

# PERMIT ISSUED

**City of Portland - Building or Use Permit Application**  
 389 Congress Street, #101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0669	Issue Date: <b>JUL 07 2003</b>	CBL: 339 D007001
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Location of Construction: 31 Barclay Ave	Owner Name: Maggie Lane Development	Owner Address: PO Box 10127 <b>CITY OF PORTLAND</b>	Phone: 772-8689
Business Name:	Contractor Name: DA Brackett	Contractor Address: 29 Primrose lane Portland	Phone: 2077728629
Lessee/Buyer's Name:	Phone:	Permit Type: Amendment to Single Family	Zone: <b>R3</b>

Proposed Use: New Single Family (permit #02-0995)	Proposed Use: New Single Family: Addendum to permit 02-0995	Permit Fee: \$315.00	Cost of Work: \$30.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5B</b> <i>BOA 1999</i> Signature: <i>JMB 7/2/03</i>	

**Proposed Project Description:**  
 Amendment to Permit # 02-0995  
 26' x 34' Two Story Single Family with 22' x 24' garage

Signature: \_\_\_\_\_  
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
 Action:  Approved  Approved w/Conditions  Denied  
 Signature: *This* Date: \_\_\_\_\_

Permit Taken By: gad	Date Applied For: 06/05/2003	<i>This is the 3rd revision side</i> <b>Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 1 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>under old one #2002-0192</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: _____	<b>Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0669	<b>Date Applied For:</b> 06/05/2003	<b>CBL:</b> 339 D007001
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<b>Location of Construction:</b> 31 Barclay Ave	<b>Owner Name:</b> Maggie Lane Development	<b>Owner Address:</b> PO Box 10127	<b>Phone:</b> ( ) 772-8689
<b>Business Name:</b>	<b>Contractor Name:</b> DA Brackett	<b>Contractor Address:</b> 29 Primrose lane Portland	<b>Phone:</b> (207) 772-8629
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> New Single Family: Addendum to permit 02-0995	<b>Proposed Project Description:</b> Addendum to Permit # 02-0995 26' x 34' Two Story Single Family with 22' x 24' garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 06/23/2003**Note:** third revision of this lot - last permit #02-0995**Ok to Issue:** 

- 1) It is highly recommended that the building be moved forward toward Barclay so that a reasonably sized deck could be erected on the rear. Such a deck would require a separate building permit application.
- 2) Only one (1) sewer stub is permitted for this lot.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. NO DECKS are being shown, so none are approved. NO DAYLIGHT BASEMENT is shown, so none are approved.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 07/07/2003**Note:****Ok to Issue:** 

- 1) Maximum span for girder support is 7'-4", need to add 1, a 22x30 attic scuttle will be installed in a bedroom, paralam will be used for garage headers, all guards will be min. 36", less than 4" space w/handrails
- 2) Design load specs for all engineered products must be submitted to this office
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**

06/12/2003-kwd: Change to cost of work by \$30,000.

Third Review of this lot

Applicant: Maggie Lane Dev. LLC

Date: 6/23/03

Address: 31 Barclay Ave

C-B-L: 339-D-7 thru 10  
" " 13 thru 16

CHECK-LIST AGAINST ZONING ORDINANCE

Date - revision - revision - revision

# 03-0669

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Construct 2 story 26' x 34' single family with attached 22' x 24' garage

Sevage Disposal - City

Lot Street Frontage - 50' req - 120' shown

Front Yard - 25' req - 135' scaled

Rear Yard - 25' req - 25' scaled to rear B.H

Side Yard - 14' req - 28' & 35.5' scaled

Projections - rear Bulkhead only 5' x 6' - No decks

Width of Lot - 75' req - 120' scaled

Height - 35' max - 23.5' scaled

Lot Area - 6,500<sup>sq ft</sup> req - 24,000<sup>sq ft</sup> per assessors

Lot Coverage/Impervious Surface - 25% or 6,000<sup>sq ft</sup> max

Area per Family - 6,500<sup>sq ft</sup>

Off-street Parking - 2 req - shows 2 garage

Loading Bays - N/A

Site Plan - minor minor # 2002-0192

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1 - Zone C

\* Only 1 Sewer Stub for this lot

\* Recommend that the bldg be moved forward toward Barclay so that a reasonably sized deck could be erected on the rear requires a sewer stub permit

No Decks Shown  
No Daylight Basement

OK  
 $26 \times 34 = 884$   
 $22 \times 24 = 528$   
 $1412$

17067/48

**DEED OF SALE BY PERSONAL REPRESENTATIVE**

(Intestate)

Maine Statutory Short Form

KNOW ALL MEN BY THESE PRESENTS, THAT I, JOHN F. MARSH of Old Orchard Beach, Maine, duly appointed and acting Successor Personal Representative of the ESTATE OF WALTER J. JOYCE, deceased (intestate), as shown by the probate records of the County of Cumberland, Maine, Docket No.1986-801, by the power conferred by the Probate Code, and every other power, having provided ten (10) day notice to interested parties, for consideration paid, grant to JAMES WOLF, Trustee of Bono, Inc. Profit Sharing Trust, u/t/d December 31, 1998, whose mailing address is P.O. Box 10127, Portland, Maine, 04104, the real property in Portland, County of Cumberland, State of Maine, described as follows:

See attached Exhibit A.

Witness my hand and seal this 7<sup>th</sup> day of ~~November~~ <sup>December</sup>, 2001.

Signed, Sealed and Delivered  
in presence of

[Signature]  
Witness

THE ESTATE OF WALTER J. JOYCE

[Signature]  
BY: JOHN F. MARSH,  
PERSONAL REPRESENTATIVE

MAINE REAL ESTATE TAX PAID

STATE OF MAINE  
CUMBERLAND, ss.

Then personally appeared the above named JOHN F. MARSH in his said capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,

[Signature]  
Notary Public/Attorney at Law

Charles R. Bean  
Printed Name

03-0009 39

REVISED FROM FIRST PERMIT # 39 BARCLAY

### All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT #4 BARCLAY STREET AUB</u>		
Total Square Footage of Proposed Structure <u>1,768 SQ. FT.</u>	Square Footage of Lot <u>120 X 200 = 24,000 SQ. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>339</u> Block# <u>D</u> Lot# <u>011</u>	Owner: <u>DWIGHT BRACKETT</u>	Telephone: <u>756-0687</u> <u>772-8629</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of Work: <del>\$100,000</del> Fee: \$ <u>30.00</u>
Current use: <u>SINGLE FAMILY RESIDENCE</u>		
If the location is currently vacant, what was prior use: <u>VACANT LOT</u>		
Approximately how long has it been vacant: <u>Occasionally</u>		
Proposed use: <u>26 X 34 SINGLE FAMILY TWO STORY</u>		
Project description: <u>Amorments to permit # 03 0360</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT - 756-0687</u>		
Mailing address: <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u> <u>772-8629</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dwight Brackett</u>	Date: <u>6/5/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

## EXHIBIT A

Two certain lots or parcels of land situated on the westerly side of Barclay Avenue in Portland, County of Cumberland and State of Maine, being lots numbered 216 and 217 as shown on a Plan of Harris Farms made by E. C. Jordan and Company, C.E., dated June 5, 1919 and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19. together with the fees of land in said Barclay Avenue in front of and adjoining said lots 216 and 217, and extending from the street line to the middle of said avenue. Subject to the rights of other lot owners and the public to the use thereof as a street.

