

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061201

This is to certify that DIVERSIFIED PROPERTIES INC /Diversified Properties,has permission to Build 24' x 32' single family home no garageAT ³⁵ BARCLAY AVE339 D009001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

ification of inspection must be
 en and when permission proceed
 ore this building or part thereof is
 ed or service closed-in 4
 UR NOT REQUIRED

A certificate of occupancy must be
 procured by owner before this build-
 ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD**WITHDRAWN**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1201	Issue Date:	CBL: 339 D009001
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Location of Construction: 35 39 BARCLAY AVE	Owner Name: DIVERSIFIED PROPERTIES INC	Owner Address: PO BOX 10127	Phone:
Business Name:	Contractor Name: Diversified Properties, Inc	Contractor Address: P.O. Box 10127 Portland	Phone: 2077734988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home/ Build 24' x 32' single family home no garage	Permit Fee: \$1,175.00	Cost of Work: \$108,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: Build 24' x 32' single family home no garage	Signature: EDB TIGAN ACTIVITIES DISTRICT (P.A.D.)
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

WITHDRAW

Permit Taken By: ldobson	Date Applied For: 08/14/2006	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>part 6 - zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0149</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>9/18/06</i> <i>Asse</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Asse</i> Date:
	<i>on hold</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1201	Date Applied For: 08/14/2006	CBL: 339 D009001
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Location of Construction: 35 BARCLAY AVE	Owner Name: DIVERSIFIED PROPERTIES INC	Owner Address: PO BOX 10127	Phone:
Business Name:	Contractor Name: Diversified Properties, Inc	Contractor Address: P.O. Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home/ Build 24' x 32' single family home no garage	Proposed Project Description: Build 24' x 32' single family home no garage
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Dept: Zoning	Status: Pending	Reviewer: Ann Machado	Approval Date:
Note: The permit is on hold because the creation of this lot has led to subdivision and we need to wait for subdivision approval.			Ok to Issue: <input type="checkbox"/>
1) Separate permits shall be required for future decks, sheds, pools, and/or garages.			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
4) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.			
Dept: Building	Status: Pending	Reviewer: Residential Plan Revie	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

Dept: Engineering	Status: Approved	Reviewer: Jessica Hanscom	Approval Date: 08/21/2006
Note: Assigned 35 Barclay Av to the proposed house on this lot, based on App. 2006-0149.			Ok to Issue: <input type="checkbox"/>
Dept: DRC	Status: Pending	Reviewer:	Approval Date:
Note: gave to legal to evaluate subdivision implications (9/6)			Ok to Issue: <input type="checkbox"/>
Dept: Planning	Status: Approved with Conditions	Reviewer: Jean Fraser	Approval Date: 10/23/2007
Note: App. Relates to Subdiv only-Plat signed & recorded and includes 4th unit			Ok to Issue: <input type="checkbox"/>

Location of Construction: 35 BARCLAY AVE	Owner Name: DIVERSIFIED PROPERTIES INC	Owner Address: PO BOX 10127	Phone:
Business Name:	Contractor Name: Diversified Properties, Inc	Contractor Address: P.O. Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

1) Conditions on revised approval and revised Plat approved by Planning Board on Oct 23, 2007:

1. At the time of development of Lot #3, the proposed drainage swale on Lot #3 shall be constructed as shown on the plan titled Lot #3 Grading and Drainage Plan, Barclay Avenue Portland, prepared by Gorrill-Palmer Consulting Engineers, Inc. and last revised 10/04/07; and

2. That a drainage easement in a form satisfactory to Corporation Counsel's office shall be granted from Lot #3 to Lot #1; such easement shall be delivered within 30 days of the recording of the plat.

The approval is based on plans and materials submitted by the applicant and on the basis of information contained in Planning Report # 46-07 (attached) relevant to standards for subdivision, evidence presented at the public hearing, and other findings.

It is noted that Lots #1 and #2 of this subdivision are already sold off and developed. The amended plat approves the addition of an accessory dwelling on Lot #2. Lot #3 was the subject of a single family house site plan application #2006-0149 (35 Barclay Avenue) submitted August 14, 2006. This application was placed on hold in September 2006 pending resolution of the subdivision issues. Prior to any issuance of any building permit and to any construction on Lot #3, the single family site plan application needs to be reactivated, updated, and revised to accord with the subdivision plat/grading plans/conditions, and submitted for review and approval.

Comments:

8/21/2006-amachado: Left a message for Jim Wolf. The building plans and site plans have some discrepancies.

8/22/2006-amachado: Someone from Diversified Properties picked up the original building plans for Jim Wolf.

9/18/2006-amachado: Received new site plan and full size set of building plans.

9/18/2006-amachado: The creation of this lot has led to the creation of a subdivision. This permit is on hold until the subdivision gets approved.

