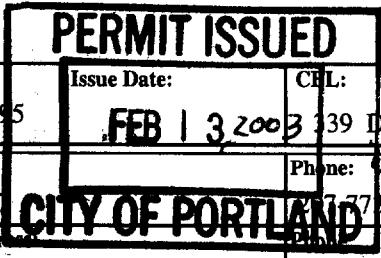


City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0995
 Issue Date: FEB 13 2003
 CHL: 339 D007001



Location of Construction: 33 Barclay Ave	Owner Name: Maggie Lane Development Llc	Owner Address: Po Box 10127	Phone: 577-4988
Business Name: n/a	Contractor Name: Maggie Lane Development	Contractor Address: P.O. Box 10127 Portland	Phone: 2077734988
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-3

Past Use: Vacant	Proposed Use: Single Family / Build 24' x 32' Colonial	Permit Fee: \$623.00	Cost of Work: \$75,000.00	CEO District: 1
Proposed Project Description: Build New 24' x 32' Single Family Colonial		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: JB BOCA 1999 Signature: JMB 2/4/03	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 09/04/2002	Zoning Approval	
------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>PANEL 1 Zone C</i> <input type="checkbox"/> Subdivision <i>not at this time</i> <input checked="" type="checkbox"/> Site Plan <i>#2002-0192</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with computer</i> Date: <i>4/14/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	---	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0995	Date Applied For: 09/04/2002	CBL: 339 D007001
-----------------------	---------------------------------	---------------------

Location of Construction: 33 Barclay Ave	Owner Name: Maggie Lane Development Llc	Owner Address: Po Box 10127	Phone: 207-773-4988
Business Name: n/a	Contractor Name: Maggie Lane Development	Contractor Address: P.O. Box 10127 Portland	Phone: (207) 773-4988
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: Single Family / Build 24' x 32' Colonial	Proposed Project Description: Build New 24' x 32' Single Family Colonial
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/14/2002

Note: 33 Barclay Ave

Ok to Issue:

- 1) During the construction of Barclay Street, only one stub for sewer hook-up shall be permitted to this proposed property.
- 2) NO GARAGES OR REAR DECKS ARE SHOWN ON THIS SUBMITTAL. NO GARAGES OR DECKS ARE BEING PERMITTED UNDER THIS APPROVAL. NO DAYLIGHT BASEMENT IS BEING SHOWN, NOR IS BEING APPROVED. Separate permits are required for any new decks or garages or daylight basement.
- 3) IT IS RECOMMENDED THAT THE PROPOSED BUILDING BE MOVED FORWARD TOWARD BARCLAY SO THAT A FUTURE, LARGER DECK COULD BE ERECTED ON THE REAR. PRESENTLY ONLY A 6' WIDE DECK WOULD BE PERMITTED. THIS CHANGE WOULD NEED AN AMENDED PLAN AND APPLICATION.
- 4) This street is considered to be a 14-403 street and shall be brought up to City Standards from the end of the closest pavement to the farther end of this property PRIOR to a temporary or permanent occupancy permit.
- 5) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 6) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/04/2003

Note:

Ok to Issue:

- 1) If any exterior stairs exceed the 1 1/2" change from grade a guard & handrail must be installed per BOCA 1999.
- 2) Installation shall comply with 1993 BOCA Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

11/26/2002-jmb: left vm w/ Jim Wolf to call .

12/02/2002-mjn: SEE MEMO IN FILE--HOLD

01/06/2003-jmb: See submittal for requested info.

02/04/2003-jmb: Submitted final info, ready to issue

Applicant: Maggie Lane Dev. LLC Date: 11/13/02

Address: #33 Barclay Ave C-B-L: 339-D-7 thru 10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Construction # 02-0995

13 thru 16

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - Construct New Single Family 24' x 32' Colonial

Sewage Disposal - City

NO REAR DECKS shown

Lot Street Frontage - 50' req - 120' scaled

NO GARAGE

Front Yard - 25' req - 140' scaled

NO Daylight Basement

Rear Yard - 25' req - 25' to Bulkhead

Side Yard - 14' req - 32' to 52' scaled

Projections - rear bulkhead - front stoop, stairs - Drive way side entry stoop & stairs

Width of Lot - 75' req - 120' scaled

Height - 35' MAX - 24.5' scaled to ridge

Lot Area - 6,500 # required - 24,000 # per Assessor

Lot Coverage/ Impervious Surface - 25% MAX - 6,000 # MAX

Area per Family - 6,500 #

Off-street Parking - 2 required - 2 shown beyond front yard

24 x 32 = 768 #

Loading Bays - N/A

Site Plan - minor # 2002-0192

only 1 sewer stub permitted off Barclay

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 1 - Zone C

Recommend that the bldg be moved forward toward Barclay so that a future larger deck could be erected on the rear. Presently only a 6' wide deck would be permitted - Needs an amendment

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0192
Application I. D. Number
09/04/2002
Application Date
Project Name/Description

Maggie Lane Development Llc
Applicant
Po Box 10127, Portland , ME 04104
Applicant's Mailing Address
Maggie Lane Development
Consultant/Agent
Applicant Ph: (207) 773-4988 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

31
33/33 Barclay Ave, Portland, Maine
Address of Proposed Site
339 D007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1536 sq. Ft. **23,958 sq. Ft.**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **09/09/2002**

DRC Approval Status:

Approved Denied
See Attached
Approval Expiration **11/12/2003** Extension to _____
 Condition Compliance signature _____ date _____ Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0192

Application I. D. Number

09/04/2002

Application Date

33 Barclay Avenue

Project Name/Description

Maggie Lane Development Llc

Applicant

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Maggie Lane Development

Consultant/Agent

Applicant Ph: (207) 773-4988 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

33 - 33 Barclay Ave, Portland, Maine

Address of Proposed Site

339 D007001



Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 31 BARCLAY AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

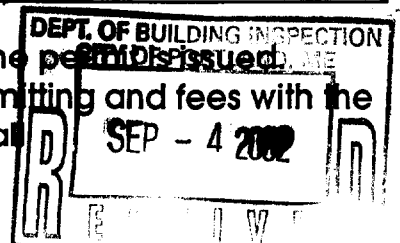
Location/Address of Construction: <u>16 BARCLAY AVENUE</u>		
Total Square Footage of Proposed Structure <u>1536</u>	Square Footage of Lot <u>23958</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>339</u> Block# <u>D</u> Lot# <u>7 to 10</u> <u>13 to 16</u>	Owner: <u>MAGGIE LANE DEVELOPMENT</u>	Telephone: <u>773 - 4988</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>773 - 4988</u> <u>MAGGIE LANE DEVELOPMENT</u> <u>PO BOX 10127</u> <u>PORTLAND, ME 04104</u>	Cost Of Work: \$ <u>15,000</u> Fee: \$ <u>848.</u>
Current use: <u>VACANT LAND</u>		Bldg Fee <u>548.00</u>
If the location is currently vacant, what was prior use: <u>VACANT</u>		Site Fee <u>300.00</u>
Approximately how long has it been vacant: <u>N/A</u>		<u>TOTAL 848.00</u>
Proposed use: <u>SINGLE FAMILY</u>		<u>owe for Calo 75.00</u>
Project description: <u>24 x 32</u>		
Contractor's name, address & telephone: <u>SAME AS ABOVE</u>		
Who should we contact when the permit is ready: <u>JAMES WOLF</u> 		
Mailing address: 		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773 - 4988</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:  Date: 9-5-02

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



389 Congress St. Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

02 0995

339 D 007

Dwight Brackett

To: Diversified Properties

From: Mike Nugent/Jeanie Bourke

Fax: 773-4988

Date: December 2, 2002

756-0687

Phone: 773-6875

Pages: 339-E-18 # 02-0175

339-E-16 # 02-0994

339-D-7 # 02-0995

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

Urgent For Review Please Comment Please Reply Please Recycle

JAN - 6 2003

RECEIVED

(339 D007, 339 E018 & 339 E016)

I have completed the review and have the following questions/comments?

- 1) What is the type/size of the anchor bolts?
- 2) The carrying girder is underdesigned the spacing of the batty column is excessive
- 3) Wall Sheeting not shown
- 4) Please indicate the net opening of the 4060 windows in the sleeping rooms.
- 5) Safety Glazing for the windows adjacent to the tube is required
- 6) Attic Access is not shown.
- 7) The stairs cannot be placed in the opening shown and comply with 1999 BOCA stair requirements. Please redesign and resubmit. Also include a cross section that shows, treads, risers, nosing, headroom, width & guard details.
- 8) What is being used for exterior wall sheathing?
- 9) Please provide a fastener schedule.
- 10) Please include a guard rail detail for the slider. (no deck)
- 11) Please show a cross section of the perimeter drain that includes pipe/stone & fabric.
- 12) Please include bulkhead stair specs including treads, risers, nosing, headroom & width.
- 13) On page A2/ First floor plan the 2- 2" x 10" centerbeam is underdesigned for an 8 foot opening.
- 14) What is the header for exterior windows & slider.
- 15) Please show guards, treads & riser for entry stairs. (2 rise, based on grade)

Dwight

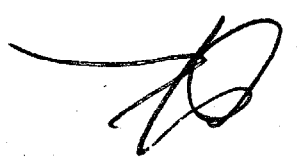
This is the list

Jin

for Bath #33 + 40 + 36

		Soil type/Presumptive Load Value (Table 401.4.1) <u>2500</u>
	Fastening 16x8" w/ 8" Fast depth	STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)
? Filter Fab. OK	Perf. both sides to sump or drainage capped	Foundation Drainage Dampproofing (Section 406)
	windows in foundation	Ventilation (Section 409.1) Crawls Space ONLY
	concrete 6" O.C.	Anchor Bolts/Straps (Section 403.1.4)
	Lally Column 8' O.C. Lally 2"x2" sided	Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))
5.19" span max fasting OK	3-2x10 = w/ ledger - 8' span	Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))
	2x6 PT	Sill/Band Joist Type & Dimensions
	2x8 w/ bridging 16" O.C. 12' span OK	First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))

		Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	OK 2X8 16" O.C. 3-2x8 brda 12' span
		Attic or additional Floor Joist Species Dimensions and Spacing Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A
		Roof Rafter; Pitch, Span, Spacing & Dimension Table 802.3.2(7))	Truss 24" O.C. S:12
		Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4 T&G OSB 5/8" OSB w/clips
	OK	Fastener Schedule (Table 602.3(1) & (2))	walls: 7/16" Sheathing OK

	spec man.	Egress Windows (Section 310)
	N/A	Fire rating of doors to living space Door Sill elevation (407.5 BOCA)
		Private Garage Section 309 and Section 407 1999 BOCA Living Space ? (Above or beside) Fire separation N/A
<p>Trads, Risers Guards/Hrails.</p> 	<p>4 2 2 4'0" ? ? ?</p>	<p>Stairs Number of Stairways Interior Exterior Treads and Risers (Section 314) Width Headroom Guards and Handrails (Section 315)</p>

Roof Covering
(Chapter 9)

Safety Glazing (Section 308)

Attic Access (BOCA 1211.1)

Draft Stopping around chimney

Header Schedule

Type of Heating System

Smoke Detectors
Location and type/interconnected

See Chimney Summary Checklist

#15 felt - treated 5/16 in.		
2ND Floor BATH ? tempered	2	
? walk in closet	?	
	?	
3-2x10 @ 8' 1 PL 2-2x8 @ 4' OK Oil Furnace chimney Ext wdg		813 max OK

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.			
ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	6 inches lined; 8 inches unlined. Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8 1003.8.1
Wall thickness			
Dimensions			
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	2 inches interior, 1 inch exterior. 2 inches front, back or sides. 6 inches from opening. 3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.15 1003.12 1003.13 1001.6
From chimney			
From fireplace			
Combustible trim or materials			
Above roof			
Anchorage ^a	O	3/16 inch by 1 inch. Two. 12 inches hooked around outer bar with 6-inch extension. Four joists. Two 1/2-inch diameter.	1003.4
Strap			
Number			
Embedment into chimney			
Fasten to			
Bolts			
Footing	P	12-inch minimum. 6 inches each side of fireplace wall.	1003.2
Thickness			
Width			

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE
CITY OF PORTLAND

PERMIT ISSUED
FEB 13
Permit Number: 020995
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

This is to certify that Maggie Lane Development Maggie Lane Development
has permission to Build New 24' x 32' Single Family Colorado
AT B Barclay Ave L 339 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanie Bourke 2/4/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Diversified Properties, Inc.