Meaning and intending to convey a portion of the premises conveyed to Walter J. Joyce by virtue of being an heir of law of Joseph Joyce, deceased, and by virtue of a deed from John J. Joyce, et al dated July 31, 1959 and recorded in the Cumberland County Registry of Deeds in Book 2501, Page 85.

CHARLES R. BEAN, P.A.  
Attorney at Law  
P.O. Box 2267  
South Portland, Maine 04118-2267  
Telephone: (207) 767-3276

RECEIVED  
RECORDED REGISTRY OF DEEDS

2001 DEC 11 PM 1:02

CUMBERLAND COUNTY

*John B. O'Brien*

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2002-0192**  
Application I. D. Number  
**09/04/2002**  
Application Date  
**33 Barclay Avenue**  
Project Name/Description

**Maggie Lane Development Llc**  
Applicant  
**Po Box 10127, Portland , ME 04104**  
Applicant's Mailing Address  
**Maggie Lane Development**  
Consultant/Agent  
**Applicant Ph: (207) 773-4988 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**33 - 33 Barclay Ave, Portland, Maine**  
Address of Proposed Site  
**339 D007001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1536 sq. Ft.** **23,958 sq. Ft.**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **09/09/2002**

**DRC Approval Status:**

- Approved **69-03**  Approved w/Conditions See Attached  Denied
- Approval Date **~~11/12/2002~~** Approval Expiration **11/12/2003** Extension to \_\_\_\_\_
- Condition Compliance **Jay Reynolds** **02/10/2003**  
signature date

*Revision Approved*

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0192**

Application I. D. Number

**09/04/2002**

Application Date

**33 Barclay Avenue**

Project Name/Description

**Maggie Lane Development Lic**

Applicant

**Po Box 10127, Portland , ME 04104**

Applicant's Mailing Address

**Maggie Lane Development**

Consultant/Agent

**Applicant Ph: (207) 773-4988      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**33 - 33 Barclay Ave, Portland, Maine**

Address of Proposed Site

**339 D007001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 31 BARCLAY AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



33 Barclay  
 339-D-7  
 # 036669

		Soil type/Presumptive Load Value (Table 401.4.1) <b>2.5SD</b>
		<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)
	waterproofing 1/2" fabric B head + 2 windows	
		Ventilation (Section 409.1) Crawls Space ONLY
	5/8" bolt 3'-0" c. & corners	Anchor Bolts/Straps (Section 403.1.4)
	3 1/2" column. 24" x 24" x 12" 8' 4" h. Max allowed 7' 4" ok	Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))
	3-2x12 2 story	Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))
	2x10 @ 2x6 PT	Sill/Band Joist Type & Dimensions
	2x10 @ 2x12 16 o.c. hangers	First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))

Covered Porch Postsona Tubes 2x8 16 o.c. / 7'0" Max span 8'0" ok

2x10 l.b.o.c.	Steel Design	Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))
Garage w/ 14x26 steel 2x10 l.b.o.c. Joists	N/A	Attic or additional Floor Joist Species Dimensions and Spacing Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1) )
8:12 TRUSSES 24 o.c. Garage 12:12 4:12 2x10 l.b.o.c.	3/4 T+C, 1/2" Ply, 5/8 Ply	Roof Rafter: Pitch, Span, Spacing & Dimension Table 802.3.2(7) )
		Sheathing: Floor, Wall and roof Table 503.2.1(1)
	OK	Fastener Schedule Table 602.3(1) & (2) )

Egress Windows (Section 310)	Throughout	
Fire rating of doors to living space (407.5 BOCA)	1 hr. 1st & 2nd	
Fire separation (Above or beside) Living Space ? Section 309 and Section 407 1999 BOCA	Walls & Ceiling 5/8 type x <del>unfinished</del> above	
Private Garage	2 ? porch H-rail 34" 6'8" 3' 7 3/4" x 10" ? porch OK	Stairs Number of Stairways Interior 2 Exterior 2 Treads and Risers (Section 314) Width 3' Headroom 6'8" Guardrails and Handrails (Section 315) 2 ? porch OK

See Chimney Summary Checklist

		Roof Covering (Chapter 9)
	Asphalt	Safety Glazing (Section 308)
	maybe 2nd fl	Attic Access (BOCA 1211.1)
	?	Draft Stopping around chimney
	OK 4" 2" space	Header Schedule
	OK ? Garage 9' R.O.	Type of Heating System
	? Furnace	Smoke Detectors Location and type/Interconnected
	General Notes	

OK 22x30 in BR

**TABLE 1003.1  
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

**NOTE:** This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8
Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing <sup>a</sup>	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing <sup>a</sup>	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	From chimney	2 inches interior, 1 inch exterior.
From fireplace		2 inches front, back or sides.	
Combustible trim or materials		6 inches from opening.	
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	
Anchorage <sup>a</sup>	O	Strap	3/16 inch by 1 inch.
Number		Two.	
Embedment into chimney		12 inches hooked around outer bar with 6-inch extension.	
Fasten to		Four joists.	
Bolts		Two 1/2-inch diameter.	
Footing	P	12-inch minimum.	1003.2
Width		6 inches each side of fireplace wall.	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m<sup>2</sup>, 1 degree = 0.01745 rad.

<sup>a</sup> Required only in Seismic Zones 3 and 4.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING INSPECTION

PERMIT ISSUED

## PERMIT

Permit Number: 030669

JUL 07 2003

Please Read Application And Notes, if Any, Attached

This is to certify that Maggie Lane Development/Deck Bracket  
has permission to Addendum to Permit # 02-09 26' x 34' Two Story Single Family with 22' x 24' garage  
AT 31 Barclay Ave 339 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or occupied. CLOSED-IN. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*James Burke* 7/7/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**GENERAL NOTES:**

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, International Plumbing Code, ASHRAE, IL, NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, gaps or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
- Building shall be sprinklered in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-72 Life Safety Code. Smoke detectors shall sound alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-10. Local authority having jurisdiction needs to provide written requirements.
- Belongies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-96A OR NFPA-96B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-98, NFPA-25, NFPA-99, NFPA-54 and NFPA-70 as applicable.