11/29/2007-ldobson: Permit withdrawn fees applied to permit #074454 - Property sold and new permit applied for

11/26/2007-JF: This subdivision with the 4th lot added was approved by the Planning Board on Oct 23, 2007 with revised conditions (see next comment) and additional notes on the Plat. The revised Plat was signed on Nov 12, 2007 by Planning Board members and the Plat was recorded on Nov 15, 2007

11/26/2007-JF: 1. At the time of development of Lot #3, the proposed drainage swale on Lot #3 shall be constructed as shown on the plan titled Lot #3 Grading and Drainage Plan, Barclay Avenue Portland, prepared by Gorrill-Palmer Consulting Engineers, Inc. and last revised 10/04/07; and

2. That a drainage easement in a form satisfactory to Corporation Counsel's office shall be granted from Lot #3 to Lot #1; such easement shall be delivered within 30 days of the recording of the plat.

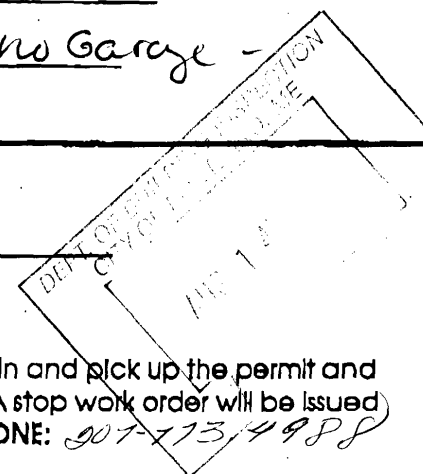
The approval is based on plans and materials submitted by the applicant and on the basis of information contained in Planning Report # 46-07 (attached) relevant to standards for subdivision, evidence presented at the public hearing, and other findings.

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All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ²⁵ BARCLAY AVE., PORTLAND PARCEL 339/D/9		
Total Square Footage of Proposed Structure 768	Square Footage of Lot 7488 S.F.	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 339 D 9	Owner: DIVERSIFIED PROPERT.	Telephone: 207-773-4988
Lessee/Buyer's Name (if Applicable) _____	Applicant name, address & telephone: DIVERSIFIED PROPERTIES PO BOX 10107, PORTLAND, ME TEL. 207-773-4988	Cost Of Work: \$ 108,000 Fee: \$
Current use: VACANT LAND		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: ALWAYS		
Proposed use: 24 x 32' Single Family home no Garage Project description:		
Contractor's name, address & telephone: Who should we contact when the permit is ready: JIM WOLF. Mailing address: DIVERSIFIED PROPERTIES INC. P.O. BOX 10107 PORTLAND, ME 04104		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-773-4988		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  Date: 8-9-06

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

WARRANTY DEED

MAGGIE LANE DEVELOPMENT, LLC, a Maine Limited Liability company with a principal place of business in Portland, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

DIVERSIFIED PROPERTIES, INC., a Maine corporation with a principal place of business in Portland, County of Cumberland and State of Maine

A certain lot or parcel of land situated on the westerly side of Barclay Avenue in the City of Portland, County of Cumberland and State of Maine, and being Parcel B described on a plan entitled "Standard Boundary Survey made for Diversified Properties" dated May 15, 2001 prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 203, Page 325, containing 7,488 square feet/.17 acres.

Being a portion of the premises conveyed to the Grantor herein by deed of Adelaide M. Curran dated November 20, 2001 and recorded at the Cumberland County Registry of Deeds in Book 17008, Page 32.

Together with and subject to the rights in common with others in and to Barclay Avenue.

EXCEPTING AND RESERVING to the Grantor, its successors and assigns, all right, title and interest in and to the fee interest in "Barclay Avenue", so-called, as shown on the plan. The purpose of this reservation is to preserve the Grantor's right in and to such ways pursuant to 23 M.R.S.A. §3031 (4) and 33 M.R.S.A. §460 et seq. together with the right to convey said fee interest to the City of Portland.

The conveyance is subject to a thirty (30) foot by fifteen (15) foot turnaround easement situated on the northerly corner of the lot herein conveyed described in an easement deed from the Grantor herein to the City of Portland to be recorded at said Registry of Deeds.

This conveyance is mad SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

MAINE REAL ESTATE TAX PAID

IN WITNESS WHEREOF, the said MAGGIE LANE DEVELOPMENT, LLC has caused this instrument to be signed and sealed by James M. Wolf, its authorized member thereunto duly authorized this 11th day of December 2003.

MAGGIE LANE DEVELOPMENT, LLC

Joyce M. Yates

By:

[Signature]
Its Authorized Member

STATE OF MAINE
CUMBERLAND, SS.

Dec. 11, 2003

Then personally appeared the above-named JAMES M. WOLF, Authorized Member of MAGGIE LANE DEVELOPMENT, LLC as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Limited Liability Company.

Before me,

Joyce M. Yates
Notary Public

SEAL

JOYCE M. YATES
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2010

Received
Recorded Register of Deeds
Dec 17, 2003 09:43:31A
Cumberland County
John B. D Brien

Applicant: Diversified Properties, Inc.

Date: 8/17/06

Address: 35 Barclay Ave

C-B-L: 339-D-09

Permit # 06-1201

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - new single family house - 2 story ³² 24 x 24

Severage Disposal - city

Lot Street Frontage - 50' min. - 75' scaled

Front Yard - 21' min. - 75' scale 40' to front step, 44' to house scaled.

Rear Yard - 25' min. - 26' scaled to bulkhead, 30' to house scaled.