*P.O. Box 10127, Portland, ME 04104
Tel 207-773-4988 • Fax 207-773-6875*

September 4, 2002

City Of Portland
Building Inspection Department
389 Congress Street
Portland, Maine 04101

RE: Building Permit, Barclay Avenue, Portland Tax Map 339 - D - 7 to 10 and 13 to 16

Attached please find the following information in support of our request for a single family building permit.

- Construction drawings for a 24 x 32 colonial single family home – (1 set included)
- Site plan drawing showing drainage, erosion control and setbacks for the proposed building and abutting property. (4 plans included)
- Deed of Ownership

Please review the enclosed.

Thank you for your cooperation.

Sincerely,



James Wolf
Diversified Properties, Inc.

0090868

BK17008PG032

339-D-7 to 10
13 to 16

STATUTORY WARRANTY DEED

ADELAIDE M. CURRAN, of Portland in the County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

MAGGIE LANE DEVELOPMENT, LLC, a Maine Limited Liability Company with a principal place of business in Portland, in the County of Cumberland and State of Maine, whose mailing address of P.O. Box 10127, Portland, Maine 04104

Certain lots or parcels of land situated in the City of Portland, County of Cumberland and State of Maine and being more particularly described in Exhibit A annexed hereto and made a part hereof.

For grantor's source of title reference is made to two deeds from the City of Portland to grantor herein and Timothy J. Curran as joint tenants, both deeds dated May 26, 1959 and recorded at the Cumberland County Registry of Deeds in Book 2566, Page 318 and in Book 2566, Page 320; and by virtue of a deed from John Curran to grantor herein and the said Timothy J. Curran as joint tenants, dated August 2, 1957 and recorded at said Registry of Deeds in Book 2368, Page 93. The said Timothy J. Curran having died on May 1, 1974, leaving the grantor herein as surviving joint tenant.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

WITNESS my hand on this 20 day of Nov., 2001.

Joseph P. Curran P.A.
Adelaide M. Curran, By Joseph P. Curran, Her Attorney-in-Fact

STATE OF MAINE
CUMBERLAND, SS.

Nov. 20, 2001

Joseph P. Curran, attorney-in-fact on behalf of
Then personally appeared the above-named/ADELAIDE M. CURRAN
and acknowledged the foregoing instrument to be ~~his~~ free act and deed in said capacity.

Before me,

SEAL

Joyce M. Yates
Attorney at Law/Notary Public

JOYCE M. YATES
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

MAINE REAL ESTATE TAX PAID

EXHIBIT A

A certain lot or parcel of land situated in the City of Portland, Cumberland County, Maine, on the easterly side of Hampton Street and being Lots No. 212 and 213 as shown on Plan of Harris Farms made by E. C. Jordan & Co., C.E., dated June 5, 1919, and recorded in the Cumberland County Registry of Deeds, Plan Book 14, Page 19, to which Plan reference may be made for a more particular description. Said lots are each 30 feet in width and 100 feet in depth according to said plan. Together with the fee of land in said Hampton Street in front of and adjoining said lots and extending from the street line to the middle of said street.

Also certain lots of parcels of land situated in said Portland on the easterly side of Barclay Avenue, being Lots No. 218 and 219 as shown on plan of Harris Farms, made E.C. Jordan & Co., C.E., dated June 5, 1919, and recorded in the Cumberland County Registry of Deeds, Plan Book 14, Page 19, to which Plan, reference may be made for a more particular description. Together with the fee in front of and adjoining said Lots 218 and 219, and extending from the street line to the middle of said Avenue.

Also certain lots or parcels of land situated in said Portland between Hampton Street and Barclay Avenue being Lots No. 210, 211, 220 and 221, as shown on plan of Harris Farms made by E.C. Jordan & Co., C.E., dated June 5, 1919, and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19.

Together with the fee of land in said Hampton Street and Barclay Avenue in front of and adjoining said Lots No. 210, 211, 220 and 221 and extending from the street line to the middle of said Street and Avenue.

This conveyance is subject to the rights of others in and to that portion of the subject premises lying within the apparent right of way for Barclay Avenue and Hampton Street as set forth in deeds to Adelaide M. Curran, et al, dated August 2, 1957, recorded in Book 2368, Page 93 and dated May 26, 1959, recorded in Book 2566, Pages 318 and 320.



Seller's Initials



Buyer's Initials

RECEIVED
RECORDED REGISTRY OF DEEDS

2001 NOV 28 AM 10: 55

CUMBERLAND COUNTY

John B. O'Brien

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0192
Application I. D. Number
9/4/2002
Application Date
16 Barclay Avenue
Project Name/Description

Maggie Lane Development Lic
Applicant
Po Box 10127, Portland , ME 04104
Applicant's Mailing Address
Maggie Lane Development
Consultant/Agent
Applicant Ph: (207) 773-4988 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

16 - 16 Barclay Ave, Portland, Maine
Address of Proposed Site
339 D007001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1536 sq. Ft. Proposed Building square Feet or # of Units **23,958 sq. Ft.** Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **9/9/2002**

Insp Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Rev.	Date	Revision
-	-	-

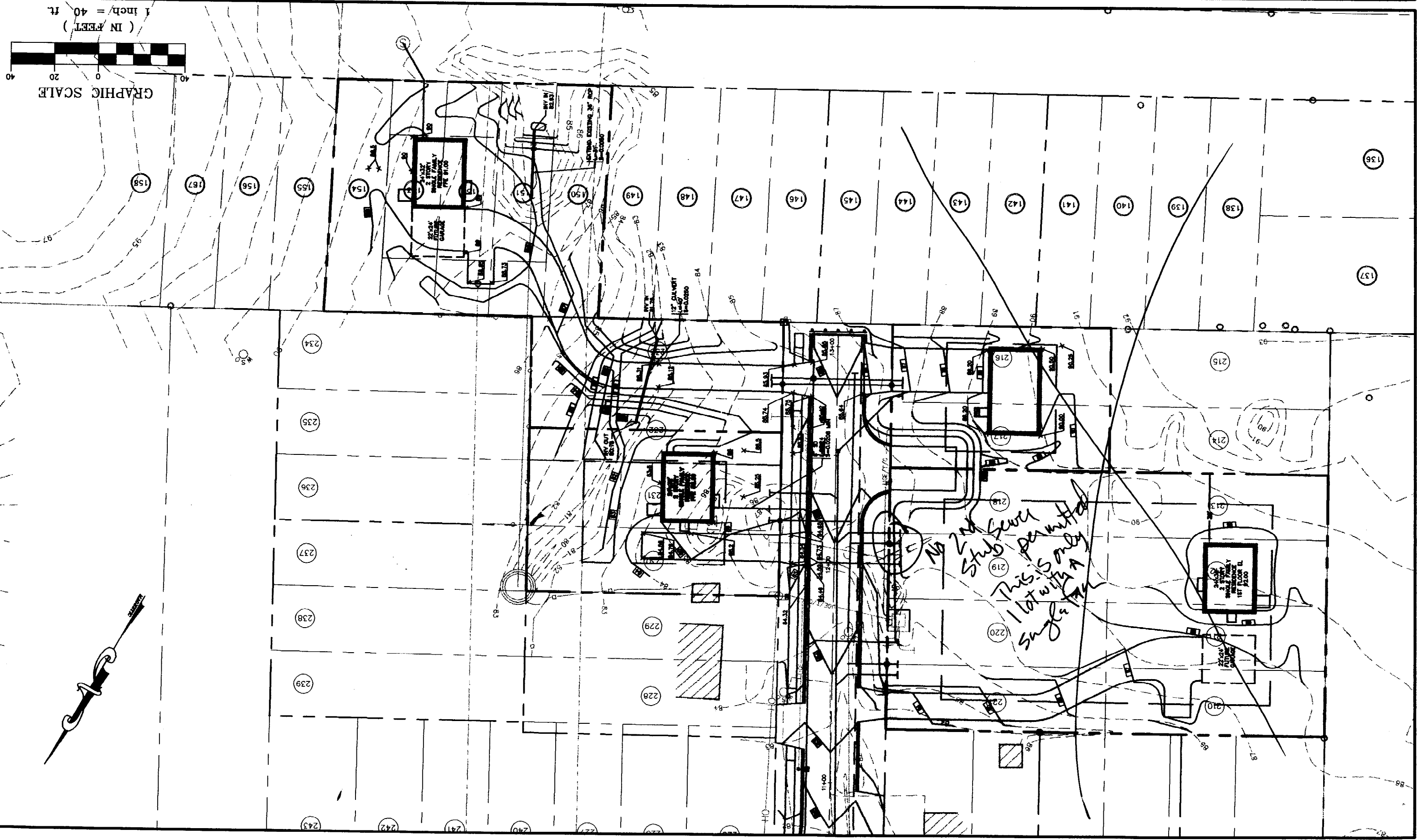
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Draft: CMF	Job No.: 374
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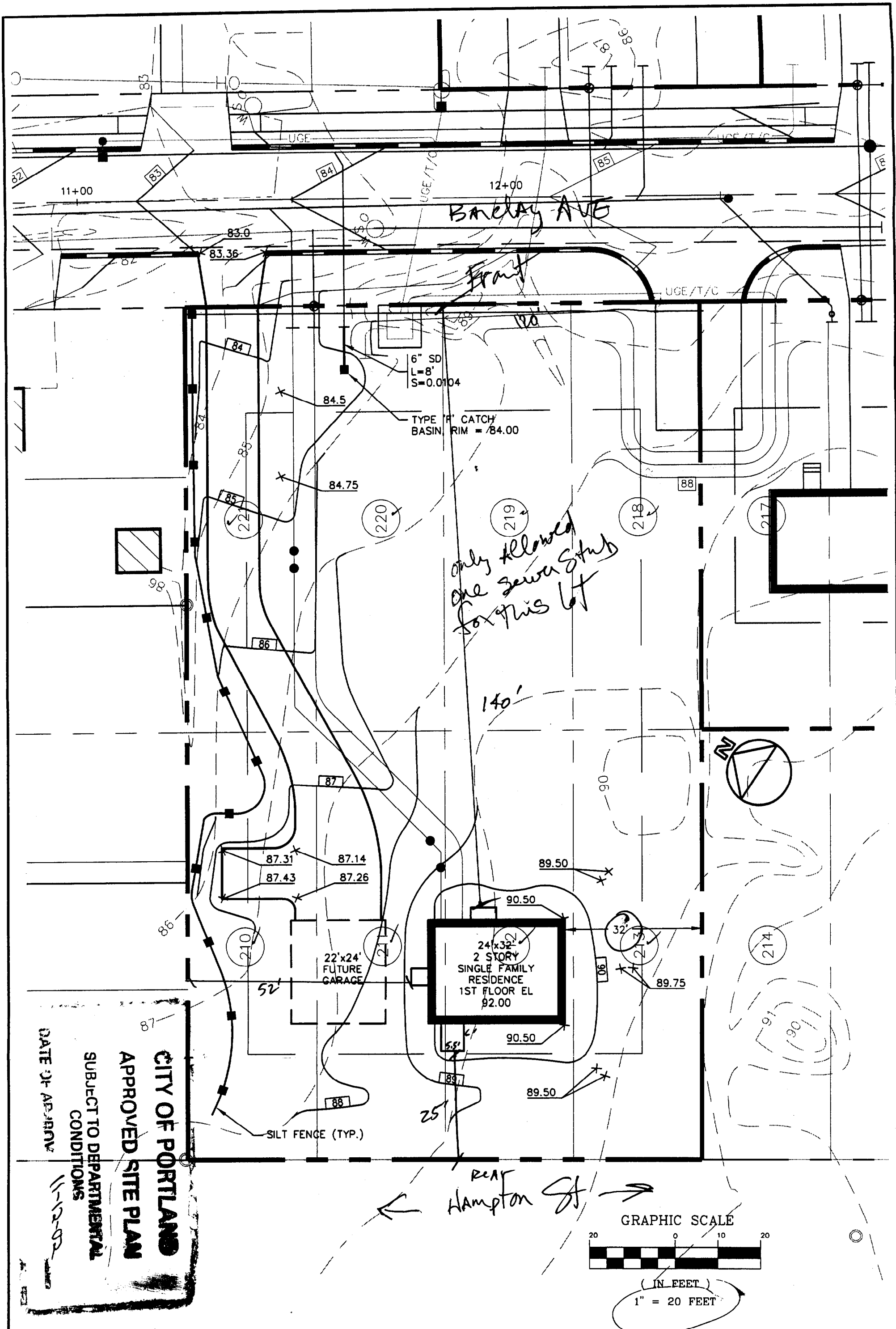
GP
Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
26 Shaker Road
Gray, ME 04038
207-657-6910
207-657-6912
E-Mail: mail@gorrillpalmer.com