**FOUNDATION NOTES:**

- PROVIDE BELL SEALER ON TOP OF ALL FOUNDATION WALLS
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVE PRESERVATIVE TREATED BCCA TO 6% W/ RETENTION PER NFPA
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROUBLE & LIGHT BROOD PAPER
- SET BOTTOM OF FOOTING MIN. 4'-0" BELOW GRADE
- SET ALL FOOTINGS ON UNDRYING SOIL OR COMPACTED STRUCTURAL FILL
- RADIANT HEAT IN SLAB
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ REINFORCING. PROVIDE CONTROL JOINTS @ 8'-0" SPACINGS (2205)
- ALL CONCRETE SHALL BE 3000 PSI (7) STRENGTH AT 28 DAYS
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%
- ALL OTHER ADJOINING SHALL BE PRE-APPROVED
- WATERPROOFING / DAMP PROOFING ASPHALT TAR
- PROVIDE FILTER FABRIC OVER STONE

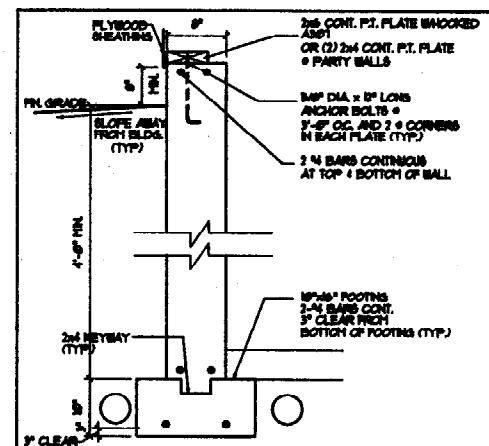
**FRAMING NOTES:**

- ALL EXTERIOR WALLS TO BE 2x6 WOOD GRID WALLS @ 24" O.C. W/ 1/2" GIBS AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19) AND 1/2" APA RATED SHEATHING @ EXTERIOR FACE OF WALL
- ALL INTERIOR WALLS TO BE 2x4 WOOD GRID WALLS (UNLESS NOTED OTHERWISE) BY ONE LAYER 1/2" GIBS EACH SIDE
- INSTALL BLOCKS BEHIND ALL SURFACE APPLIED FINISHES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS

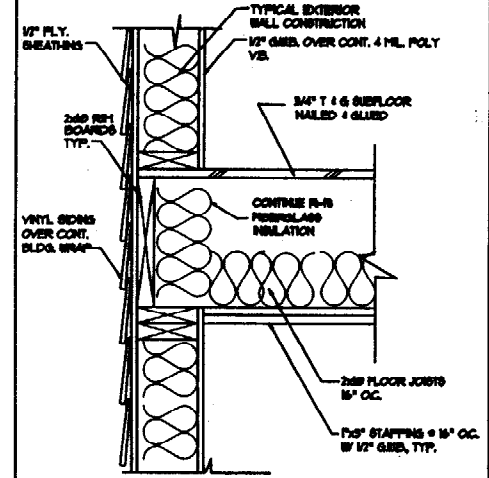
**HEADER SCHEDULE**

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-0" - 4'-0"	(3) - 2x8
4'-0" - 5'-0"	(3) - 2x8
5'-0" - 7'-0"	(3) - 2x12

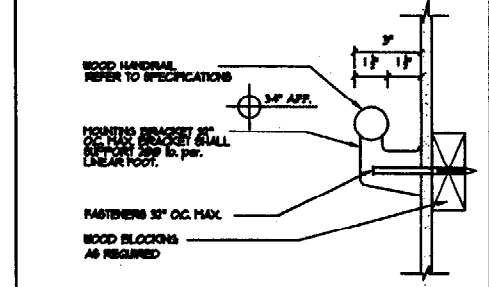
NOTE: PROVIDE JACKS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KINGS UP TO 4'-0" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



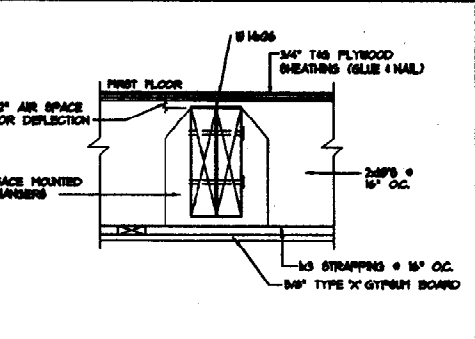
1 TYPICAL FOUNDATION WALL SCALE: 1/4" = 1'-0"



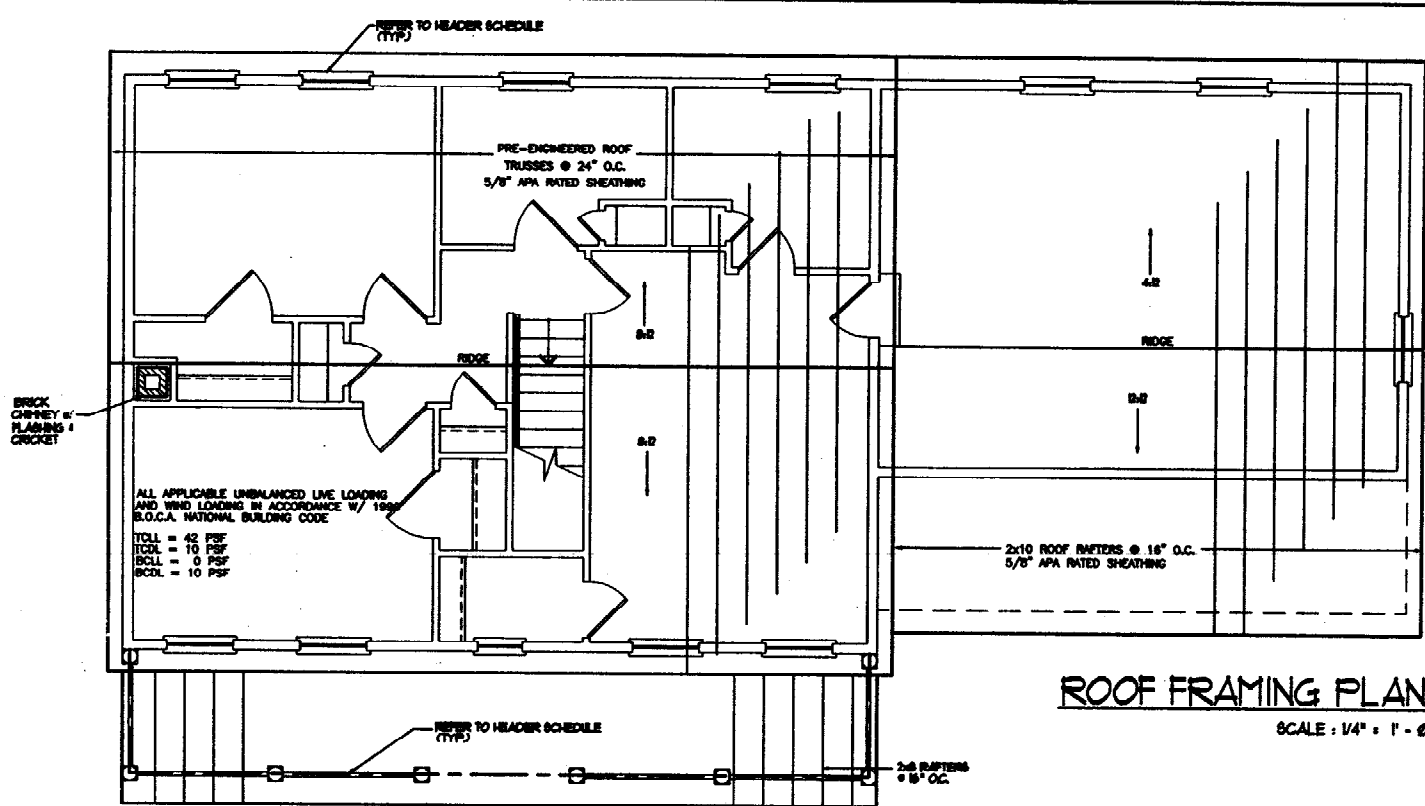
2 FLOOR FRAMING DETAIL SCALE: 1/2" = 1'-0"