Side Yard - ^{1 1/2} 8' min. 8' on left. ^{3 1/2} 3 1/2' on right (with total of 28' have 34' ok)
~~(minimum of 20' so ok)~~

Projections - bulkhead 5' x 6' - 46' x 4' side entry - 5.6' x 4' front entry.

Width of Lot - 65' min. - 75' lot width.

Height - 35' max. - 20.5 scaled.

Lot Area - 6,500 sq ft min. - 7488 (assessors)

Lot Coverage Impervious Surface - 35% - 2620.8 sq ft

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - 2 spaces shown

Loading Bays - N/A

Site Plan - minor / minor 2006 - 0149

Shoreland Zoning / Stream Protection - N/A

Flood Plains - panel 6 - zone X

* no deck

* no daylight basement

Ok

24 x 32	=	768
34 x 24	=	816
5 x 6	=	30
5.5 x 4	=	22
6 x 4	=	24
5 x 4	=	20
6 x 4	=	24
<u>894</u>		
<u>840</u>		

SEP 15 2006

RECEIVED

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	25 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

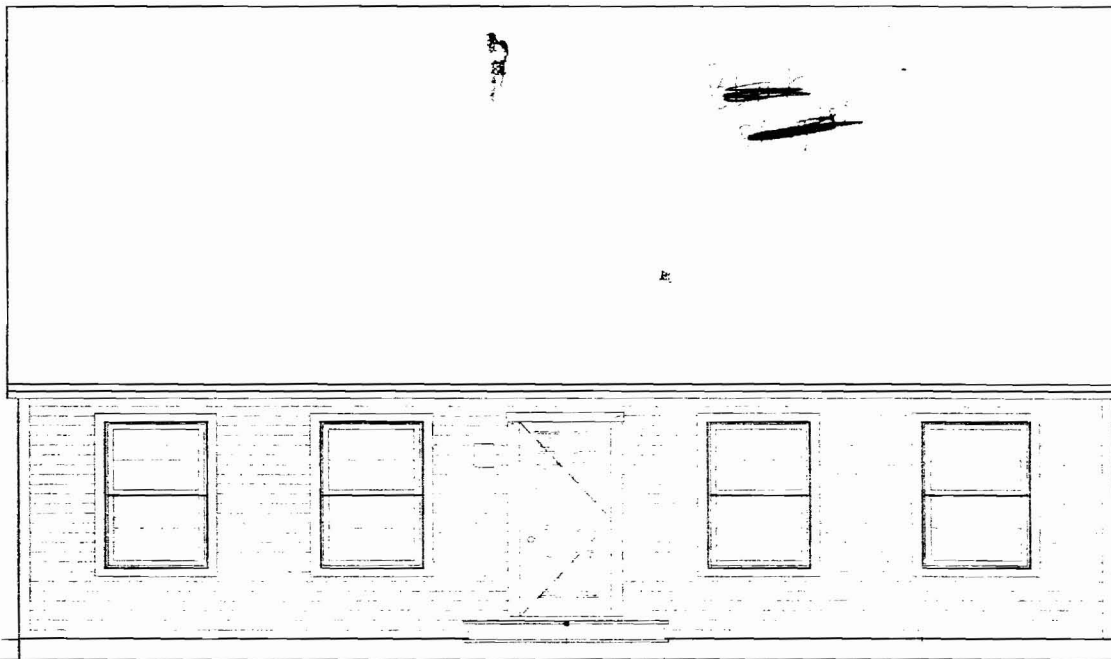
THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JULY 2002
Draft: SGB	Job No.: 374
Checked: AMP	Scale: NTS
File Name: 374-SP.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 15 Shaker Road
Gray, ME 04039
207-657-6910

Drawing Name:	Space & Bulk Requirements
Project:	BARCLAY AVENUE, PORTLAND

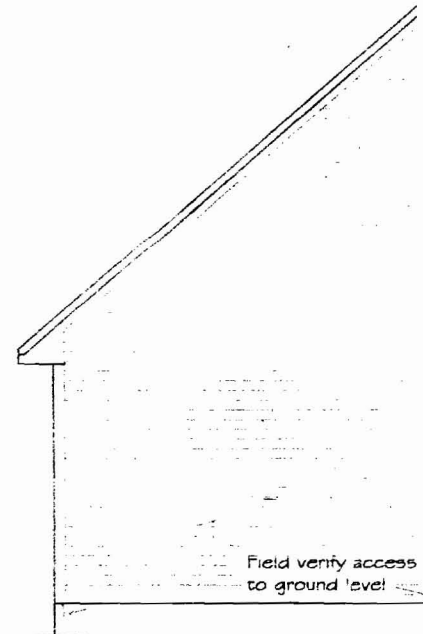
Figure No.	1
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FRONT ELEVATION

Scale: N.T.S.