Drawing Name: **Grading Plan**
Project: **BARCLAY AVENUE, PORTLAND**

Figure No. **1**

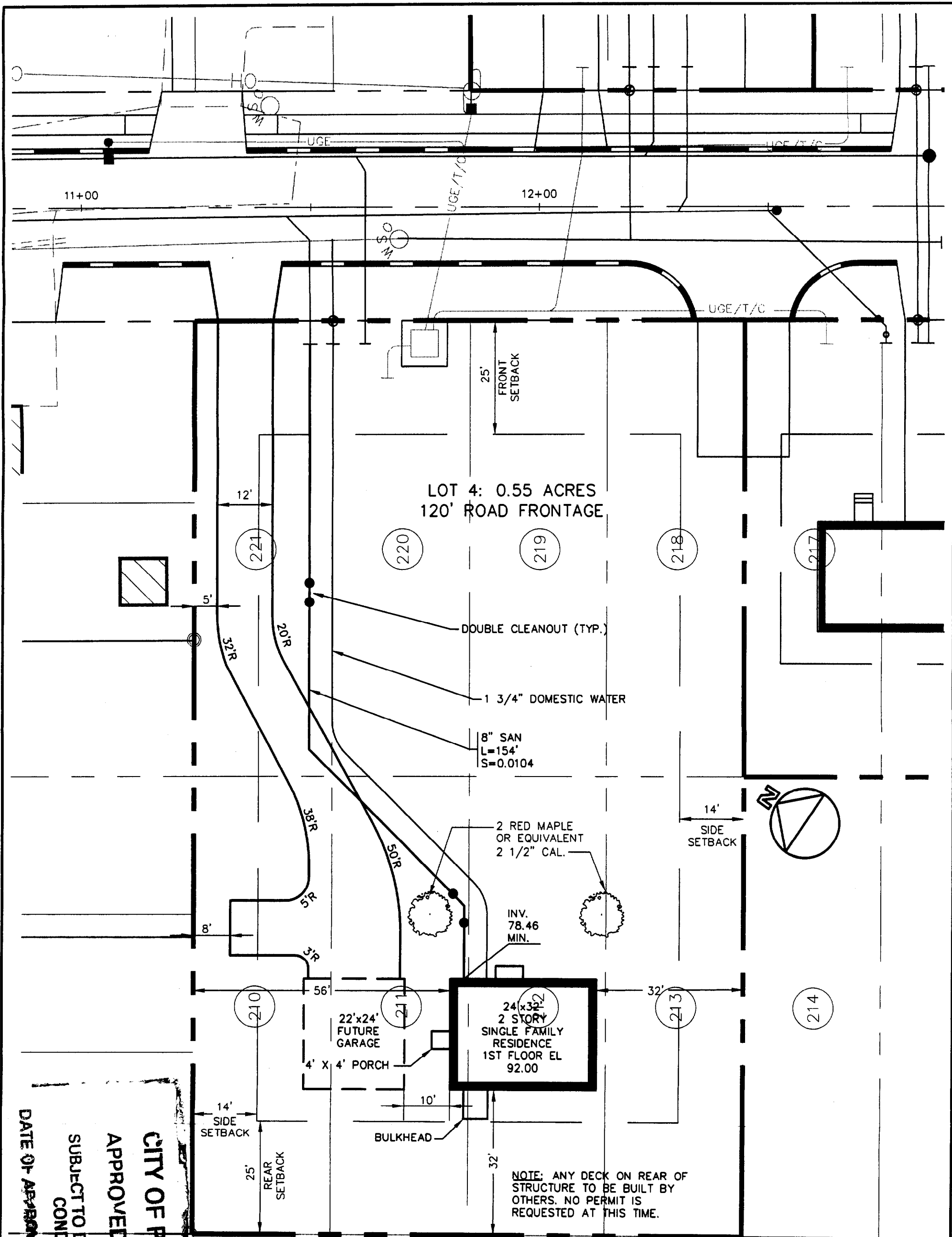




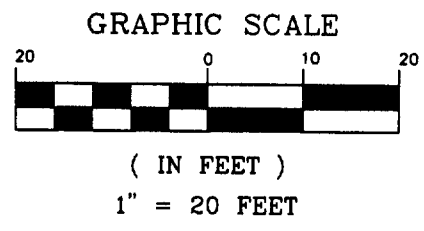
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TAB: LOT4, LMAN: 374-L0T4 GRADING	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: melpal@gorrillpalmer.com

Drawing Name: **Lot 4 Grading & Drainage Plan**
 Project: **BARCLAY AVENUE, PORTLAND**



NOTE: ANY DECK ON REAR OF STRUCTURE TO BE BUILT BY OTHERS. NO PERMIT IS REQUESTED AT THIS TIME.



CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS
DATE OF APPROVAL 11-2-02

Design: DER	Date: JULY 2002
Draft: SGB	Job No.: 374
Checked: AMP	Scale: 1" = 20'
File Name: 374-SP.dwg	
TAB: LOT4, LMAN: 374-LOT4 LAYOUT & UTIL	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Spoker Road
Gray, ME 04039
207-657-8910
FAX: 207-637-8912
E-Mail: mol@gparrpalmer.com