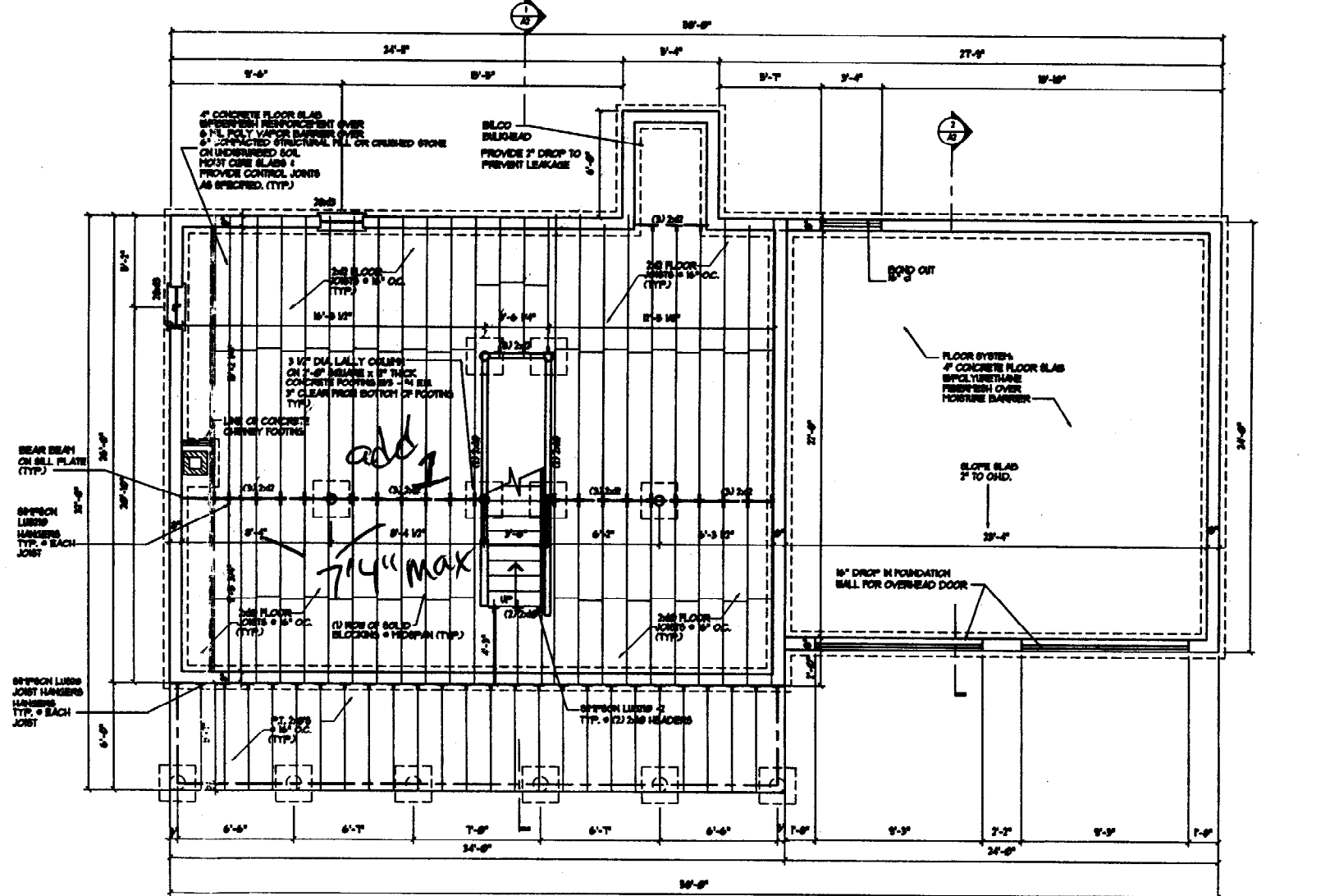
HANDRAIL DETAIL SCALE: 1/2" = 1'-0"



