

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0510	Issue Date: JUN 19 2002	CBL: 339 F010001
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Location of Construction: 15-19 Haskell St <i>called LOT # 2</i>	Owner Name: Brackett, Dwight	Owner Address: 84 Country Lane CITY OF PORTLAND	Phone: 772-8629
Business Name:	Contractor Name: Brackett, Dwight	Contractor Address: 84 Country Lane Portland	Phone: 2077728629
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Lot	Proposed Use: New Single Family with Attached Garage	Permit Fee: \$653.00	Cost of Work: \$90,000.00	CEO District:
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Proposed Project Description: Construct New 26'x36' Split-Level Single Family w/Garage and 12'x12' Side Deck	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B 6/19/02 <i>[Signature]</i>
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Permit Taken By: jodinea	Date Applied For: 05/14/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NO</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 Zone 1</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2002-0124</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>6/19/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

(Lot #2 on left)
7/12/02 - Checked foundation - drainage and weather
proofing OK - Stones OK - no problems seen in the
foundation - OK to Backfill

8/12/02 - Draining, Elec, H₂O Close on - ok to Close
ok - Stairs for cellar to 1st landing
Very tight at rise - discussed w/contractors

9/27/02 - for temp c/o - No -

10/7/02 Spoke w/ Kc. He did a Bull's eye. Everything was
complete except the exterior stairs, which I inspected
on 10/3/02. Ready for c/o. JR

339-F-010

02-0516



Certificate of Occupancy

LOCATION 15-19 Haskell St lot #2 CBL 339 F010001

Issued to Brackett, Dwight/Brackett, Dwight Date of Issue 10/07/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0516, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Single Family Dwelling w/ attached garage

APPROVED OCCUPANCY

Use Group R-3 Type 5b (Boca 1999)

Limiting Conditions:

Single family dwelling only. Any new work shall require separate permit(s)

This certificate supersedes certificate issued

Approved:

10/07/02
(Date)

[Signature]
Inspector

[Signature] 10/18/02
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

2-0516

Building

Approved with Conditions

Mike Nugent

Sent back to Marge at her request 6/18/02 MJN

06/18/2002

06/13/2002



Mike Nugent

06/18/2002

Permit cannot be released until code compliant responses to the 6/18/02 memo are provided.

05/17/2002

lod/nea

06/18/2002

mjn

FAKED
TO DWIGETS B.
ON 6/18/02
[Signature]

Memo

To: Dwight Brackett
From: Mike Nugent
Date: 06/18/2002
Re: 15-19 Haskell St. (339 F010)

The following information must be provided prior to the release of Permit # ~~15-19~~ for a single family home:

- 1) Bearing wall detail *2x4 16" oc. DOUBLE TOP PLATE PT BOT.*
- 2) Steel beam info ✓
- 3) Interior stairway handrail / ~~guard rail~~ detail *34" TO 38"*
- 4) Front stairway landing dimensions, treads risers guar detail ✓
- 5) Egress windows? ✓
- 6) ~~Tell me a bit more about the "all fuel" chimney (product info, UL listing etc.)~~ *MASONRY*
- 7) Union between the Steel beam and the 3- 2" X 10" girder ✓
- 8) How are we compensating for the opening in the floor for the "chimney"?

Application Number: 2-0516

Department: Zoning

Status: Pending

Applicant: Marge Schmuckal

Address: 17 Haskell St (called lot #2)
this is actually 26'x40' and 12'x12' deck
6/13/02 requested a revised deed description that shows
the lot in question. What is submitted is showing lots of lots.
6/17/02 received fax with the new deed description

Received Date: 06/18/2002

Print Date: 05/20/2002

Marge Schmuckal 06/18/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages. Currently a 12' x 12' deck is being shown on the rear of this property.

This street is considered to be a 14-403 street and shall be brought up to City Standards from the end of the closest pavement to the farther end of this property PRIOR to a temporary or permanent occupancy permit.