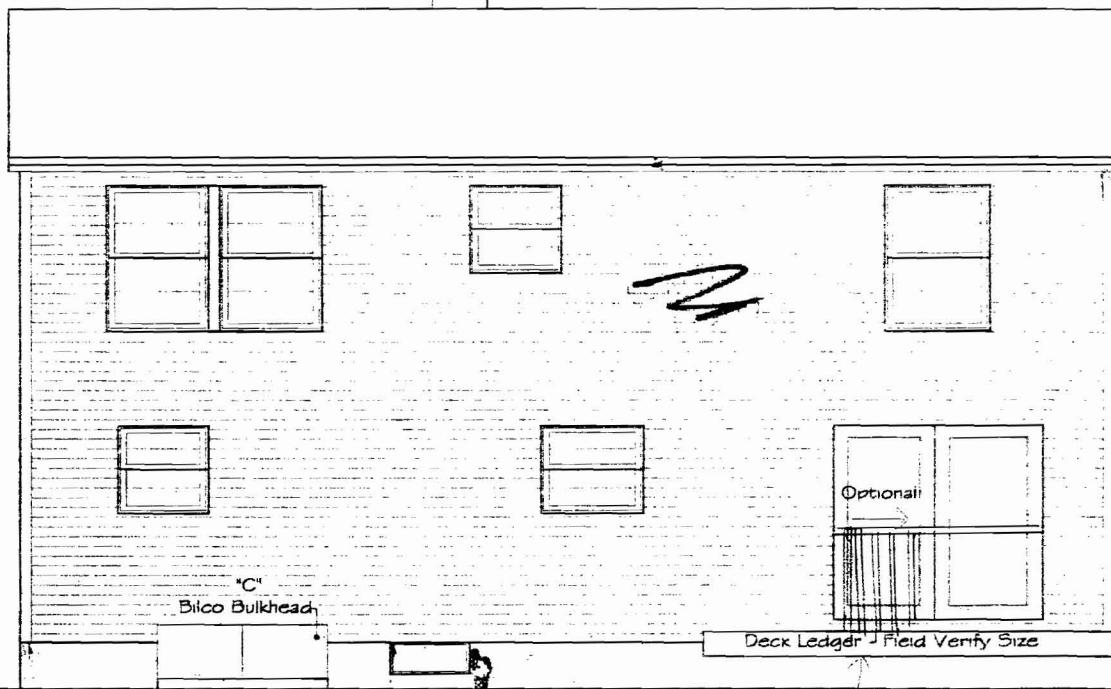
Field verify access
to ground level!



RIGHT ELEVATION PC

Scale: N.T.S.

Field verify access
to ground level!



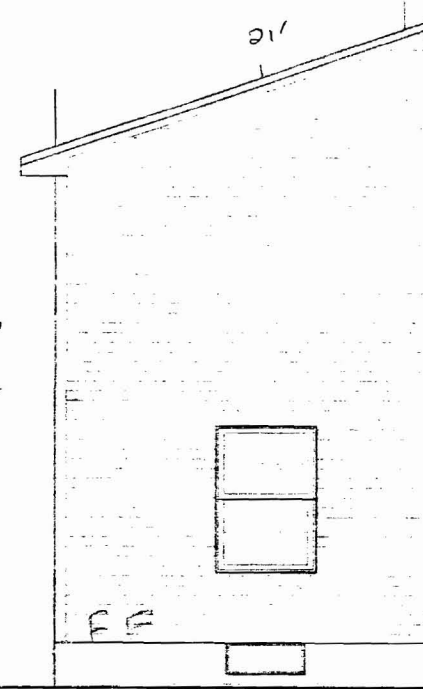
REAR ELEVATION

Scale: N.T.S.