Drawing Name:
Lot 4 Layout & Utilities Plan

Project:
BARCLAY AVENUE, PORTLAND

Figure No.
2



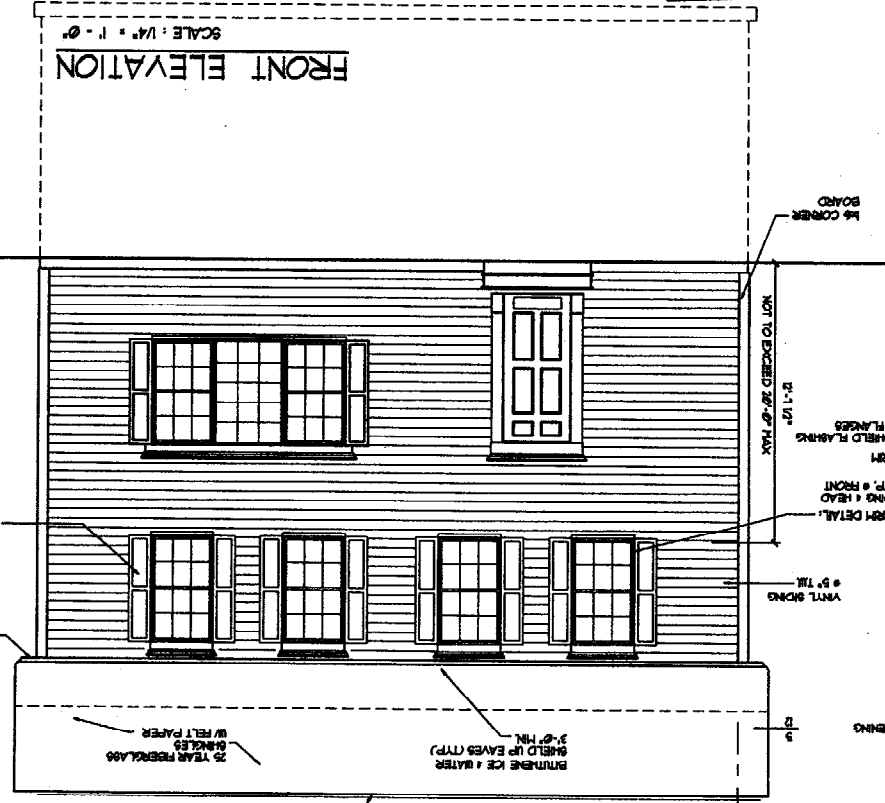
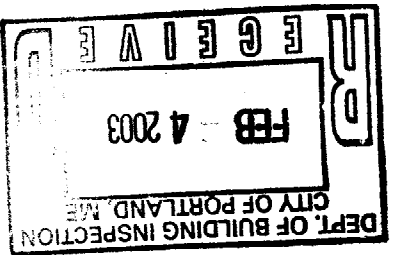
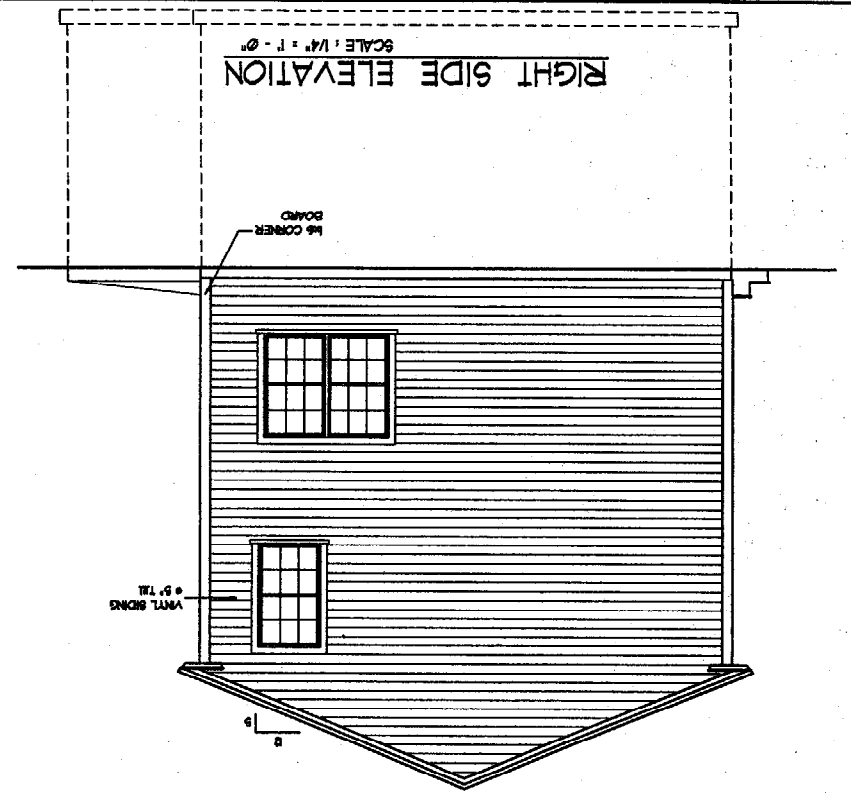
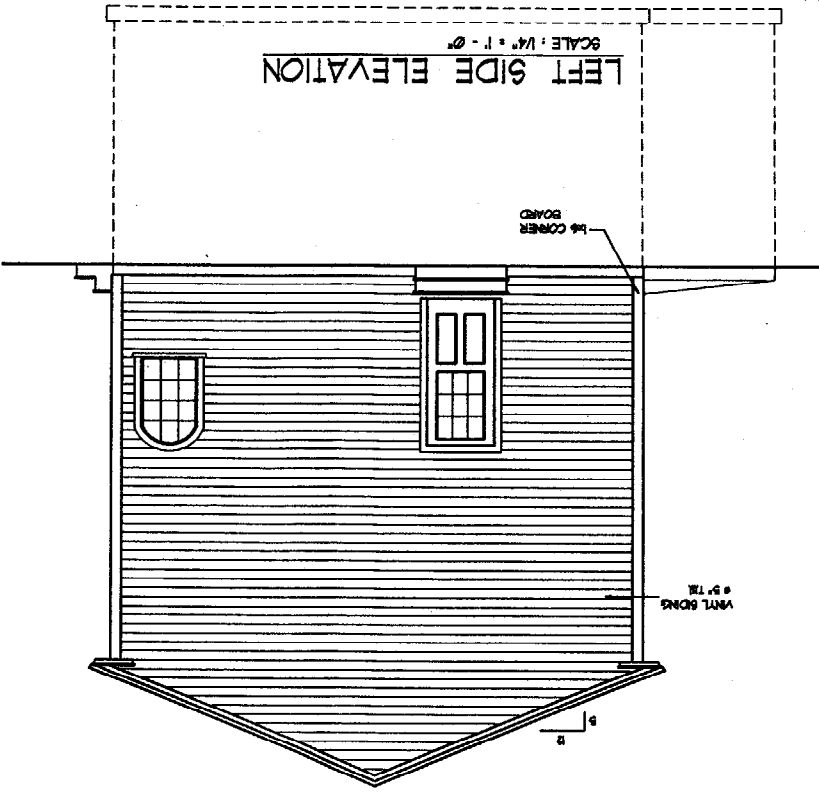
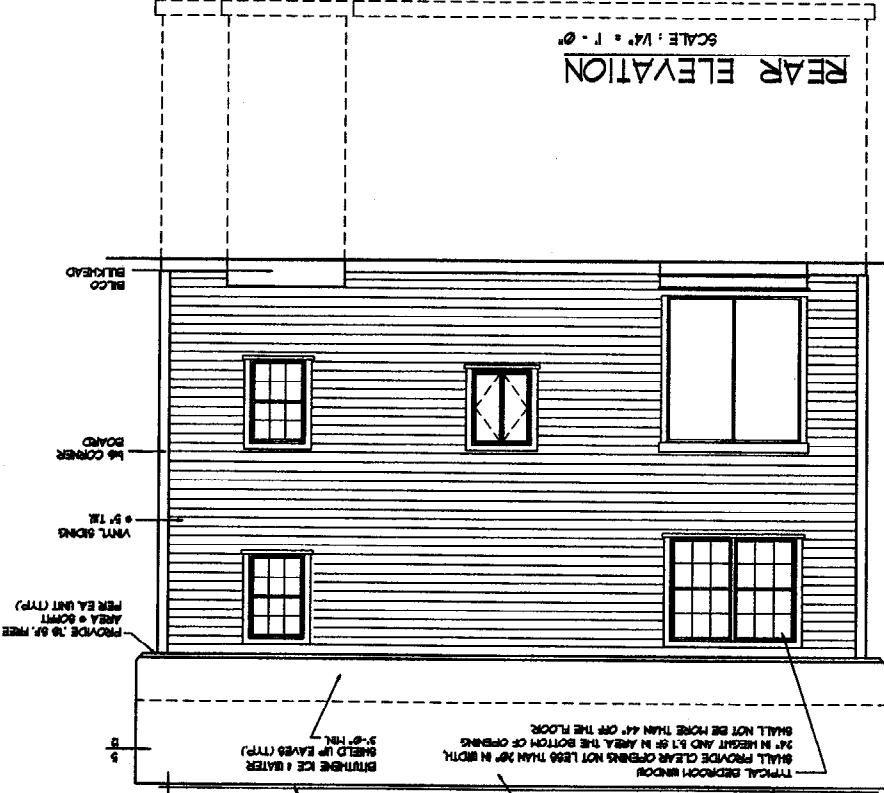
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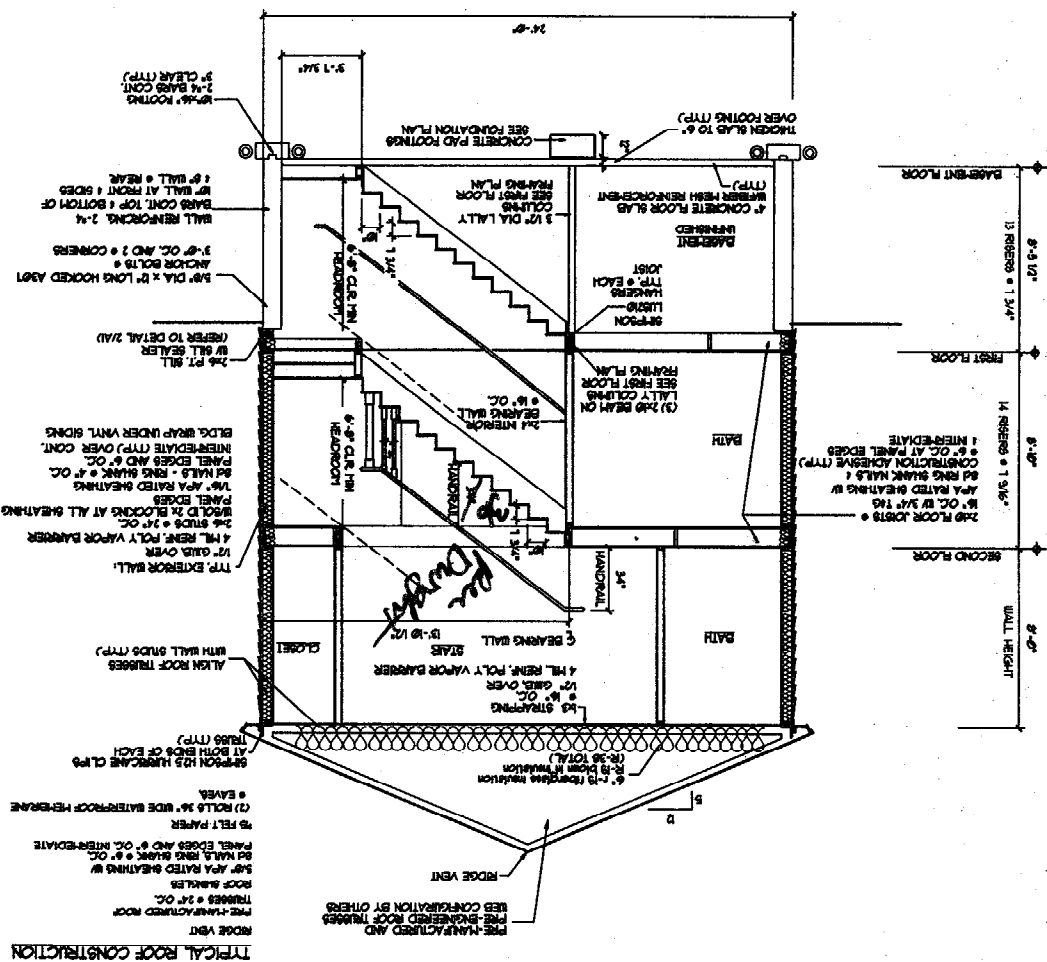
DRAWINGS THIS SHEET
ELEVATIONS /
SECTION

DATE

REVISED



SECTION THRU HOUSE



HEADER SCHEDULE

ROOF OPENING	HEADER SIZE
(1) 2'-0"	(1) 2x6
(2) 3'-0"	(1) 2x8
(3) 4'-0"	(1) 2x10
(4) 5'-0"	(1) 2x12

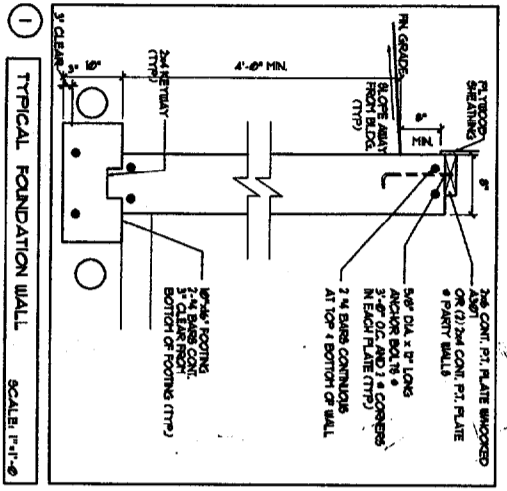
NOTE: PROVIDE LAMB BOTH SIDES AS FOLLOWS:
 2x6 JACK PLUS 2x8 KIDS UP TO 4'-0" ROOF OPENING
 2x8 JACK PLUS 2x8 KIDS UP TO 7'-0" ROOF OPENING

TYPICAL BEDROOM WINDOW
 SHALL PROVIDE CLEAR OPENING NOT LESS THAN 20" IN WIDTH
 24" IN HEIGHT AND 51" IN AREA THE BOTTOM OF OPENING
 SHALL NOT BE MORE THAN 44" OFF THE FLOOR

TYP. WINDOW TRIM DETAIL
 CROWN MOULDING - 1/2" x 1/2" x 1/2"
 FLASHING - TRIM x FRONT
 3/4" VENT. TRIM
 OVER BRICK FLANGES
 2'-1 1/2" MAX
 NOT TO EXCEED 2'-0" MAX

TYPICAL BEDROOM WINDOW
 SHALL PROVIDE CLEAR OPENING NOT LESS THAN 20" IN WIDTH
 24" IN HEIGHT AND 51" IN AREA THE BOTTOM OF OPENING
 SHALL NOT BE MORE THAN 44" OFF THE FLOOR
 SHRIMP ICE & WATER
 SHIELD UP EAVES (TYP)
 3'-0" MIN.
 25 YEAR FIBERGLASS
 SHINGLES
 W/ FELT PAPER
 PROVIDE 1/8" FREE AREA + RIDGE VENT
 PER EA UNIT (TYP)

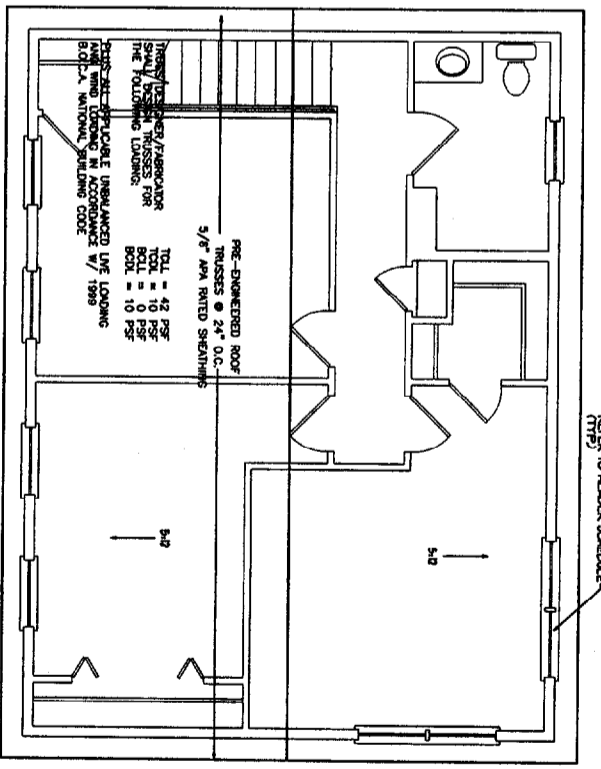
PROVIDE 1/8" FREE AREA + SCOTT
 PER EA UNIT (TYP)