3 BEAM / JOIST CONNECTION SCALE: 1/2" = 1'-0"



ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

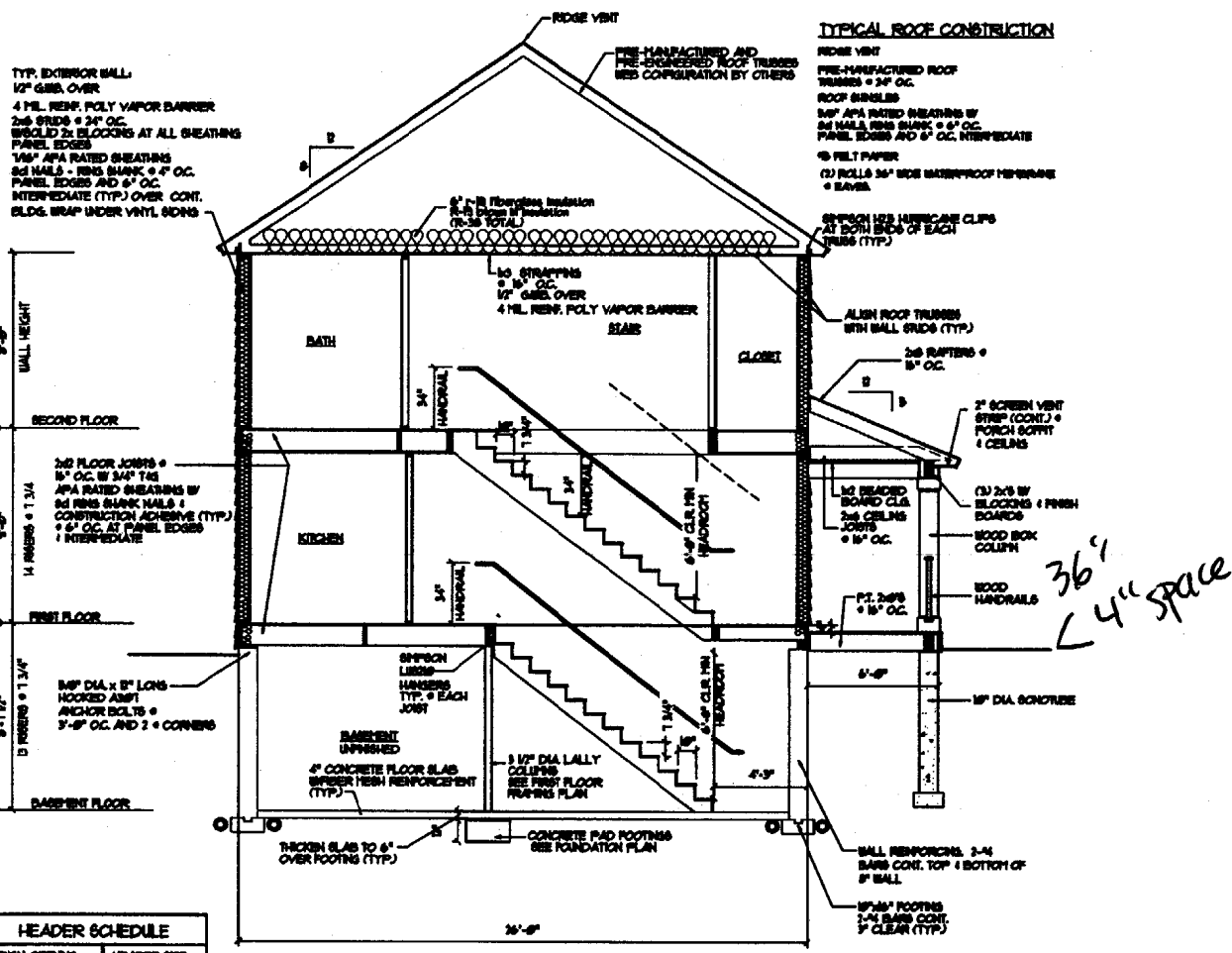


FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET  
 FOUNDATION /  
 FRAMING PLAN  
 NOTES / DETAILS  
 ROOF PLAN

DATE  
 06/1/08

A1



**TYPICAL ROOF CONSTRUCTION**

ROOF VENT  
 FIRE-MANUFACTURED ROOF TRUSSES  
 RES. COMPRESSION BY OTHERS  
 FIRE-MANUFACTURED ROOF TRUSSES @ 24\"/>

ROOF GABLES  
 5/8\"/>

1/2\"/>

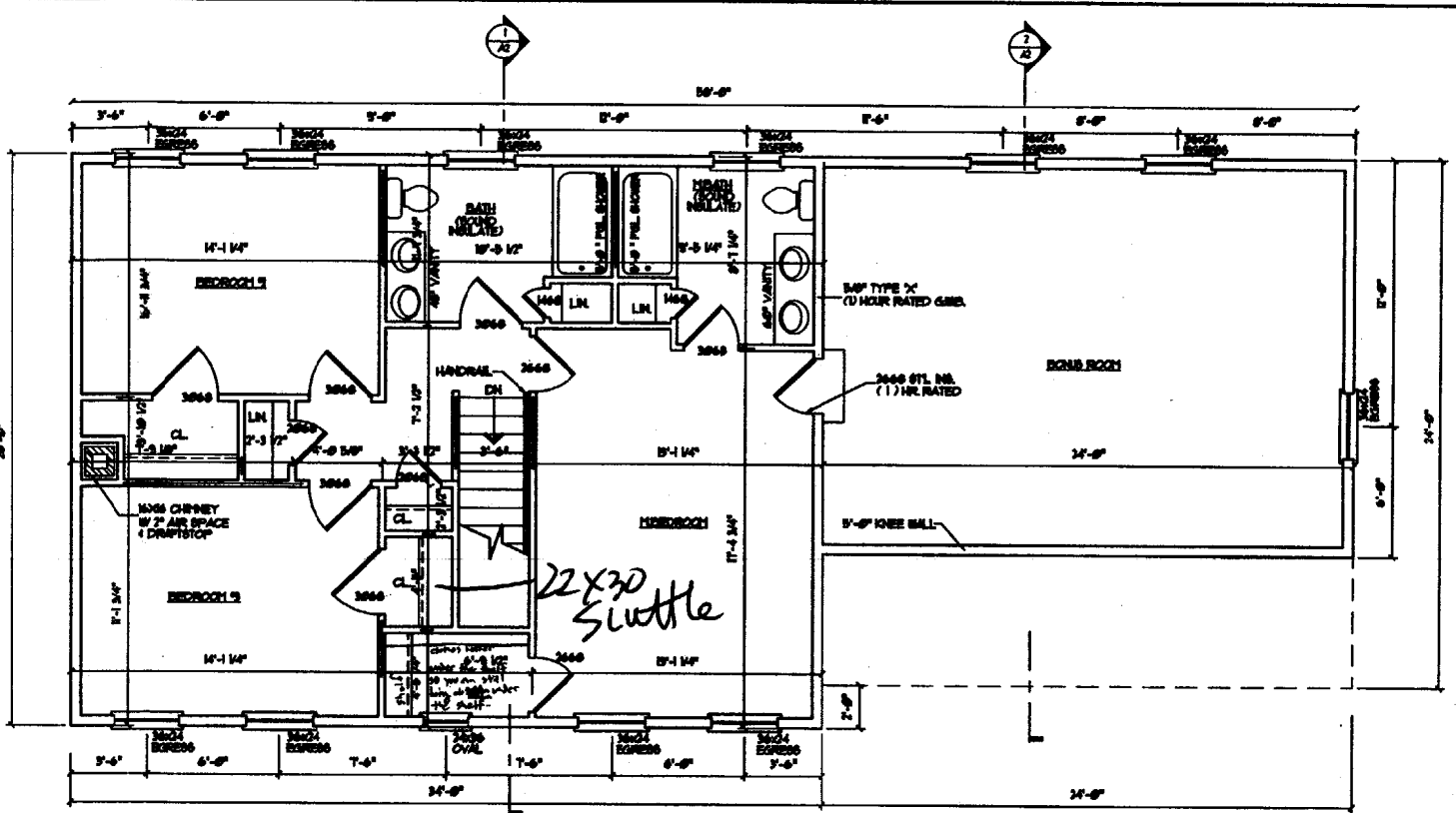
ROOF VENT  
 2\"/>

WOOD BOSS COLUMN  
 2\"/>

WOOD HANDRAILS  
 1\"/>

WOOD HANDRAILS  
 1\"/>

WOOD HANDRAILS  
 1\"/>



**SECOND FLOOR PLAN**

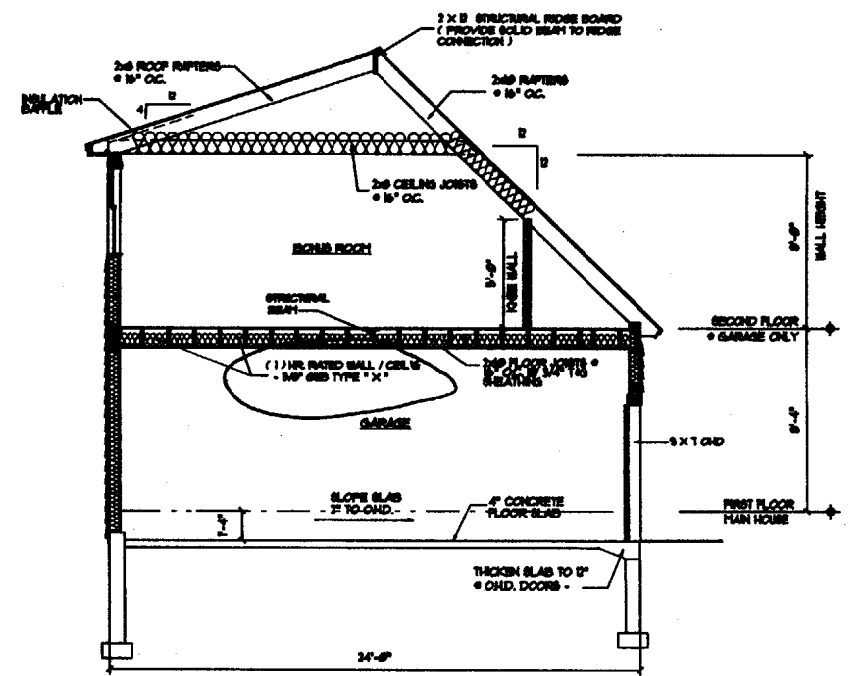
SCALE: 1/4\"/>

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) 2x6
3'-0" - 4'-0"	(3) 2x8
4'-0" - 5'-0"	(3) 2x10
5'-0" - 7'-0"	(3) 2x12

**SECTION THRU HOUSE**

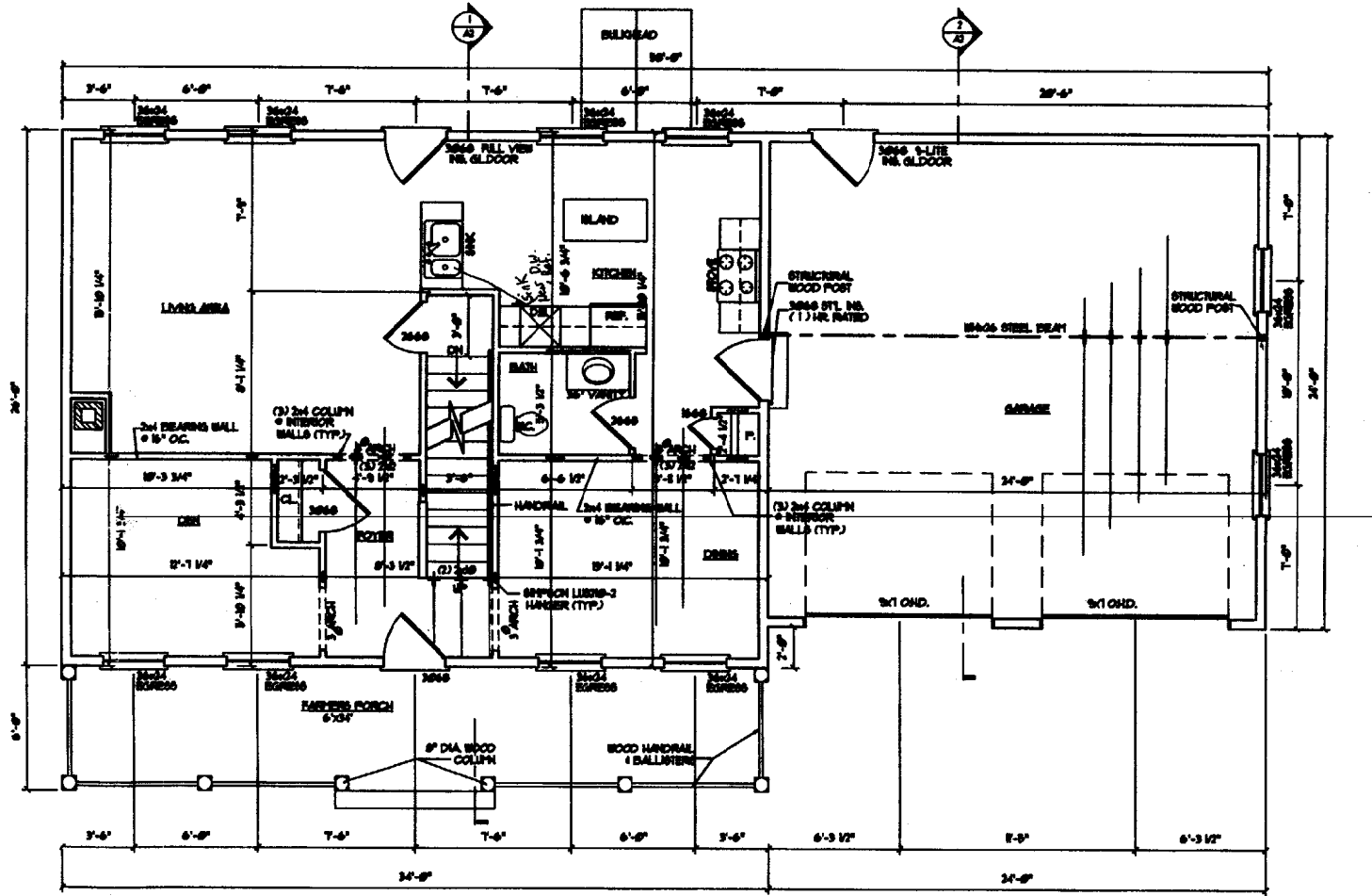
SCALE: 1/4\"/>

NOTE: PROVIDE JAMBS BOTH SIDES AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KIDS UP TO 4'-0\"/>



**BUILDING SECTION THRU GARAGE**

SCALE: 1/4\"/>



**FIRST FLOOR PLAN**

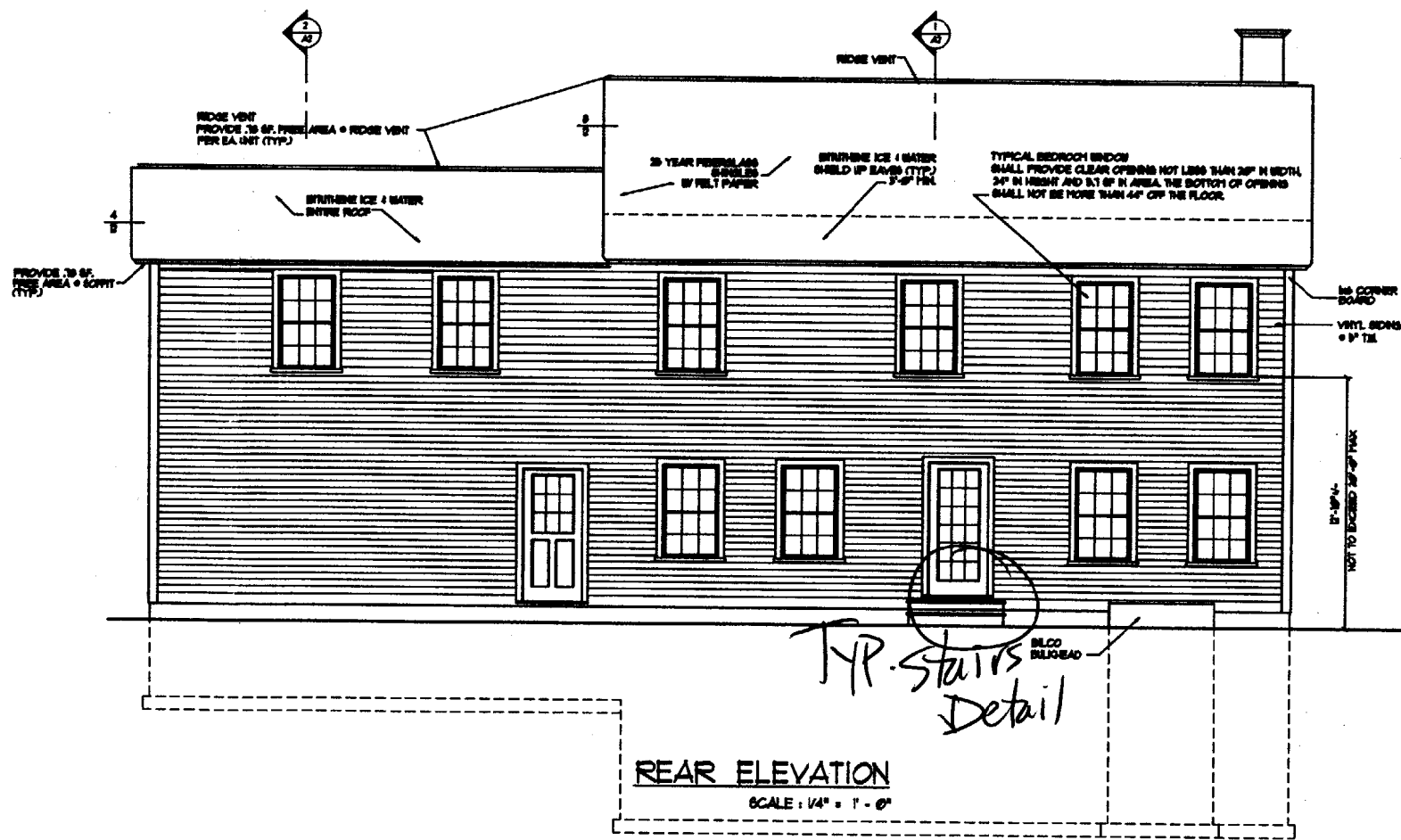
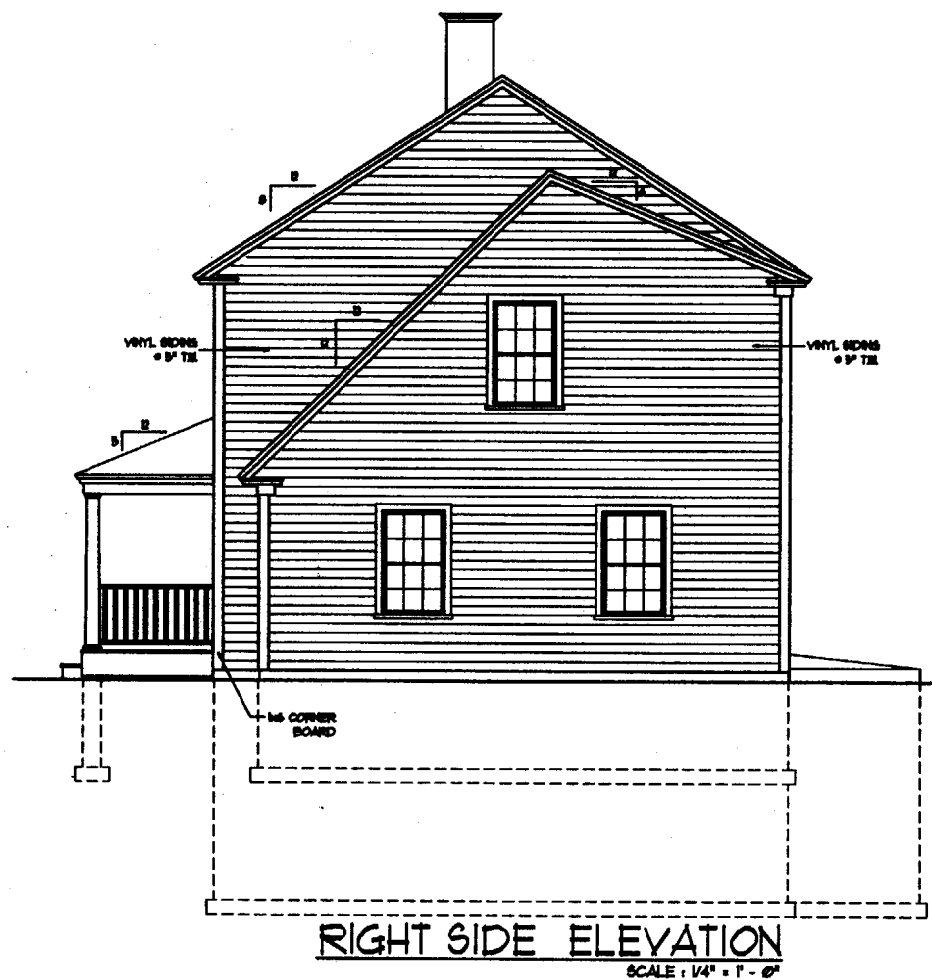
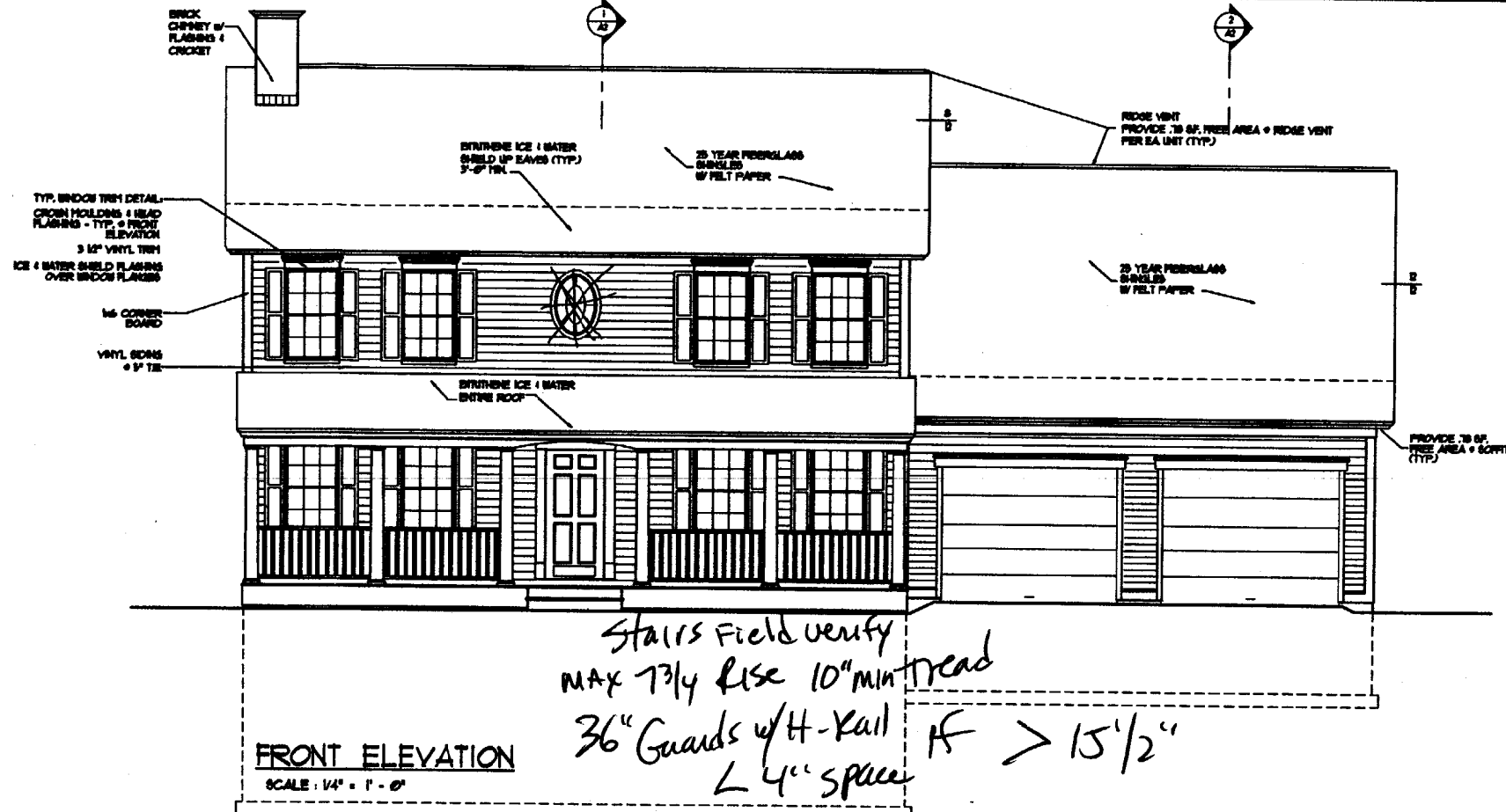