Optional

Deck Ledger Field Verify Size

42" gnd w/ ballusters 4" c/c opening max



LEFT ELEVATION

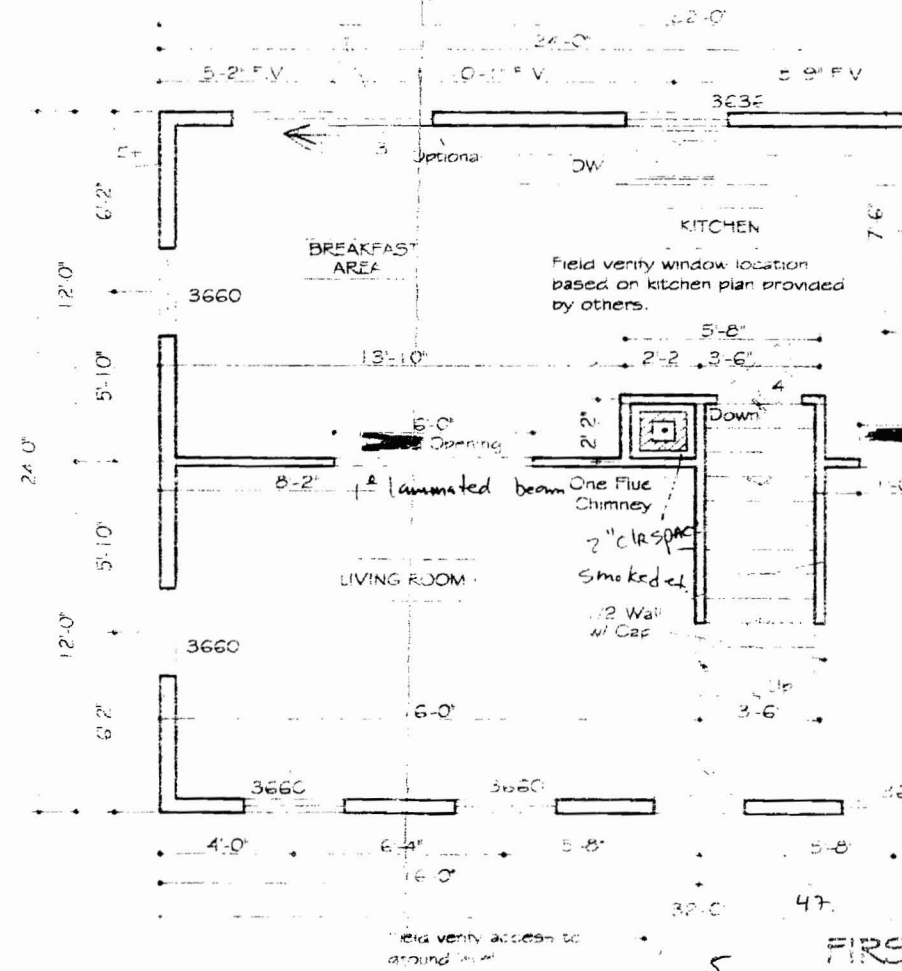
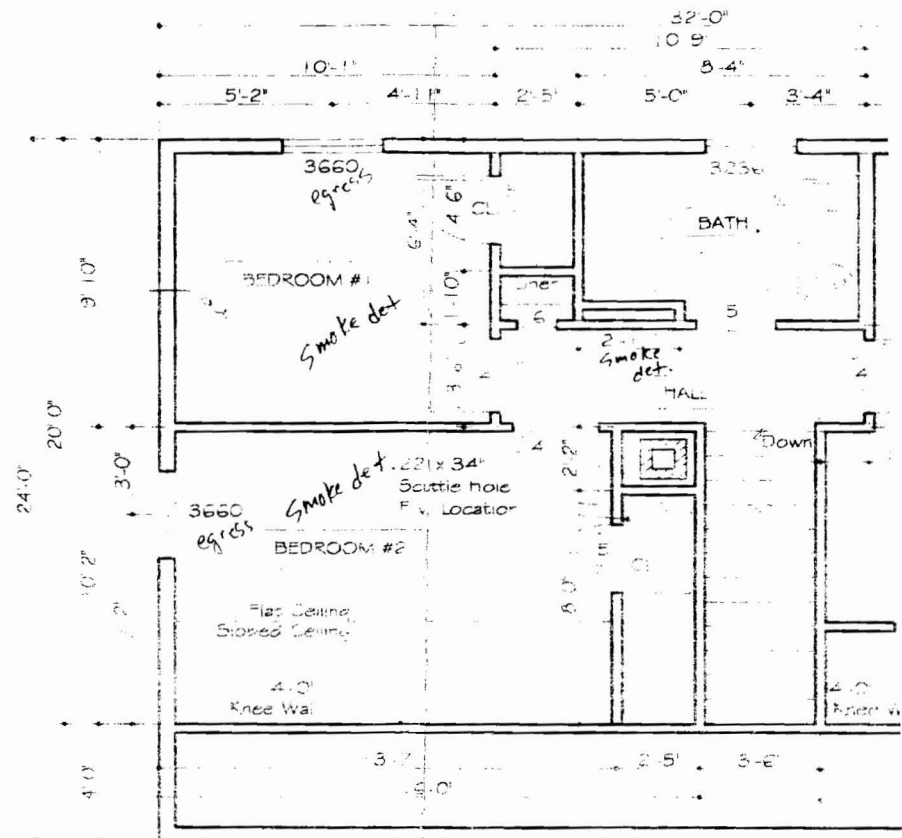
Scale: N.T.S.

21'

piece

DOOR SCHEDULE

- 1 2'-8" x 6'-8" Entry
- 2 3'-0" x 6'-8" Entry
- 3 6'-0" x 6'-8" Slider Entry (Optional)
- 4 2'-6" x 6'-6" Interior
- 5 2'-4" x 6'-6" Interior
- 6 1'-2" x 6'-6" Interior
- 7 4'-0" x 6'-6" Interior Bifold



BFT
KAT

PLEASE BE ADVISED THAT JMG DESIGNS, INC. IS NOT CERTIFIED AS A STATE OF MAINE ARCHITECT OR ENGINEER. THIS WORK IS SUPPLIED STRICTLY AS A SERVICE TO MY CUSTOMERS AND IS NOT GUARANTEED AS TO STRUCTURAL SOUNDNESS. CUSTOMERS SHOULD CONSULT AN ENGINEER OR ARCHITECT TO CONFIRM THE DESIGN'S CAPABILITIES AND SUITABILITY BEFORE TAKING ANY FINAL ACTION REGARDING CONSTRUCTION. BEFORE BEGINNING CONSTRUCTION, IT IS THE CONTRACTOR/CUSTOMER'S RESPONSIBILITY TO MAKE SURE ALL TOWN/CITY CODES ARE BEING MET.

FIRS
Scale

FRAME SPECIFICATIONS

FLOOR SYSTEM:

Joists as indicated.
 Bracing as indicated.
 2" x 6" joist w/ sheath.
 Subfloor as indicated.
 Finish floor as indicated.