05/17/2002 iodinea 06/18/2002 mes

2002-0124

02-0516

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

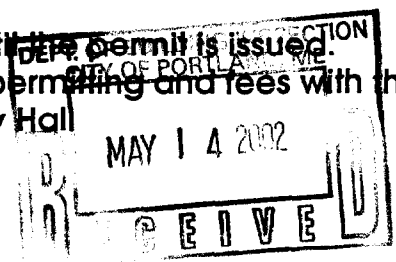
Location/Address of Construction: <u>15-19</u> LATTA <u>HASKELL ST</u> <u>1012</u>		
Total Square Footage of Proposed Structure <u>960 SQ. FT.</u>	Square Footage of Lot <u>7500 SQ. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>339</u> Block# <u>F</u> Lot# <u>010</u>	Owner: <u>DWIGHT BRACKETT</u>	Telephone: <u>772-8629</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: \$ <u>90,000⁰⁰</u> Fee: \$ <u>653-</u>
Current use: <u>SINGLE FAMILY</u>	<u>NO</u> + minor minor	
If the location is currently vacant, what was prior use: <u>NEW SUBDIVISION</u>	<u>400-</u>	
Approximately how long has it been vacant: <u>10YR</u>		
Proposed use: <u>26x36 WITH GARAGE</u>	<u>ADDITION</u>	
Project description:		
Contractor's name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u>		
Mailing address: <u>DWIGHT BRACKETT</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-8629</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dwight Brackett</u>	Date: <u>5/16/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Submitted for lot # 2 - This does Not describe

0050234

BK 517 PG 104

The submitted plans
16517/104

STATUTORY WARRANTY DEED

MAINE REAL ESTATE TAX PAID

I, GEORGE E. CHRISTY, of Standish, in the County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

DIVERSIFIED PROPERTIES, INC., a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine, with a mailing address of P.O. Box 10127, Portland, Maine 04104

A certain lot or parcel of land with the buildings and improvements thereon, situated on Woodbury Street and Haskell Street in the City of Portland, County of Cumberland and State of Maine, and being lot numbered two hundred fifty-three (253) through two hundred fifty-seven (257) and lots two hundred sixty-five (265) through two hundred seventy-three (273) as shown on Plan of Harris Farms, made by E.C. Jordan & Co., Civil Engineers, dated June 5, 1919, recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19. → ?

Being a portion of the premises conveyed to Grantor herein by deeds from Phyllis D. Smith, Thelma I. Casey and Ellwin R. Maines dated May 9, 1984, December 21, 1985 and July 22, 1988 and recorded at the Cumberland County Registry of Deeds in Book 6448, Page 260; Book 7066, Page 169; and Book 8398, Page 187 respectively.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at closing, which the Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

WITNESS my hand this 10th day of July, 2001.

Jayce M. Yates

George E. Christy
George E. Christy

BK 16517 P 105

STATE OF MAINE
CUMBERLAND, SS.

July 10, 2001

Then personally appeared the above-named GEORGE E. CHRISTY and
acknowledged the foregoing instrument to be his free act and deed.

Before me,

Joyce M. Yates
Attorney at Law / Notary Public

SEAL

JOYCE M. YATES
NOTARY PUBLIC MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

RECEIVED
RECORDED REGISTRY OF DEEDS

2001 JUL 11 PM 2:38

CUMBERLAND COUNTY

John B. Albion

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

339-F-10

2002-0124
Application I. D. Number

05/14/2002
Application Date

Haskell Street
Project Name/Description

Diversified Properties Inc
Applicant
Po Box 10127, Portland, ME 04104
Applicant's Mailing Address

#17 Haskell St, Portland, Maine
Address of Proposed Site
339 F010001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax
Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
960sq ft Proposed Building square Feet or # of Units 7,500sq ft Acreage of Site _____ Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 05/17/2002

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** See Attached Denied

Approval Date **06/06/2002** Approval Expiration **06/06/2003** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** signature **06/06/2002** date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0124

Application I. D. Number

Diversified Properties Inc

Applicant

05/14/2002

Application Date

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Haskell Street

Project Name/Description

Consultant/Agent

Haskell St , Portland, Maine

Address of Proposed Site

Agent Ph:

Agent Fax:

339 F010001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

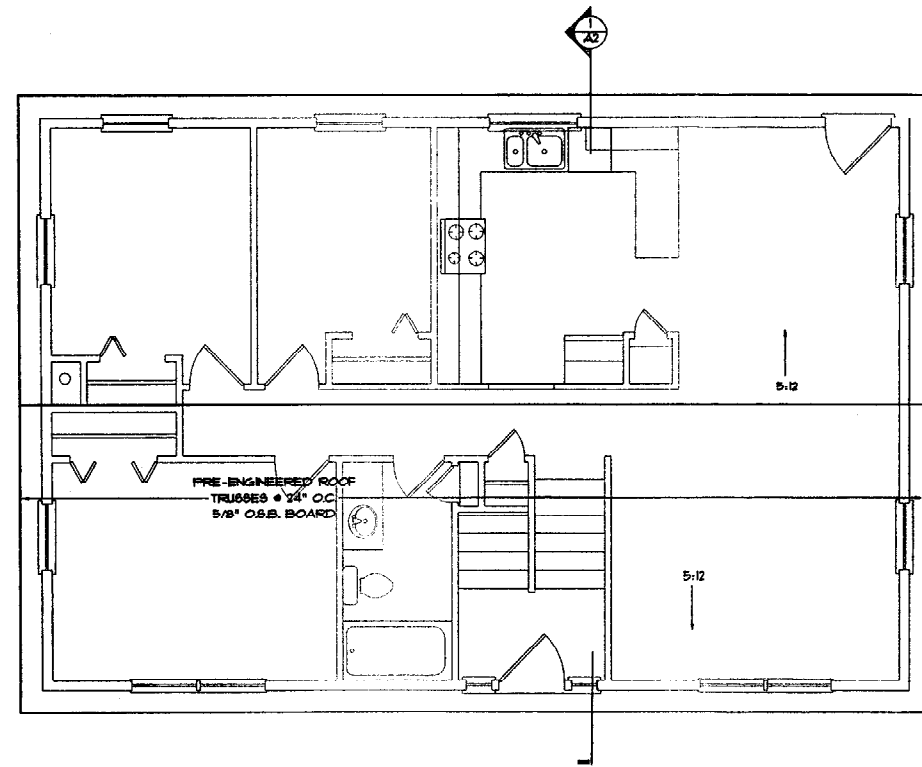
- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 17 HASKELL STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.I.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/16" O.S.B. SHEATHING @ EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.I.B. EACH SIDE.
3. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
4. THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

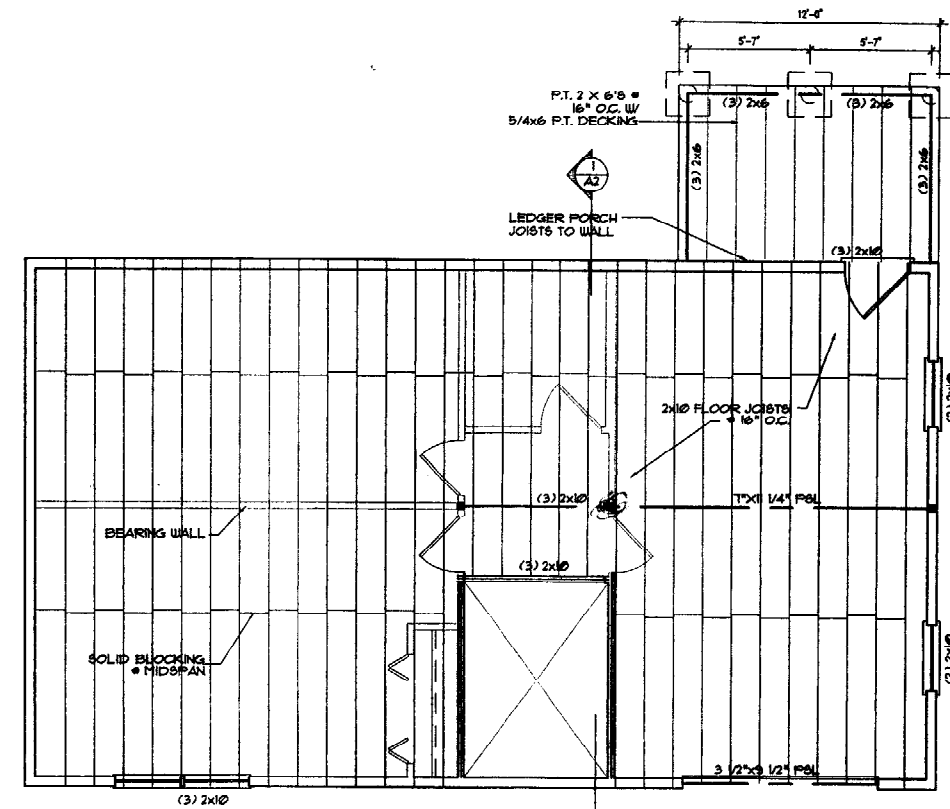
FOUNDATION NOTES:

1. PROVIDE GILL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. DOUBLE FLOOR FRAMING BELOW ALL PARTITIONS AND KITCHEN CABINET FACES / TOES.
9. SET ALL FOOTINGS ON UNDISTURBED SOIL.



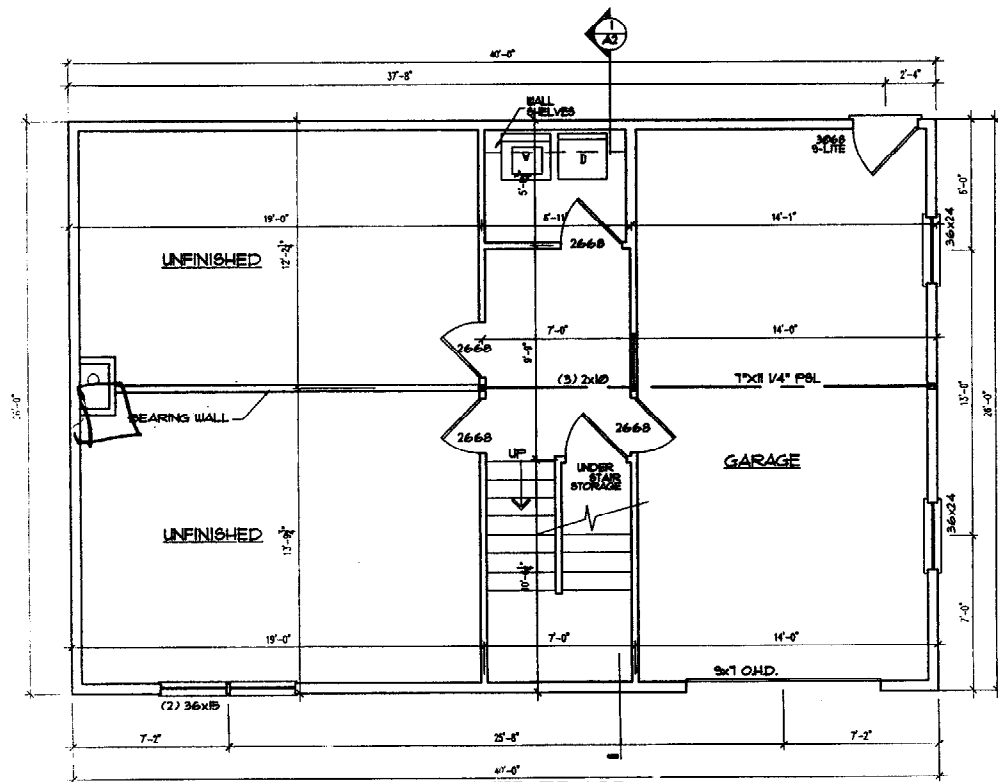
ROOF PLAN

SCALE: 1/4"=1'-0"



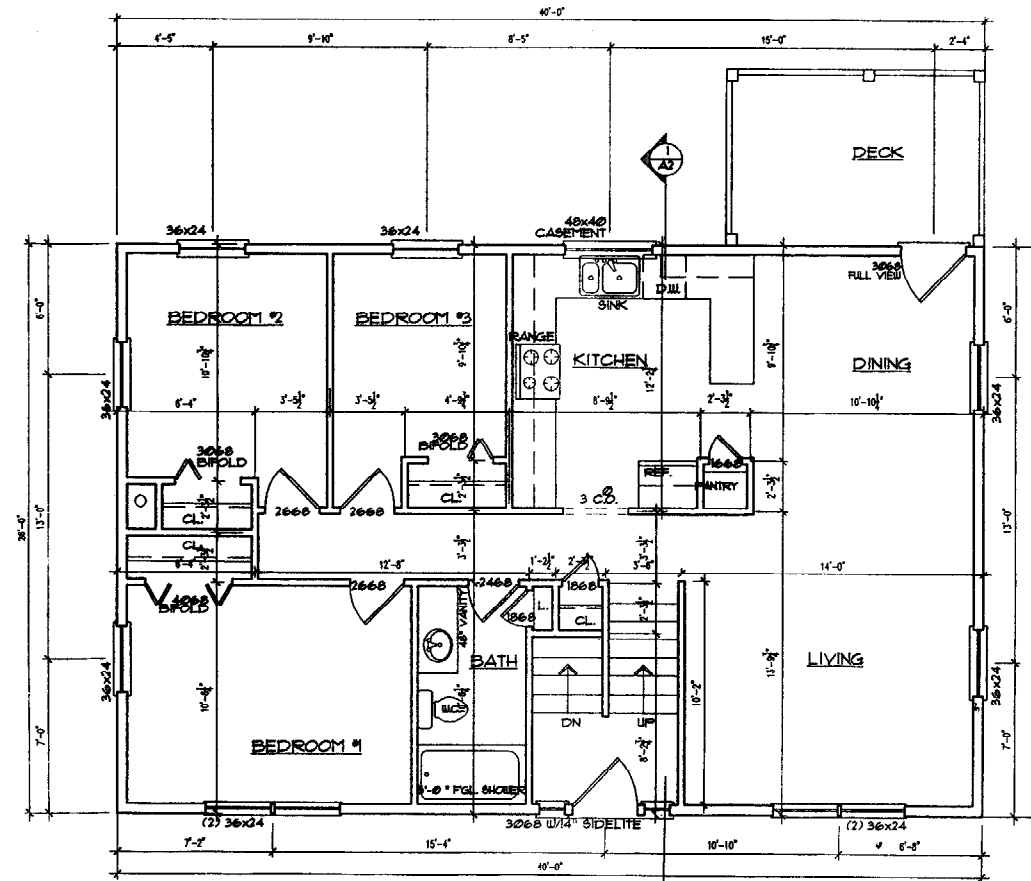
FRAMING PLAN

SCALE: 1/4"=1'-0"



LOWER LEVEL PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

1,008 S.F. FIRST FLOOR

SCALE: 1/4"=1'-0"

REVISIONS

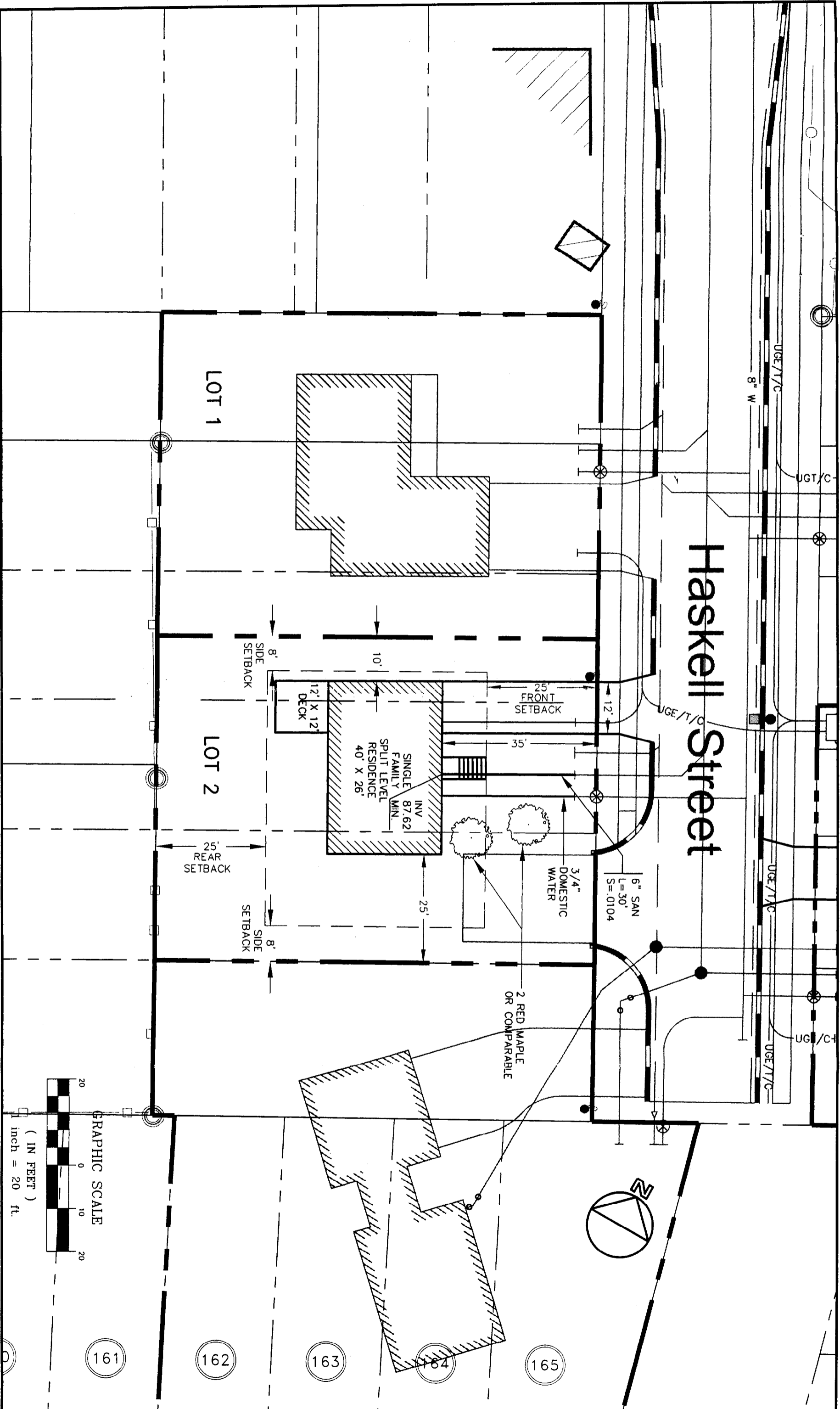
#	DATE	DESCRIPTION

DATE:	04/11/02
PROJECT #:	
DRAWN BY:	DLP
CHECKED BY:	
DRAWING SCALE:	

SHEET TITLE

FLOOR PLANS
FRAMING PLAN

A-1



Rev.	Date	Revision

Design:	DEB	Date:	APRIL 2002
Draft:	SGB	Job No.:	5522
Checked:	AMP	Scale:	1" = 20'
File Name:	5522-SP.dwg		

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gory, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: gpc@maine.rr.com

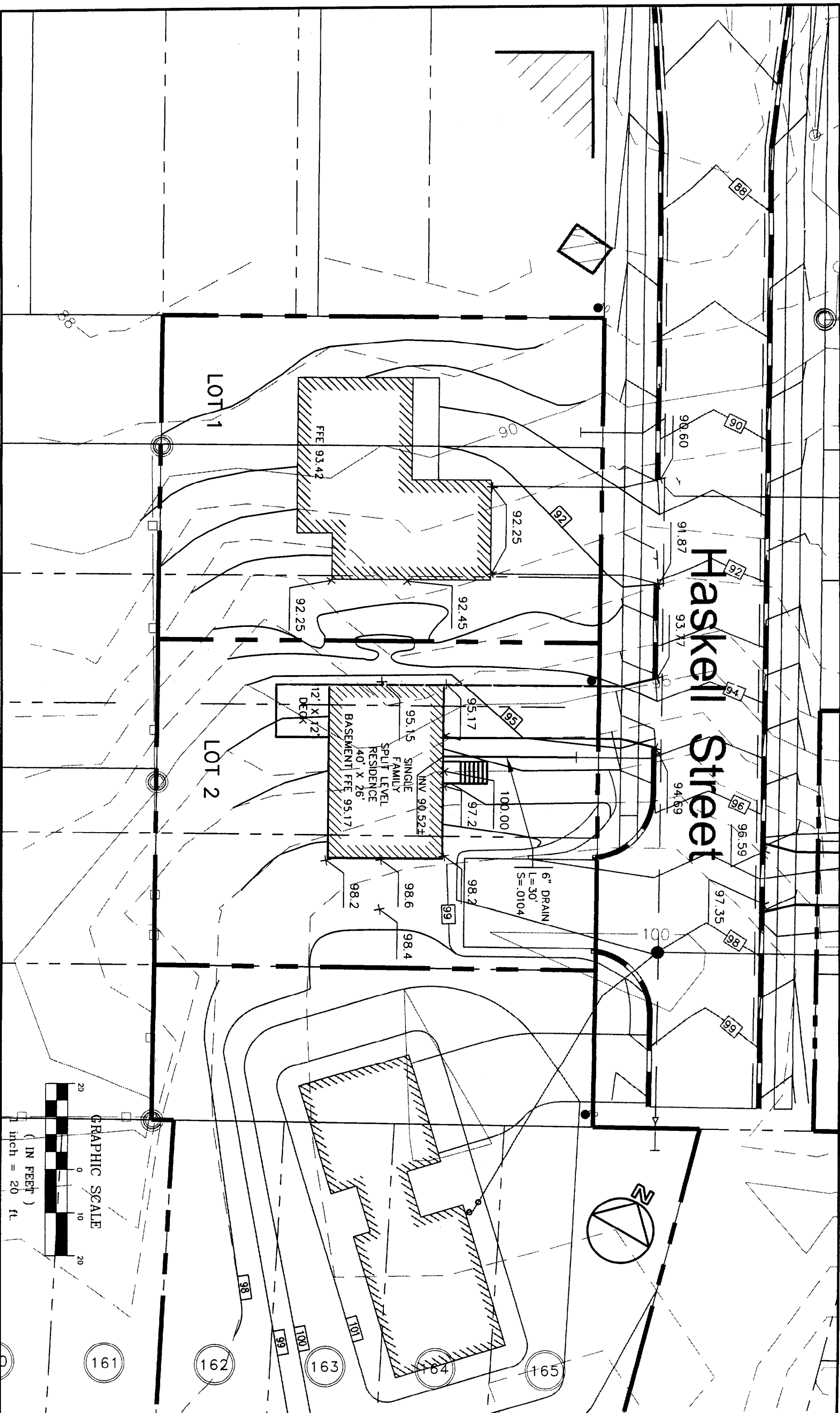
Drawing Name:
LOT 2 SITE LAYOUT & UTILITY PLAN

Project:
HASKELL STREET, PORTLAND

Figure No.
2



161 162 163 164 165



Rev.	Date	Revision

Design: DER Date: APRIL 2002
 Draft: SGB Job No.: 552.2
 Checked: AMP Scale: 1" = 20'
 File Name: 552.2-SP.dwg

GP Gorill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gray ME 04039

207-657-6910
 FAX: 207-657-6912
 E-Mail: gpe@online.tn.com

Drawing Name:
Lot 2 Grading & Drainage Plan
HASKELL STREET, PORTLAND

Figure No.
3

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: October 4, 2002
RE: C. of O. for 17 Haskell Street
(339-F-010) (2002-0124)

After visiting 17 Haskell Street, I have the following comments:

Site work complete.

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Michael Nugent, Inspection Services Manager

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