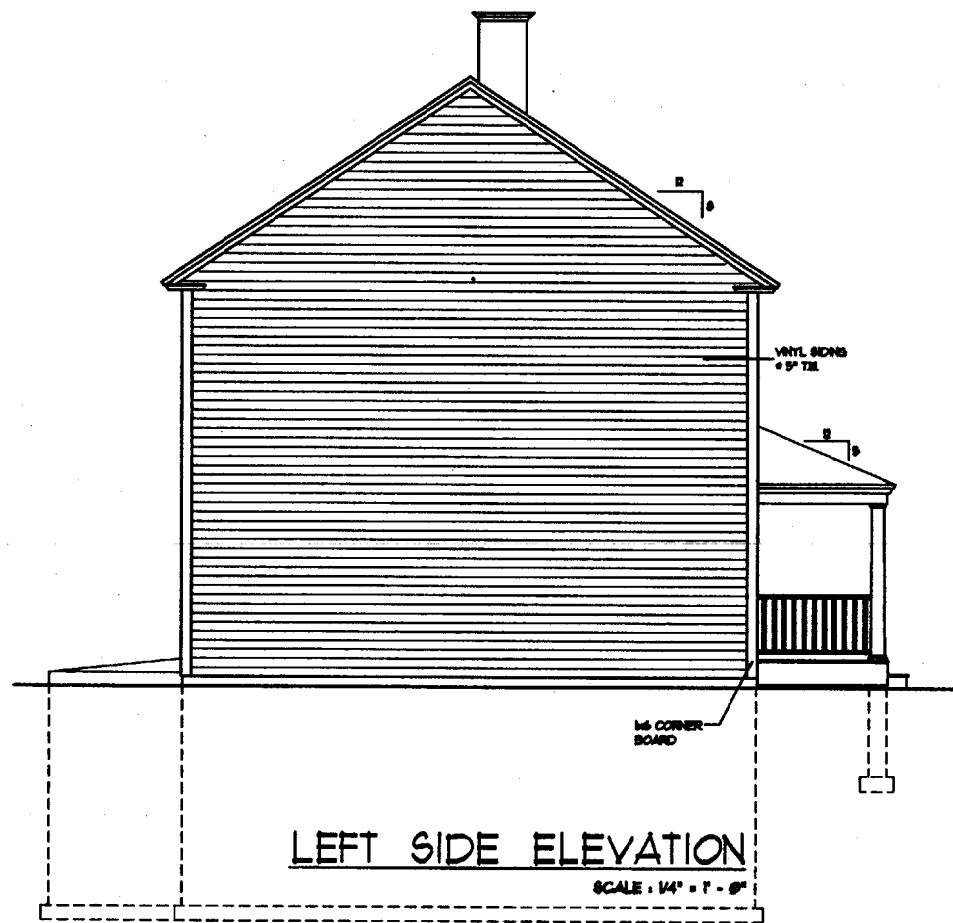
SCALE: 1/4\"/>

DRAWINGS THIS SHEET  
 FIRST FLOOR PLAN  
 SECOND FLOOR PLAN

DATE  
 08/2/05

A2





DRAWINGS THIS SHEET

ELEVATIONS

DATE

06/21/09