EXTERIOR WALL:

2" x 6" studs as indicated.
 Sheathing as indicated.
 Air infiltration wrap.
 Vapor barrier.
 Siding as indicated.

INTERIOR WALL:

2" x 4" studs as indicated.

ROOF SYSTEM:

Rafter/trusses as indicated.

Trusses (if fastened with Simpson) to duplicate anchor, all holes filed per Simpson Strong-Tie.

Sheathing as indicated.
 5/8" underlayment.
 Ice shield up to 6" min.
 Shingles as indicated.

INSULATION:

Exterior walls - R19
 Attic cap - R38
 Sills - R19

VENTILATION:

Soffits - 2" cont. strip
 Ridges - cont. ridge vent
 Ventilators as indicated.
 Proper vents between rafters/trusses.

HEADERS:

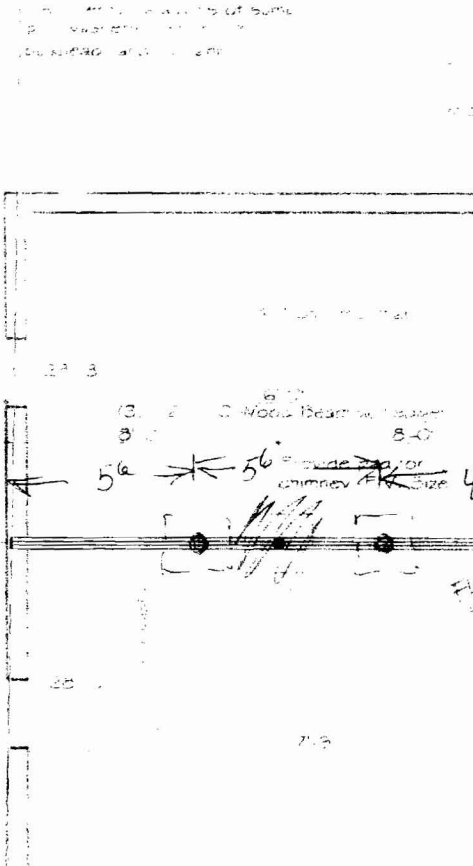
3 - 2" x 4" w/ plywood - 40' max span
 3 - 2" x 6" w/ plywood - 72' max span
 Beams as indicated.
 Min. 6" org. all beams.

INTERIOR FINISH:

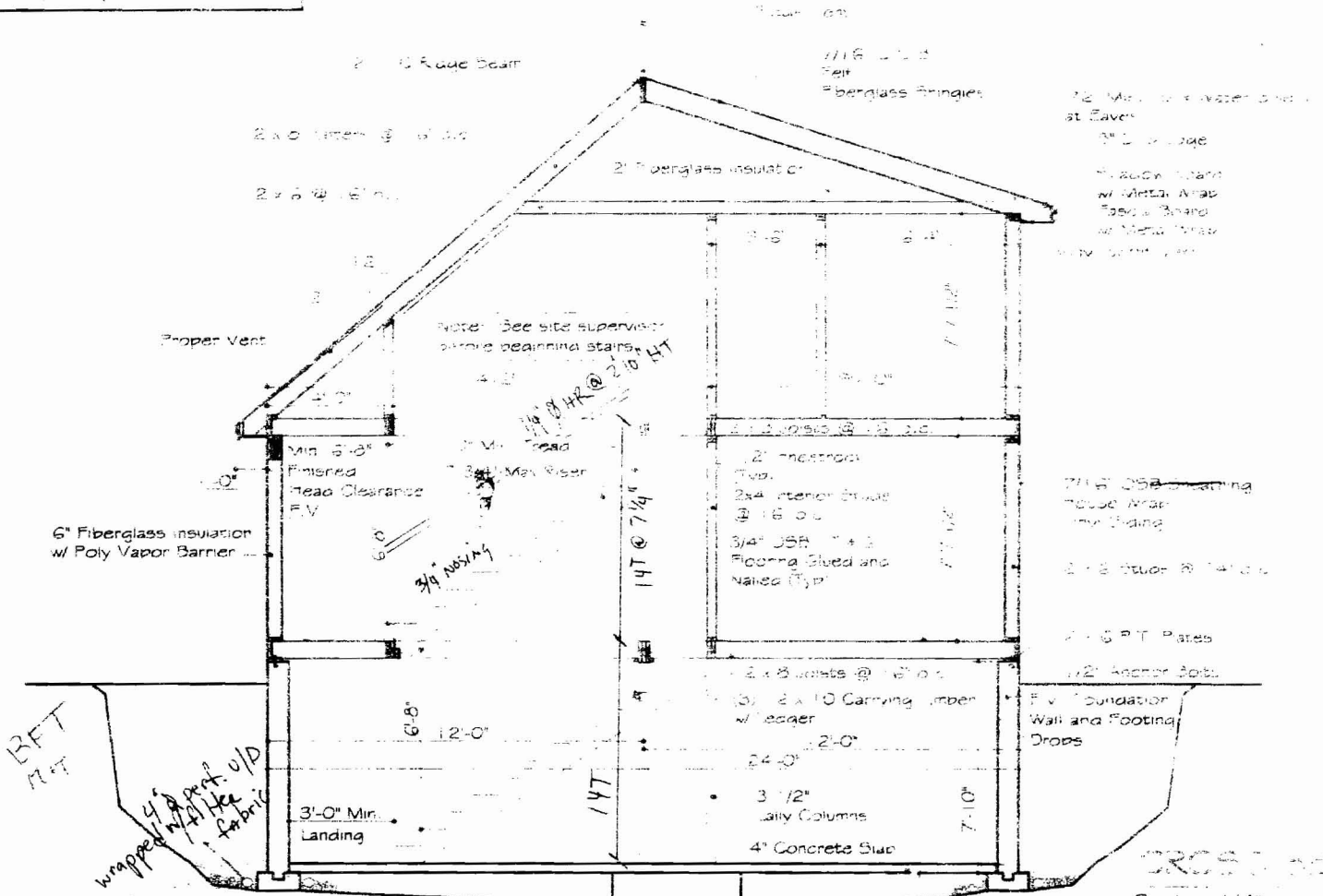
1/2" gyp. lnd. on walls/ceilings.
 Paint/finish as per spec.