1 TYPICAL FOUNDATION WALL SCALE: 1/4" = 1'-0"

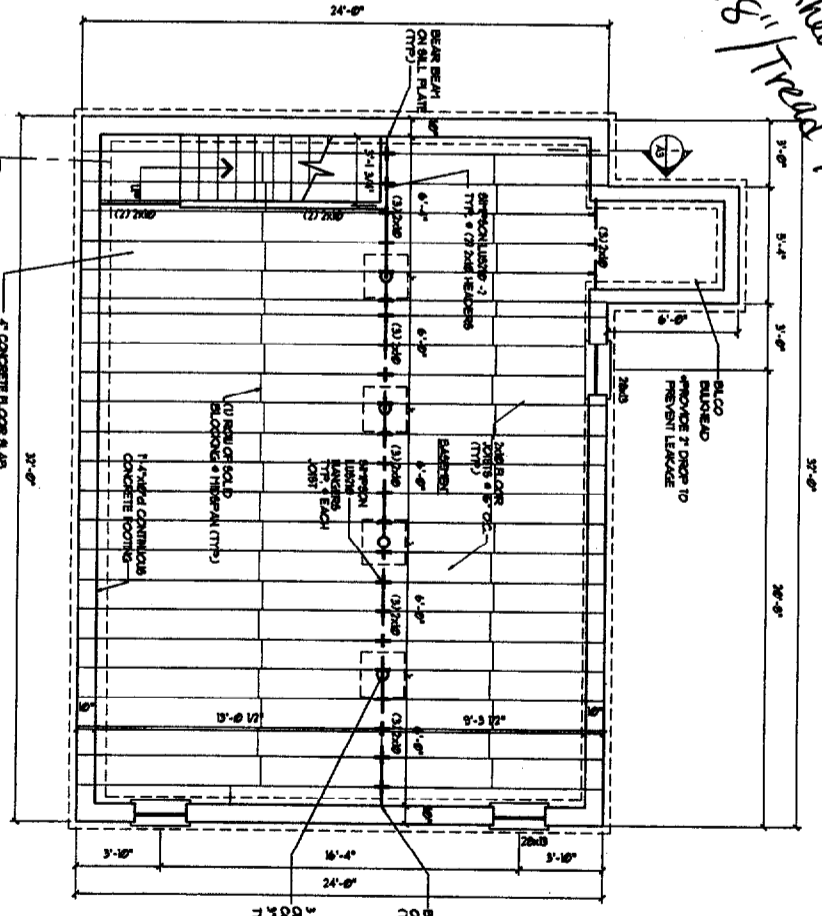
HEADER SCHEDULE		
ROUGH OPENING	HEADER SIZE	HEADER SIZE
0'-3" - 0"	(1) - 2#6	
3'-2" - 4'-6"	(1) - 2#6	
4'-7" - 5'-0"	(1) - 2#6	
5'-0" - 7'-0"	(1) - 2#6	

NOTE: PROVIDE LAPED BOTTOM REIN AS FOLLOWS:
 (1) 2#6 ABOVE SLAB (2) 2#6 ABOVE UP TO 1'-0" ROUGH OPENING
 (3) 2#6 ABOVE SLAB (2) 2#6 ABOVE UP TO 7'-0" ROUGH OPENING



ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

*Bulkhead Slabs
Rise 8" from 9"*



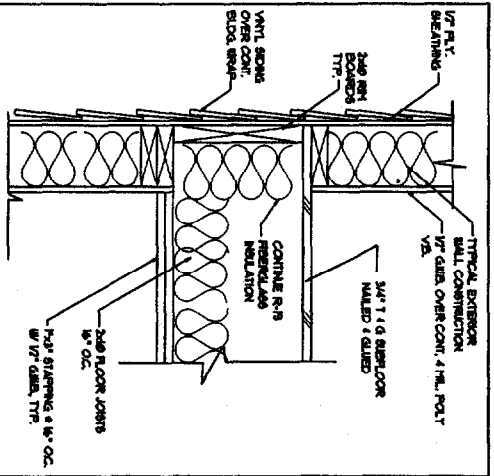
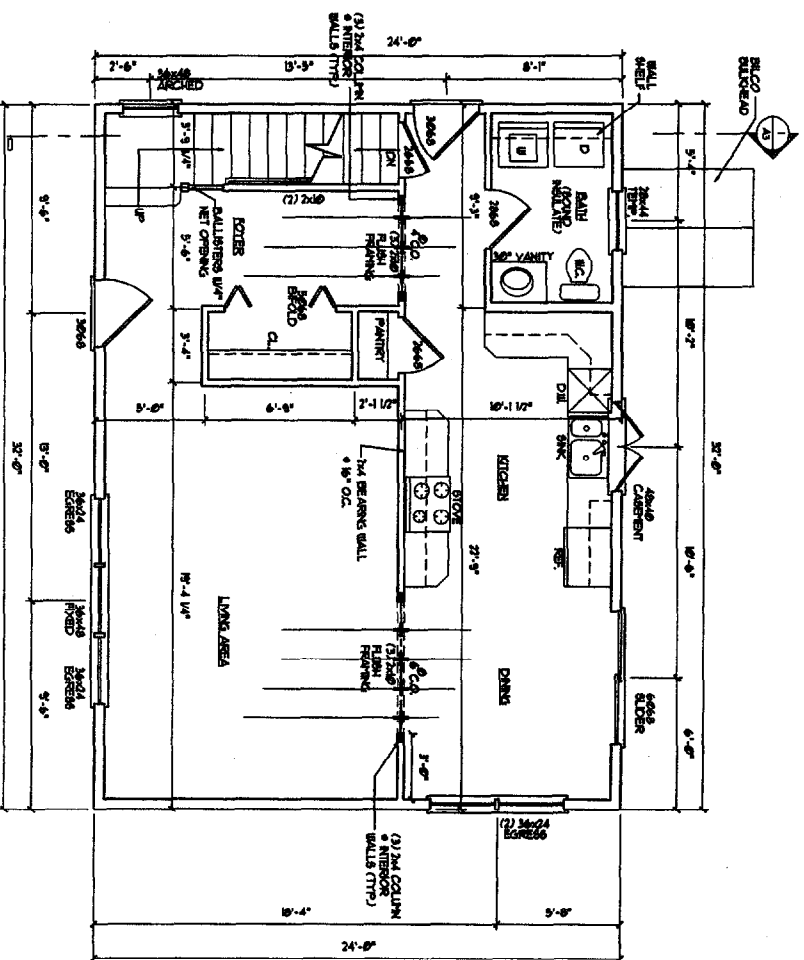
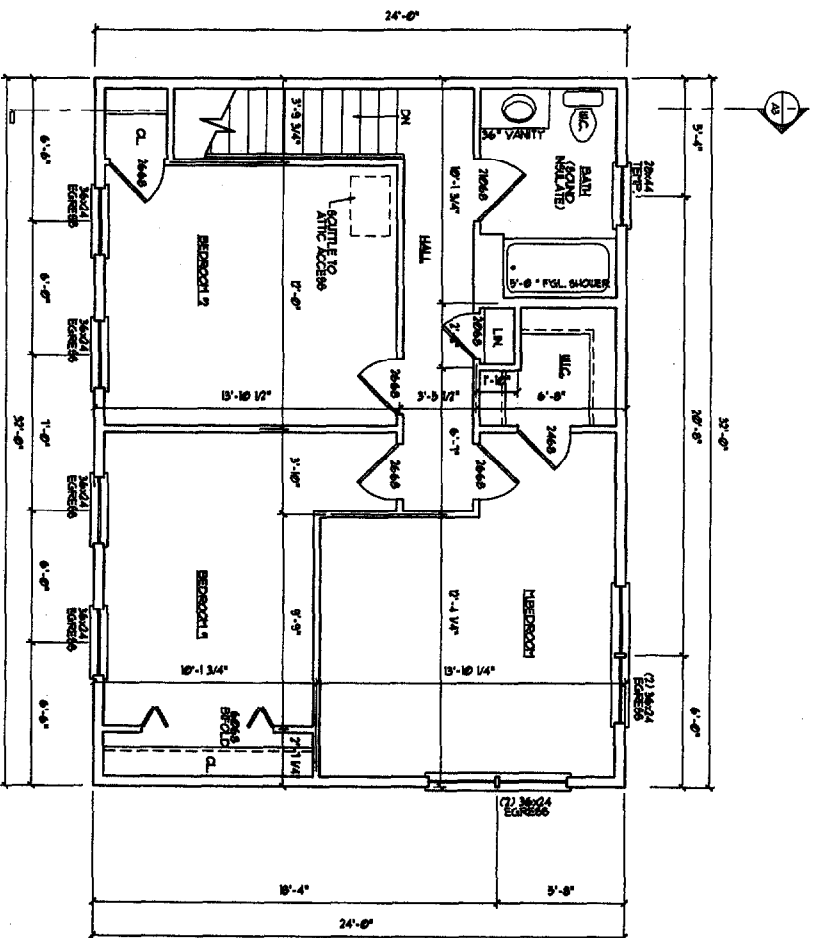
FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

