' Round
- 33' Round
- 25' x 15' Oval
- 30' x 15' Oval
- 33' x 18' Oval
- 41' x 21' Oval

Deck Options



Two-piece
Fantail Deck



Side
Deck

NamcoPool.com

Cool Pools®

NAMCO
POOLS PATIO • GAME ROOM • HOLIDAY



46.81'

102'-0 +/- TO PROPERTY LINE

14-432 O.K. d.m.
10' setbacks left side + rear

14' +/-
14'-1 1/4"

POOL 18'-6"

34'-0 +/-

OWNER STATES Deck will be separate permit and STAIRS to pool will be able to pool locked spring water. DECK ADDITION 380 +/-
PLAN A
SCALE 1/8" = 1'-0"
27' D. POOL

deck not included in this permit will apply later job

24'

DECK ADDITION

EXISTING DECK

MUDROOM

BEDROOM 12'x8'

BATH

KITCHEN

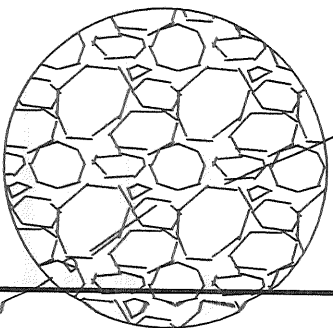
BEDROOM 12'x8'

LIVING 12'x6'

ENTRY

CITY OF PORTLAND SETBACK

RIP-RAP BASIN



PROPOSED SEWER
PROPOSED DRAIN

PROPOSED WATER

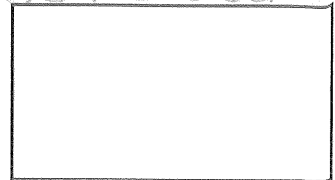
PROPOSED PAVED DRIVE (8' WIDE)



FILL IN AND SIGN WITH INK

339J 052

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL _____ Use of Building RESIDENTIAL Date 03-28-06

Name and address of owner of appliance DEAN + KIM BUNTON
84 FARRAGUT ST. PORTLAND, ME.

Installer's name and address SHELDON GOLDMAN
31 PEARY TERRACE, SO. PORTLAND, ME. Telephone 799-6211

Location of appliance:

- Basement
- Floor
- Attic
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: WISEMANN

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # MC 30002800
- Gas # _____
- Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____ UL# _____

Type of Fuel Tank

- Oil
- Gas

Size of Tank 275

Number of Tanks 1

Distance from Tank to Center of Flame 25 feet.

Cost of Work: \$ 6,500

Permit Fee: \$ 84.00

Approved

Approved with Conditions

Fire: _____

Ele.: _____

Bldg.: _____

See attached letter or requirement

Inspector's Signature _____

Date Approved _____

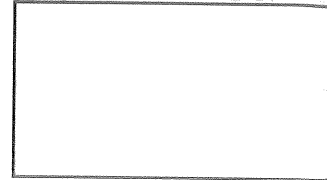
Signature of Installer _____



FILL IN AND SIGN WITH INK

339 J 052

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL _____ Use of Building RESIDENTIAL Date 03-28-06

Name and address of owner of appliance DEAN + KIM BUNTON
84 FARRAGUT ST. PORTLAND, ME.

Installer's name and address SHELDON GOLDMAN
31 PEARY TERRACE SO. PORTLAND, ME. Telephone 799-6211

Location of appliance:

- Basement
- Attic
- Floor
- Roof

Type of Fuel:

- Gas
- Oil
- Solid

Appliance Name: WISEMANN

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # MS 30002800
- Gas # _____
- Other _____

Type of Chimney:

Masonry Lined
Factory built _____

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type _____

Type of Fuel Tank

- Oil
- Gas

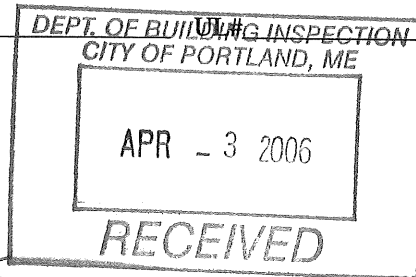
Size of Tank 275

Number of Tanks 1

Distance from Tank to Center of Flame 25 feet.

Cost of Work: \$ 6,500

Permit Fee: \$ 84.00



Approved

Fire: _____

Ele.: _____

Bldg.: _____

Signature of Installer _____

Approved with Conditions

See attached letter or requirement

Inspector's Signature _____

Date Approved _____

ELECTRICAL PERMIT

City of Portland, Me.

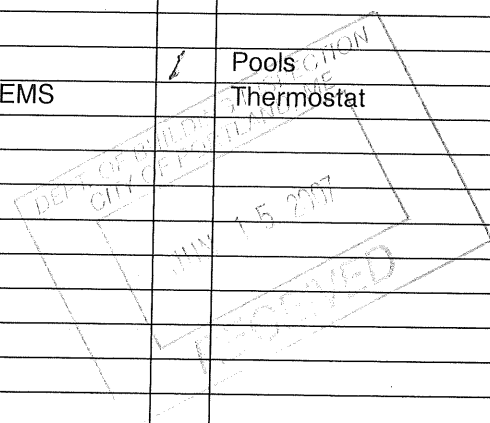


To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 6/15/07
 Permit # 2007-4430
 CBL# 339-J-52

LOCATION: 84 Farragut St. METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Kim Dunton
 TENANT _____ PHONE # _____

						TOTAL EACH FEE	
OUTLETS	Receptacles	Switches	Smoke Detector			.20	
FIXTURES	Incandescent	Fluorescent	Strips			.20	
SERVICES	Overhead	Underground	TTL AMPS <800			15.00	
	Overhead	Underground	TTL AMPS >800			25.00	
Temporary Service	Overhead	Underground	TTL AMPS			25.00	
						25.00	
METERS	(number of)					1.00	
MOTORS	(number of)					2.00	
RESID/COM	Electric units					1.00	
HEATING	oil/gas units	Interior	Exterior			5.00	
APPLIANCES	Ranges	Cook Tops	Wall Ovens			2.00	
	Insta-Hot	Water heaters	Fans			2.00	
	Dryers	Disposals	Dishwasher			2.00	
	Compactors	Spa	Washing Machine			2.00	
	Others (denote)					2.00	
	MISC. (number of)	Air Cond/win				3.00	
		Air Cond/cent		✓ Pools		10.00	
		HVAC	EMS	Thermostat		5.00	
	Signs				10.00		
	Alarms/res				5.00		
	Alarms/com				15.00		
	Heavy Duty(CRKT)				2.00		
	Circus/Carnv				25.00		
	Alterations				5.00		
	Fire Repairs				15.00		
	E Lights				1.00		
	E Generators				20.00		
PANELS	Service	Remote	Main			4.00	
TRANSFORMER	0-25 Kva					5.00	
	25-200 Kva					8.00	
	Over 200 Kva					10.00	
						TOTAL AMOUNT DUE	
MINIMUM FEE/COMMERCIAL 55.00						MINIMUM FEE	<u>45.00</u>



CONTRACTORS NAME Macisso Electric MASTER LIC. # 07055
 ADDRESS 28 Bismark St LIMITED LIC. # _____
 TELEPHONE 339-7576

SIGNATURE OF CONTRACTOR John Macisso 1368