FOUNDATION SPECIFICATIONS

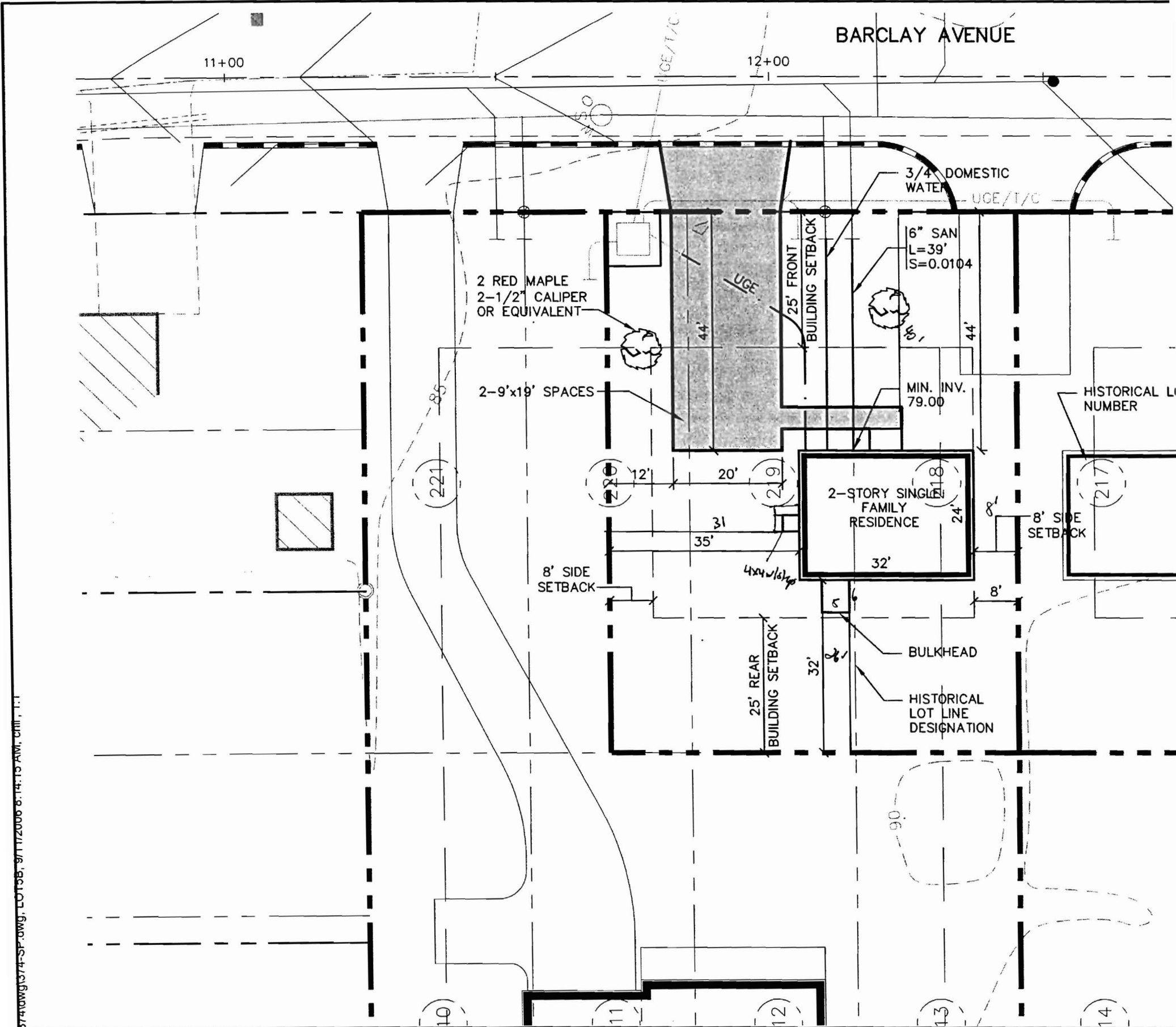
1. Concrete walls as indicated w/ footing.
2. Foundation as indicated w/ anchor bolts.
3. Foundation as indicated w/ anchor bolts.
4. Foundation as indicated w/ anchor bolts.
5. Foundation as indicated w/ anchor bolts.
6. Foundation as indicated w/ anchor bolts.
7. Foundation as indicated w/ anchor bolts.
8. Foundation as indicated w/ anchor bolts.
9. Foundation as indicated w/ anchor bolts.
10. Foundation as indicated w/ anchor bolts.