- ### GENERAL NOTES:
- All work shall be in accordance with 2003 State Building Code, 2003 National Electrical Code, 2003 International Plumbing Code, 2003 International Mechanical Code, 2003 International Fire Code, and all local, state and federal requirements.
 - All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
 - All required City and State permits shall be obtained before any construction begins.
 - It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its occupants during erection. This includes the addition of any necessary bracing, temporary bracing, type or location, when material will remain the property of the contractor after completion of the project.
 - Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, state and federal standards.
 - All the ratings indicated shall be continuous throughout the rated ceiling or underside of roof deck, seal at openings; mechanical penetrations shall approved for sealing material.
 - Building shall be sprinklered in accordance with NFPA-101, 101A, 101B, 101C, 101D, 101E, 101F, 101G, 101H, 101I, 101J, 101K, 101L, 101M, 101N, 101O, 101P, 101Q, 101R, 101S, 101T, 101U, 101V, 101W, 101X, 101Y, 101Z, 101AA, 101AB, 101AC, 101AD, 101AE, 101AF, 101AG, 101AH, 101AI, 101AJ, 101AK, 101AL, 101AM, 101AN, 101AO, 101AP, 101AQ, 101AR, 101AS, 101AT, 101AU, 101AV, 101AW, 101AX, 101AY, 101AZ, 101BA, 101BB, 101BC, 101BD, 101BE, 101BF, 101BG, 101BH, 101BI, 101BJ, 101BK, 101BL, 101BM, 101BN, 101BO, 101BP, 101BQ, 101BR, 101BS, 101BT, 101BU, 101BV, 101BW, 101BX, 101BY, 101BZ, 101CA, 101CB, 101CC, 101CD, 101CE, 101CF, 101CG, 101CH, 101CI, 101CJ, 101CK, 101CL, 101CM, 101CN, 101CO, 101CP, 101CQ, 101CR, 101CS, 101CT, 101CU, 101CV, 101CW, 101CX, 101CY, 101CZ, 101DA, 101DB, 101DC, 101DD, 101DE, 101DF, 101DG, 101DH, 101DI, 101DJ, 101DK, 101DL, 101DM, 101DN, 101DO, 101DP, 101DQ, 101DR, 101DS, 101DT, 101DU, 101DV, 101DW, 101DX, 101DY, 101DZ, 101EA, 101EB, 101EC, 101ED, 101EE, 101EF, 101EG, 101EH, 101EI, 101EJ, 101EK, 101EL, 101EM, 101EN, 101EO, 101EP, 101EQ, 101ER, 101ES, 101ET, 101EU, 101EV, 101EW, 101EX, 101EY, 101EZ, 101FA, 101FB, 101FC, 101FD, 101FE, 101FF, 101FG, 101FH, 101FI, 101FJ, 101FK, 101FL, 101FM, 101FN, 101FO, 101FP, 101FQ, 101FR, 101FS, 101FT, 101FU, 101FV, 101FW, 101FX, 101FY, 101FZ, 101GA, 101GB, 101GC, 101GD, 101GE, 101GF, 101GG, 101GH, 101GI, 101GJ, 101GK, 101GL, 101GM, 101GN, 101GO, 101GP, 101GQ, 101GR, 101GS, 101GT, 101GU, 101GV, 101GW, 101GX, 101GY, 101GZ, 101HA, 101HB, 101HC, 101HD, 101HE, 101HF, 101HG, 101HH, 101HI, 101HJ, 101HK, 101HL, 101HM, 101HN, 101HO, 101HP, 101HQ, 101HR, 101HS, 101HT, 101HU, 101HV, 101HW, 101HX, 101HY, 101HZ, 101IA, 101IB, 101IC, 101ID, 101IE, 101IF, 101IG, 101IH, 101II, 101IJ, 101IK, 101IL, 101IM, 101IN, 101IO, 101IP, 101IQ, 101IR, 101IS, 101IT, 101IU, 101IV, 101IW, 101IX, 101IY, 101IZ, 101JA, 101JB, 101JC, 101JD, 101JE, 101JF, 101JG, 101JH, 101JI, 101JJ, 101JK, 101JL, 101JM, 101JN, 101JO, 101JP, 101JQ, 101JR, 101JS, 101JT, 101JU, 101JV, 101JW, 101JX, 101JY, 101JZ, 101KA, 101KB, 101KC, 101KD, 101KE, 101KF, 101KG, 101KH, 101KI, 101KJ, 101KL, 101KM, 101KN, 101KO, 101KP, 101KQ, 101KR, 101KS, 101KT, 101KU, 101KV, 101KW, 101KX, 101KY, 101KZ, 101LA, 101LB, 101LC, 101LD, 101LE, 101LF, 101LG, 101LH, 101LI, 101LJ, 101LK, 101LL, 101LM, 101LN, 101LO, 101LP, 101LQ, 101LR, 101LS, 101LT, 101LU, 101LV, 101LW, 101LX, 101LY, 101LZ, 101MA, 101MB, 101MC, 101MD, 101ME, 101MF, 101MG, 101MH, 101MI, 101MJ, 101MK, 101ML, 101MN, 101MO, 101MP, 101MQ, 101MR, 101MS, 101MT, 101MU, 101MV, 101MW, 101MX, 101MY, 101MZ, 101NA, 101NB, 101NC, 101ND, 101NE, 101NF, 101NG, 101NH, 101NI, 101NJ, 101NK, 101NL, 101NM, 101NO, 101NP, 101NQ, 101NR, 101NS, 101NT, 101NU, 101NV, 101NW, 101NX, 101NY, 101NZ, 101OA, 101OB, 101OC, 101OD, 101OE, 101OF, 101OG, 101OH, 101OI, 101OJ, 101OK, 101OL, 101OM, 101ON, 101OO, 101OP, 101OQ, 101OR, 101OS, 101OT, 101OU, 101OV, 101OW, 101OX, 101OY, 101OZ, 101PA, 101PB, 101PC, 101PD, 101PE, 101PF, 101PG, 101PH, 101PI, 101PJ, 101PK, 101PL, 101PM, 101PN, 101PO, 101PP, 101PQ, 101PR, 101PS, 101PT, 101PU, 101PV, 101PW, 101PX, 101PY, 101PZ, 101QA, 101QB, 101QC, 101QD, 101QE, 101QF, 101QG, 101QH, 101QI, 101QJ, 101QK, 101QL, 101QM, 101QN, 101QO, 101QP, 101QQ, 101QR, 101QS, 101QT, 101QU, 101QV, 101QW, 101QX, 101QY, 101QZ, 101RA, 101RB, 101RC, 101RD, 101RE, 101RF, 101RG, 101RH, 101RI, 101RJ, 101RK, 101RL, 101RM, 101RN, 101RO, 101RP, 101RQ, 101RR, 101RS, 101RT, 101RU, 101RV, 101RW, 101RX, 101RY, 101RZ, 101SA, 101SB, 101SC, 101SD, 101SE, 101SF, 101SG, 101SH, 101SI, 101SJ, 101SK, 101SL, 101SM, 101SN, 101SO, 101SP, 101SQ, 101SR, 101SS, 101ST, 101SU, 101SV, 101SW, 101SX, 101SY, 101SZ, 101TA, 101TB, 101TC, 101TD, 101TE, 101TF, 101TG, 101TH, 101TI, 101TJ, 101TK, 101TL, 101TM, 101TN, 101TO, 101TP, 101TQ, 101TR, 101TS, 101TT, 101TU, 101TV, 101TW, 101TX, 101TY, 101TZ, 101UA, 101UB, 101UC, 101UD, 101UE, 101UF, 101UG, 101UH, 101UI, 101UJ, 101UK, 101UL, 101UM, 101UN, 101UO, 101UP, 101UQ, 101UR, 101US, 101UT, 101UU, 101UV, 101UW, 101UX, 101UY, 101UZ, 101VA, 101VB, 101VC, 101VD, 101VE, 101VF, 101VG, 101VH, 101VI, 101VJ, 101VK, 101VL, 101VM, 101VN, 101VO, 101VP, 101VQ, 101VR, 101VS, 101VT, 101VU, 101VV, 101VW, 101VX, 101VY, 101VZ, 101WA, 101WB, 101WC, 101WD, 101WE, 101WF, 101WG, 101WH, 101WI, 101WJ, 101WK, 101WL, 101WM, 101WN, 101WO, 101WP, 101WQ, 101WR, 101WS, 101WT, 101WU, 101WV, 101WW, 101WX, 101WY, 101WZ, 101XA, 101XB, 101XC, 101XD, 101XE, 101XF, 101XG, 101XH, 101XI, 101XJ, 101XK, 101XL, 101XM, 101XN, 101XO, 101XP, 101XQ, 101XR, 101XS, 101XT, 101XU, 101XV, 101XW, 101XX, 101XY, 101XZ, 101YA, 101YB, 101YC, 101YD, 101YE, 101YF, 101YG, 101YH, 101YI, 101YJ, 101YK, 101YL, 101YM, 101YN, 101YO, 101YP, 101YQ, 101YR, 101YS, 101YT, 101YU, 101YV, 101YW, 101YX, 101YY, 101YZ, 101ZA, 101ZB, 101ZC, 101ZD, 101ZE, 101ZF, 101ZG, 101ZH, 101ZI, 101ZJ, 101ZK, 101ZL, 101ZM, 101ZN, 101ZO, 101ZP, 101ZQ, 101ZR, 101ZS, 101ZT, 101ZU, 101ZV, 101ZW, 101ZX, 101ZY, 101ZZ

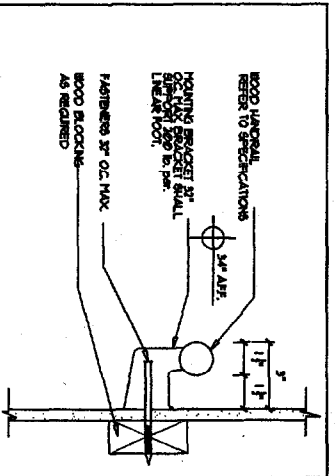
DRAWINGS THIS SHEET	
DATE	
09/20/05	FOUNDATION PLAN ROOF PLAN NOTES/DETAILS

A1

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
RECEIVED
FEB 4 2003

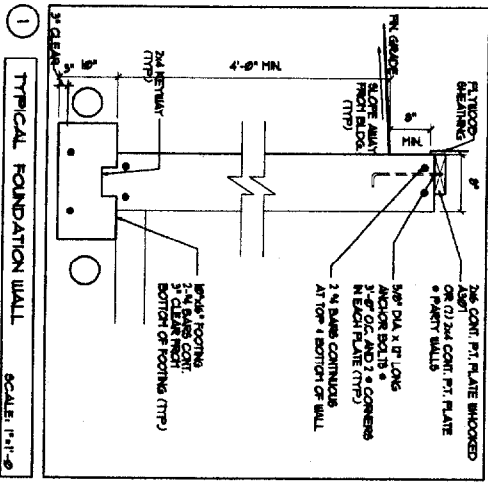


1 FLOOR FINISHING DETAIL 1/2" = 1'-0"



DRAWINGS THIS SHEET	
FIRST FLOOR PLAN / SECOND FLOOR PLAN DETAILS	
DATE	01/08/03

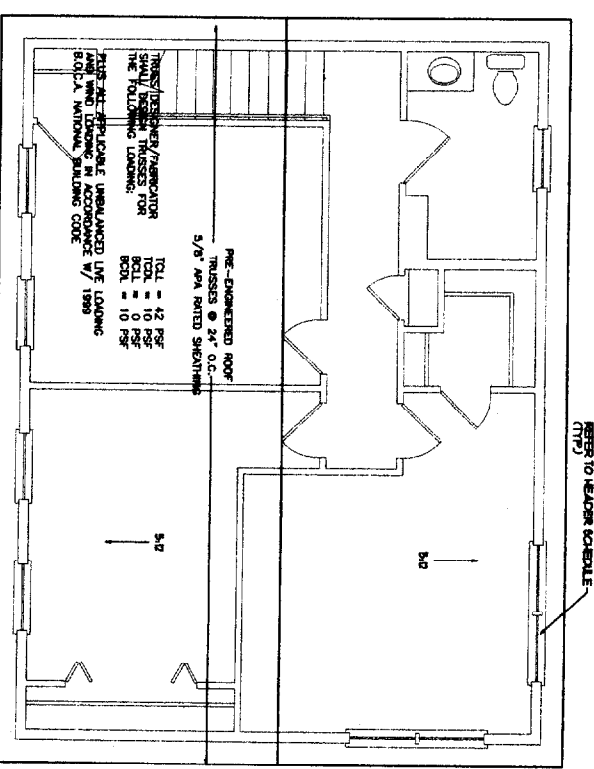
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1 TYPICAL FOUNDATION WALL SCALE: 1/4" = 1'-0"

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
8'-3" x 4'-6"	(1) - 2x6
5'-11" x 4'-6"	(1) - 2x6
4'-11" x 5'-6"	(1) - 2x6
9'-9" x 7'-6"	(1) - 2x6

NOTE: PROVIDE JAMBS BOTH SIDES AS FOLLOWS:
 (1) 2x6 JAMB 2x6 KING UP TO 4'-4" ROUGH OPENING
 (2) 2x6 JAMB 2x6 KING UP TO 7'-0" ROUGH OPENING



ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

GENERAL NOTES:

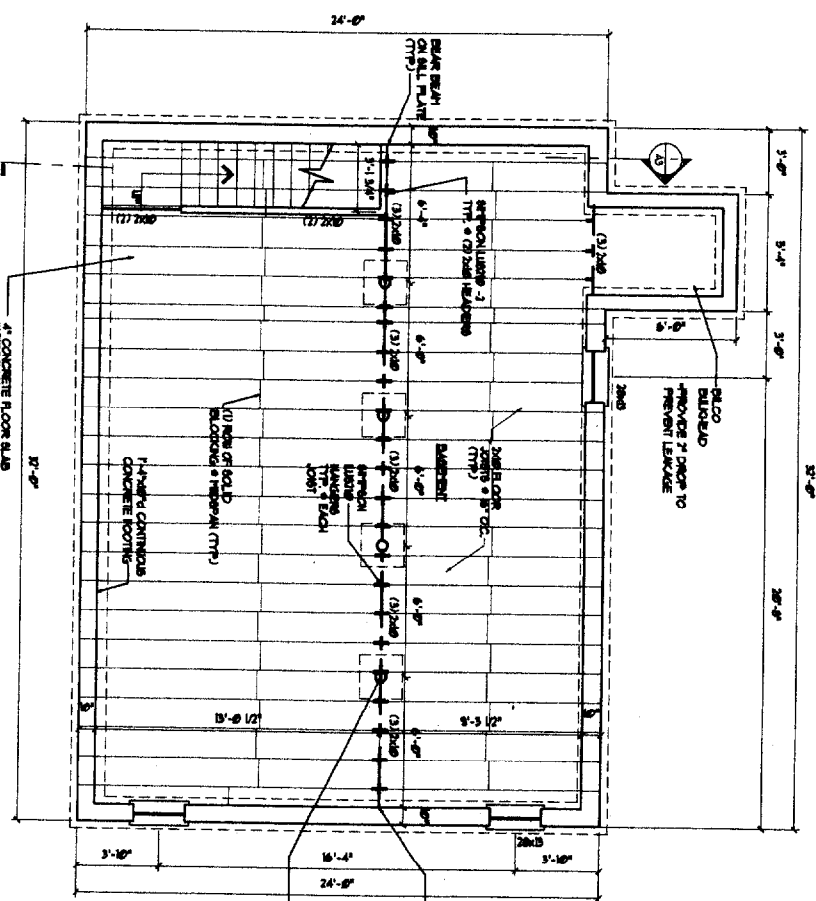
- All work shall be in accordance with BOCA Basic Building Code (NFPA-90 National Fire Protection Association Building Code, Adopted IL, NFPA Codes, American with Datasheet A-100 (AOA) and all local, state and federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits shall be obtained before any construction begins.
- It is the contractor's sole responsibility to determine section procedures and sequence to ensure the safety of the building and its occupants. This includes the location of necessary existing, existing, temporary bracing, girders or shoring. This includes the location of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, state and federal standards.
- All fire ratings indicated shall be maintained to underside of the rated ceiling or underside of roof deck, floor at openings, mechanical penetrations with approved fire rating material.
- Building shall be constructed in accordance with NFPA-101, Codebook shall submit plans for State Fire Marshal approval prior to construction in accordance with NFPA-101.
- Building shall have approved means egress in accordance with NFPA-101 Life Safety Code. Smoke detectors shall be installed in all sleeping rooms of each unit.
- Provide the egress route shall be provided in all hazardous areas in accordance with NFPA-101. Local authority having jurisdiction needs to provide means egress.
- Structural steel shall be 4" galvanized steel and shall be kept free and clear of the end zone in all areas to receive the second main of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-98A, NFPA-98B and all federal, local and state codes and regulations or their equivalent and be in accordance with NFPA-101, NFPA-101A, NFPA-101B, NFPA-101C and NFPA-101D as applicable.

FRAMING NOTES:

- All exterior walls to be 2x6 wood stud walls with 1/2" gypsum board on exterior face and 1/2" gypsum board on interior face of wall. 4" batt insulation shall be installed in cavity between exterior and interior face of wall.
- All interior walls to be 2x4 wood stud walls with 1/2" gypsum board on both sides.
- Vertical blocking behind all surface applied partitions, trim and shelves shall be provided on walls.
- The location of all door frames shall be 1/4" unless noted otherwise from adjacent walls.

FOUNDATION NOTES:

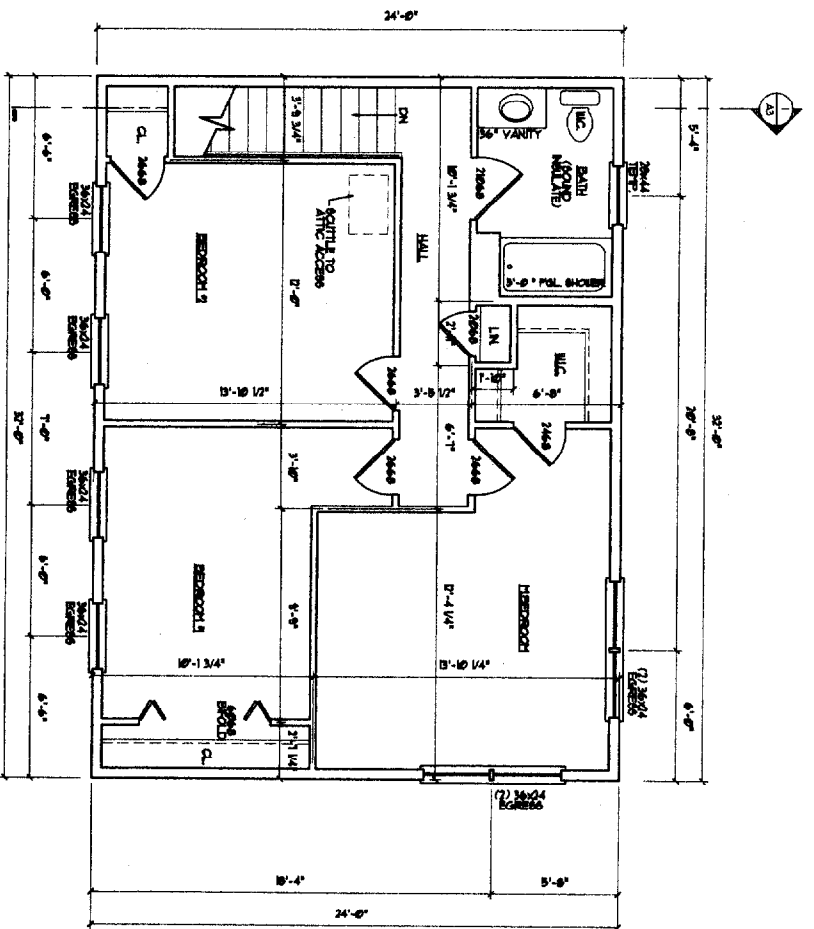
- Provide all walls on top of all foundation walls.
- Foundation walls shall be supported structurally on both sides.
- All steel reinforcing in footings to be a minimum 3" clear from bottom of footing.
- All steel reinforcing in foundation walls shall be 3" clear from both face of wall.
- All wood in contact with concrete shall be pressure treated wood to prevent rot from water.
- All concrete surfaces shall have a steel deck finish.
- Set bottom of footing 1/4" below grade.
- Set all footings on undisturbed soil on compacted structural fill.
- Reinforce walls with 4" thick concrete slabs on grade with fresh mesh reinforcement. Provide control joints 5'-0" spacing (25ft).
- All concrete shall be 3000 psi (70) strength at 28 days.
- All other openings shall be pre-approved.
- Waterproofing / DWP Footings As-built 17K.



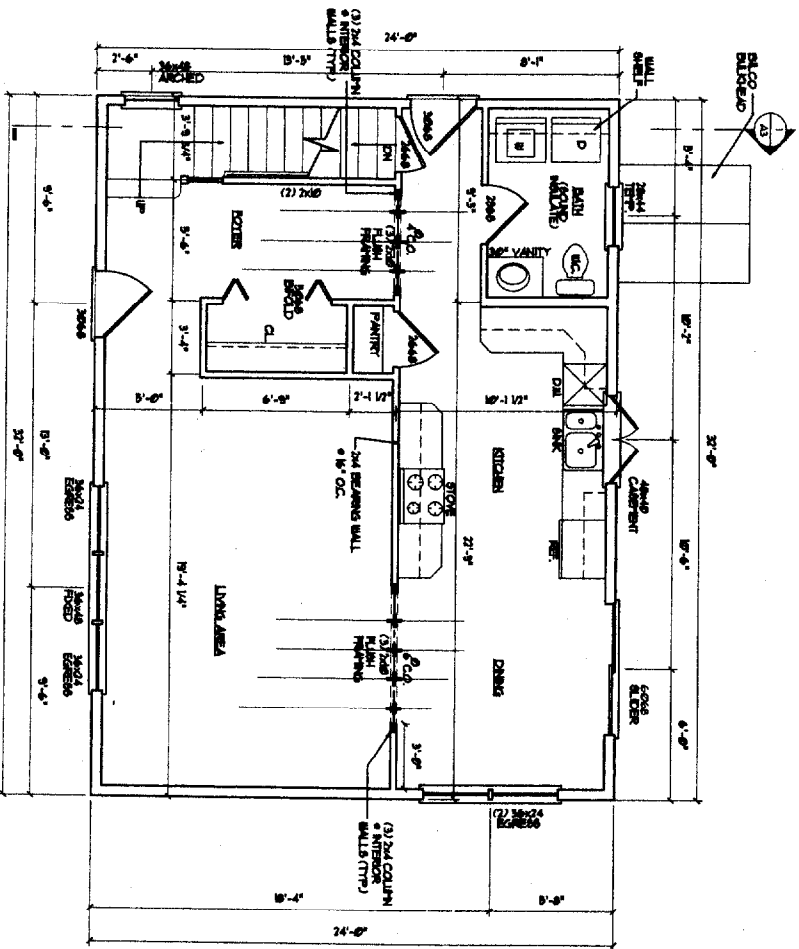
FOUNDATION / FIRST FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 2003 - 7
 REGISTERED

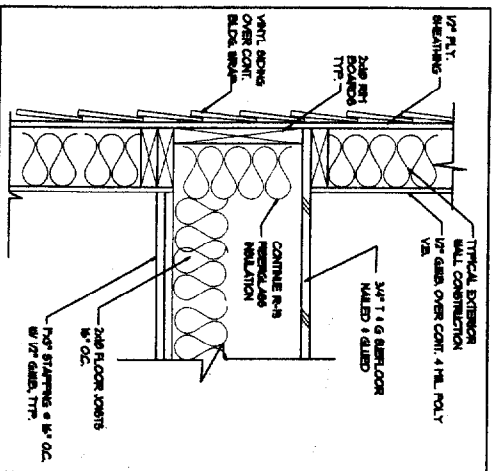
DRAWINGS THIS SHEET	FOUNDATION PLAN		
	ROOF PLAN		
	NOTES/DETAILS		
DATE			
DESIGNER			



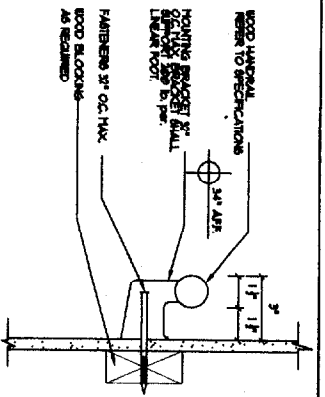
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



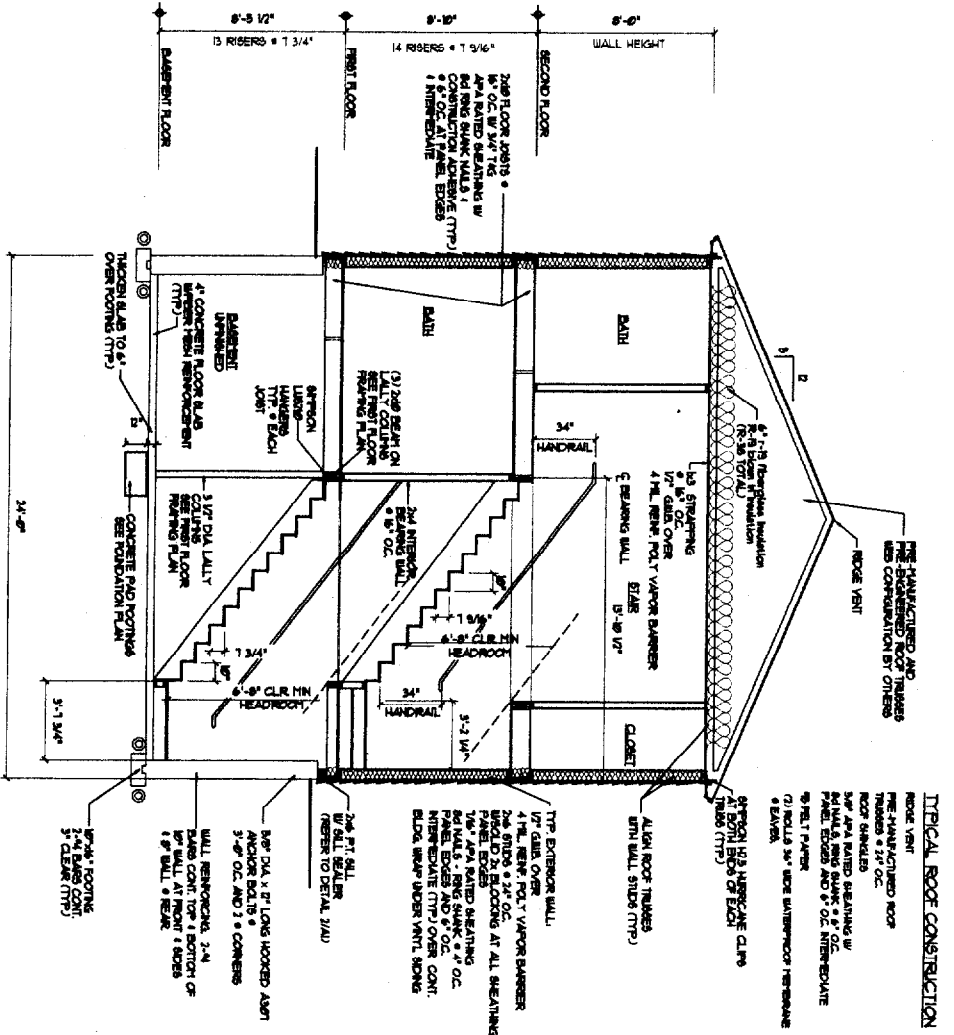
FLOOR HEATING DETAIL
1/4" = 1'-0"



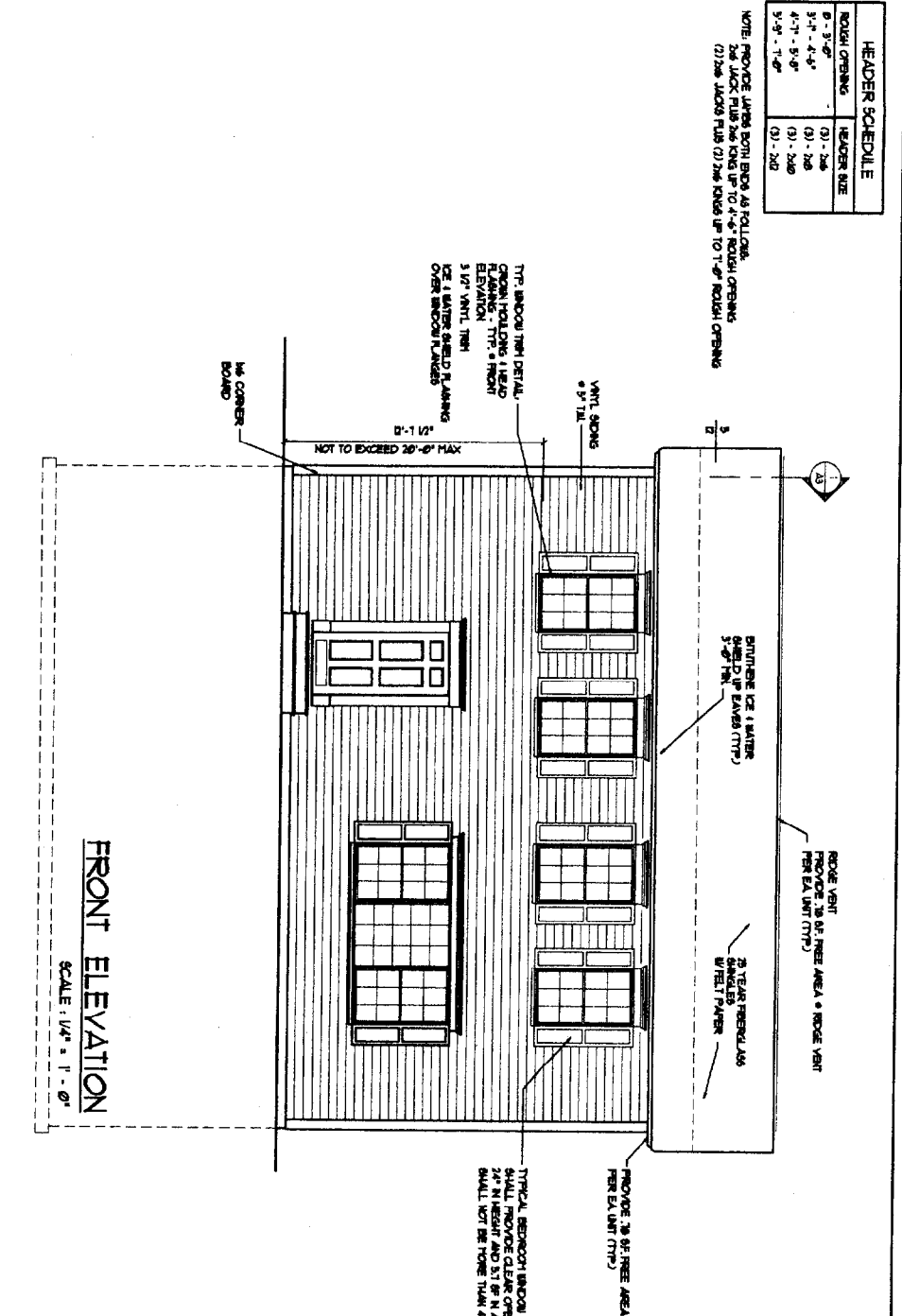
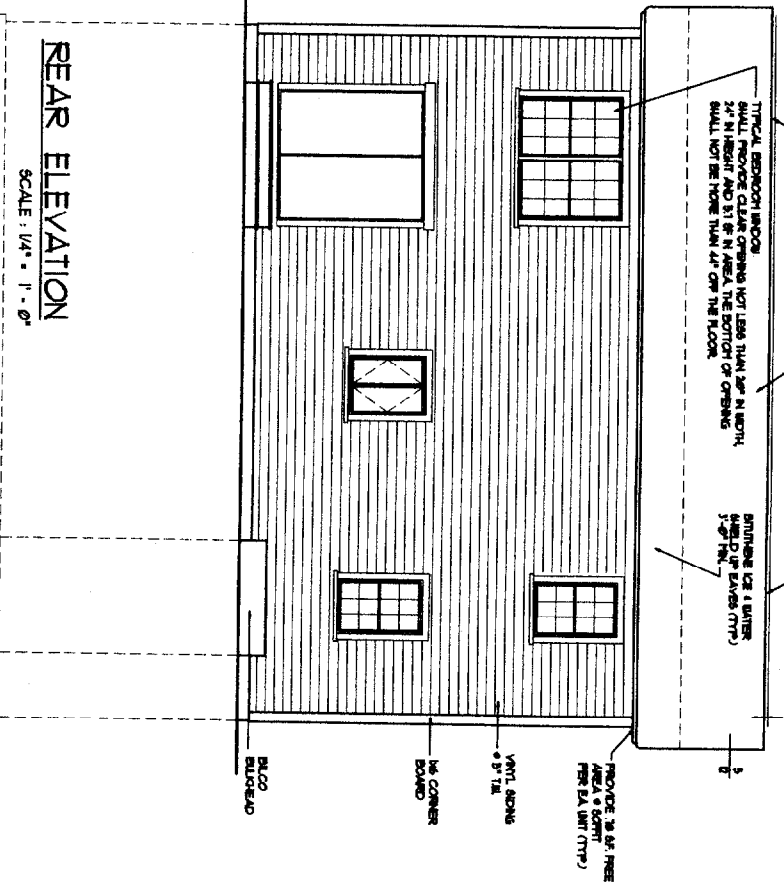
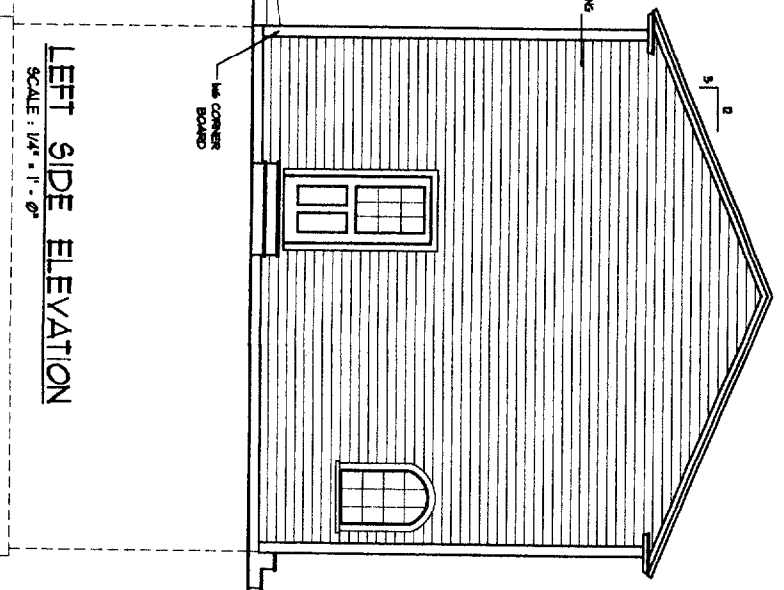
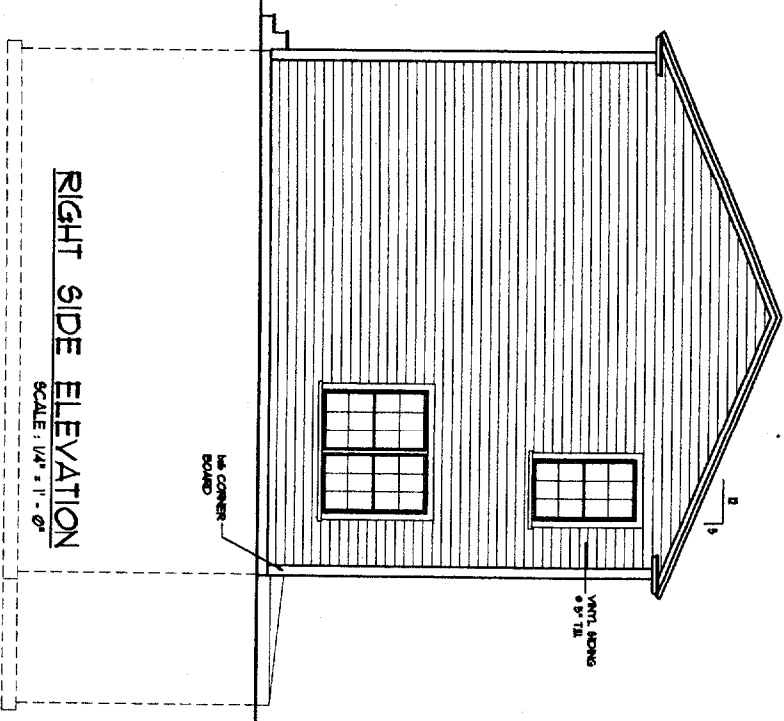
HANDRAIL DETAIL
1/8"

DRAWINGS THIS SHEET	
FIRST FLOOR PLAN / SECOND FLOOR PLAN DETAILS	
DATE	
OVERLAP	

A2



SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

TYPICAL ROOF CONSTRUCTION

- MANUFACTURED AND INSULATED ROOF SHEETING
- MANUFACTURED ROOF SHEETING
- 2\"/>

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0' - 3" - 6"	(1) - 2x4
3' - 7" - 4' - 6"	(1) - 2x6
4' - 7" - 8' - 6"	(1) - 2x8
9' - 0" - 1' - 0"	(1) - 2x10

NOTE: PROVIDE LAMBS BOTH SIDES AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

DRAWINGS THIS SHEET	
ELEVATIONS / SECTION	
DATE	
REVISED	

A3