Anchor bolts every 6'



CROSS SECTION
 Scale: 1/4" = 1'-0"



Land Projects 07410w/074-SF.dwg, LOT35, 9/11/2006 6:14:15 AM, cml, 1:1

Rev	Date	Revision

Design: DER	Date: 7/06
Draft: CAH	Job No.: 374
Checked: DER	Scale: 1"=20'
File Name: 374-SP.dwg	



Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

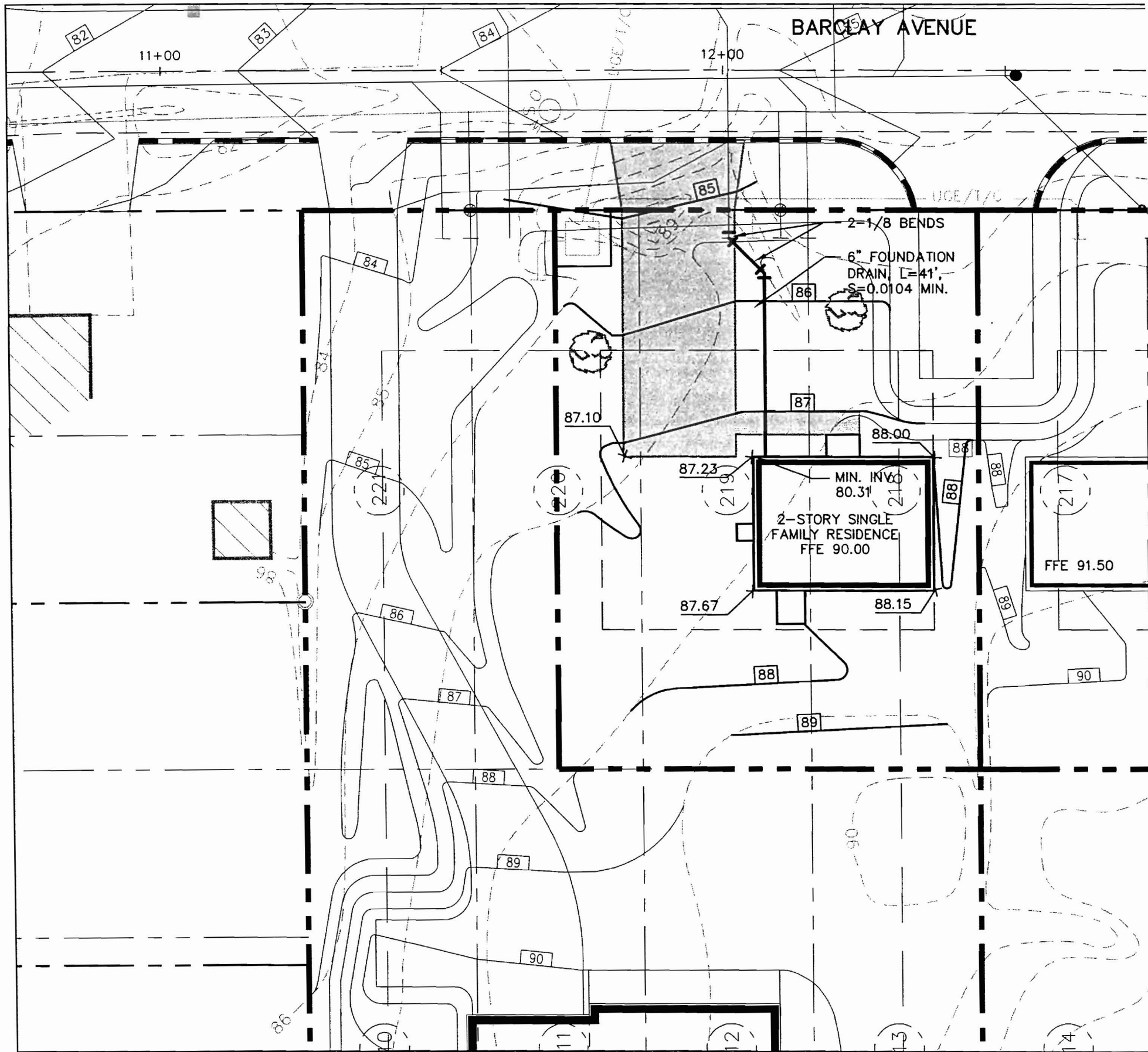
PO Box 1237
15 Shaker Road
Gray, ME 04039

207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name:

Project:

\\land\Projects\374\dwg\374-SP.dwg, LOT5B, 9/7/2006 1:02:13 PM, chll, 1:1



Rev.	Date	Revision

Design: DER	Date: 7/06
Draft: CAH	Job No.: 374
Checked: DER	Scale: 1"=20'
File Name: 374-SP.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name:
Project: