

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1035	Issue Date:	CBL: 339 C015001
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Location of Construction: 30 Dayton St	Owner Name: Shannon Charles J Jr &	Owner Address: 30 Dayton St <b>X8793 PARKS</b>	Phone: 797-6058
Business Name:	Contractor Name: Scott Proctor	Contractor Address: Saco	Phone: 2072845929
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <b>R-3</b>

Past Use: Single Family	Proposed Use: Single Family with Attached Garage	Permit Fee: \$177.00	Cost of Work: \$22,000.00	CEO District: 1	12,510 <sup>sq</sup>
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5B</b>		

Proposed Project Description:  
Construct 22' x 20 Attached Garage with 10' x 5' Breezeway

Signature: \_\_\_\_\_  
BOCA 1999  
Signature: **JMB** 10/23/02

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gad	Date Applied For: 09/12/2002	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <b>N/A</b> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <b>to remain Family</b> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <b>OK</b> Date: <b>11/26/02</b>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02-1035

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

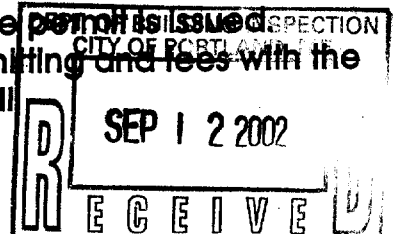
Location/Address of Construction: 30 DAYTON ST.		
Total Square Footage of Proposed Structure 475 SQFT	Square Footage of Lot 12500 SQFT	
Tax Assessor's Chart, Block & Lot Chart# 39 Block# C Lot# 015	Owner: CHARLES SLEMMER	Telephone: 797-6058
Lessee/buyer's Name (If Applicable)	Applicant name, address & telephone: 30 DAYTON PORTLAND 797-6058	Cost Of Work: \$ 22000 Fee: \$ 177.00
Current use: RESIDENTIAL		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: GARAGE 20' x 20' w/ 10' x 5' breezeway Project description: 1 car attached bonus room above garage		
Contractor's name, address & telephone: SCOTT PRATOR SACO ME 207-284-5929		
Who should we contact when the permit is ready: CHARLES SLEMMER Mailing address: call		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Charles Slemmer</i>	Date: SEPT. 12 2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Form # P 04

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING DEPARTMENT PERMIT

Permit Number: 021035

This is to certify that Shannon Charles J Jr &/Scott Doctor  
has permission to Construct 22' x 20 Attached Garage with 10' x 5' Bay seway  
AT 30 Dayton St L 339 C015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Jamie Bourke* 10/23/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Application Number: 2-1035

*Approved*

Department: Zoning

Status: Pending

Inspector: Marge Schmuckal

Comments: 9/20/02 scaled setbacks on a site plan are different from the numbers put on and changed on plan. I am questioning those setbacks. Also need a floor plan for above garage - what is the use. Also no structurals included. Left v-mail 0/26/02 owner says there are pins and the given

Approval Date: 09/26/2002

Printed Date: 09/17/2002

OK to issue permits. Date: Marge Schmuckal Date: 09/26/2002 Page 2

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Printed Date: 09/17/2002

By: gad

Approval Date: 09/26/2002

By: mes

Application ID Number: 2-1035

Department: Building

Status: Approved with Conditions

Reviewer: Jeanine Bourke

Approval Date: 10/23/2002

Comments: 10/07/02 left v-mail for Scott Proctor  
 10/9/02 Scott called back and verified will submit specs on  
 lam beams & steel. He asked what height the ceiling joists  
 could be placed at to get a cathedral.  
 10/22/02 left v-mail for Scott Proctor

Given On Date: 09/30/2002

OK to Issue Permit

Name: Jeanine Bourke

Date: 10/23/2002

Date 2: [ ]

Conditions Section:

Add New Condition

Add New Condition

Delete Condition

Contractor shall submit specs on all engineered lam beams and steel

Sec. 1211.2 states an attic access is not required if the clear space in the attic is less than 30"

Update Date: 09/17/2002 By: gad

Update Date: 10/23/2002 By: jmb

Delete Save Close

30 DAYTON STREET - FORTLAND, MAINE  
CHARLES J. LE & JANICE E. SHANNON

PROPERTY OF:

DATE: 09-02-02  
SCALE: 1" = 30'  
SITE PLAN

DRAWN BY: [Signature]

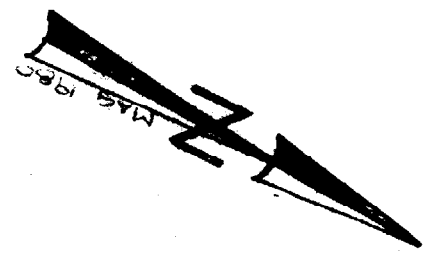
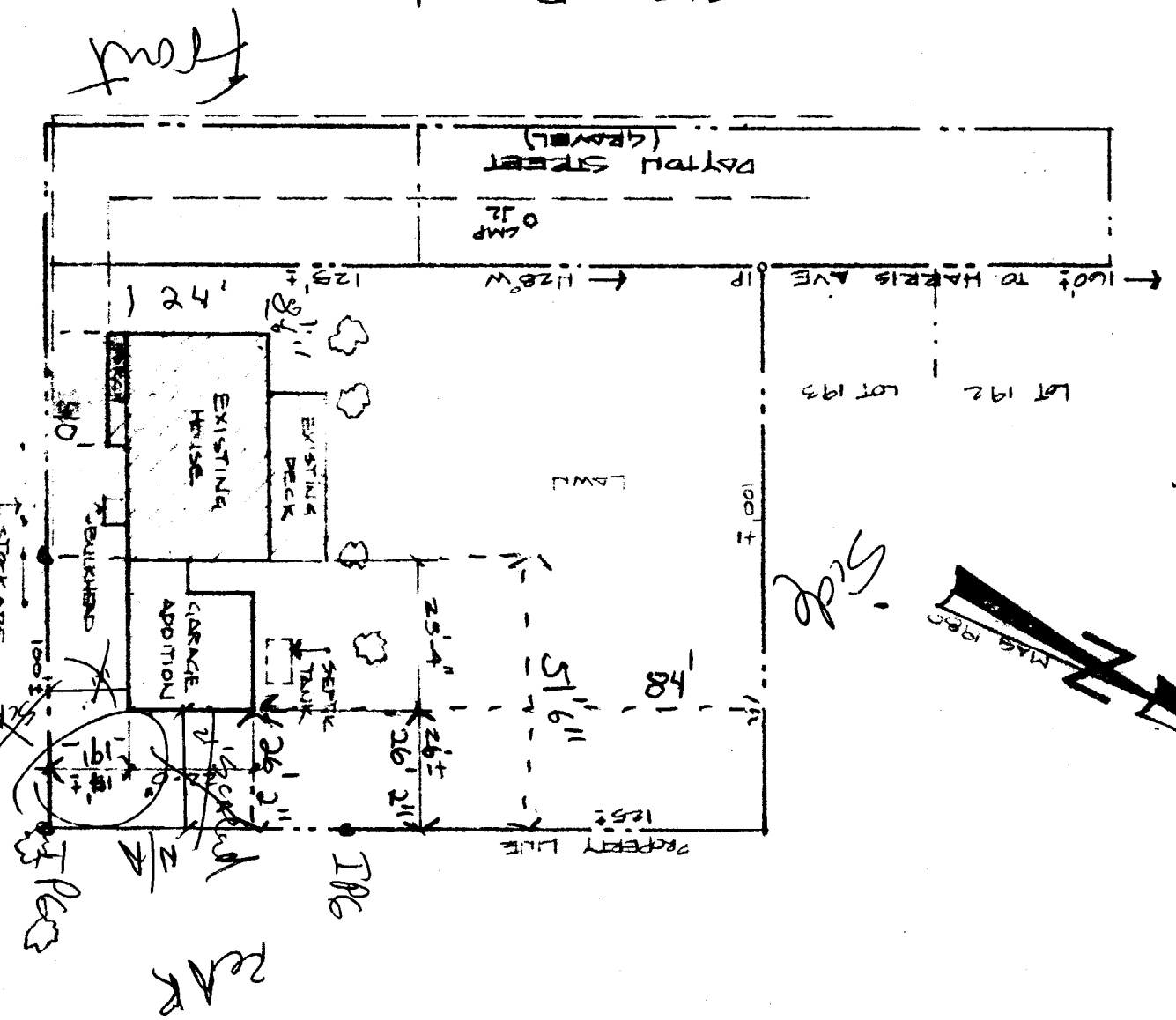
2/26/02  
Owner says the electric  
power stays in the house  
and is what is shown in  
the plan -  
New Account -

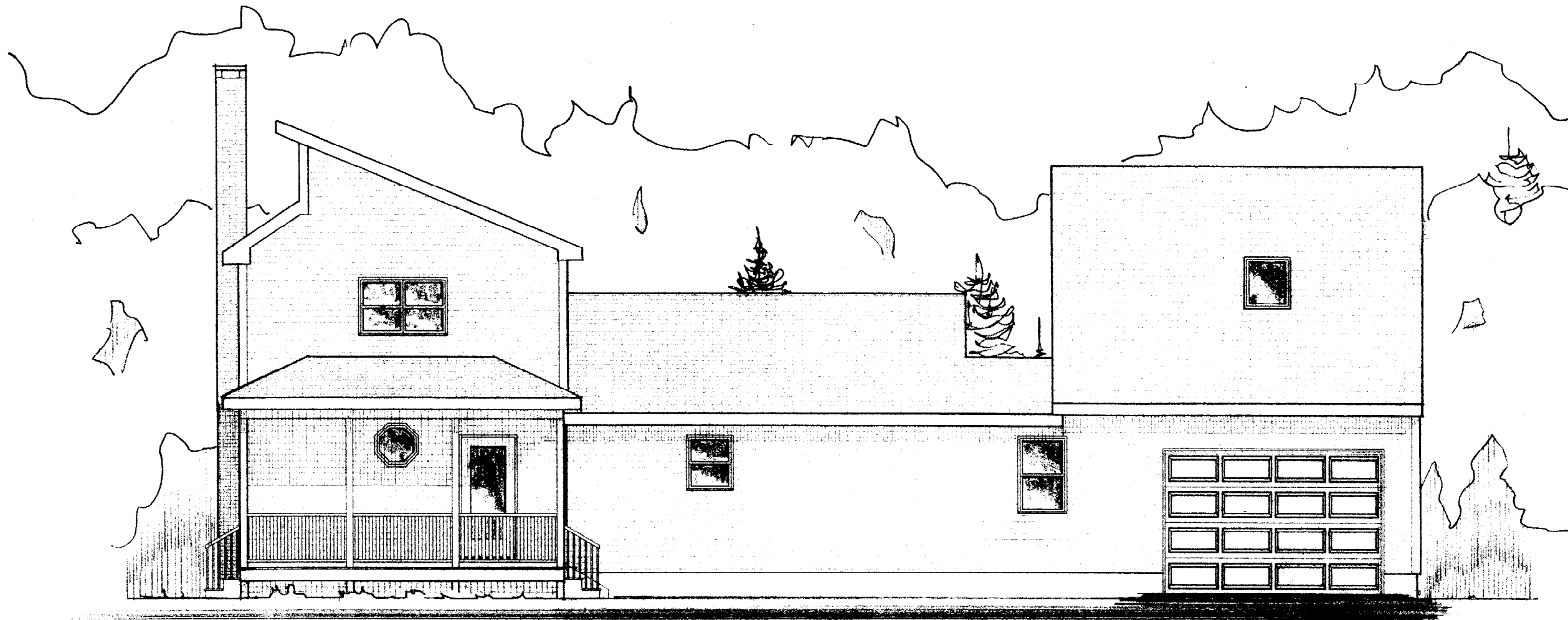
Side: 14'1" eq - (19' shown)  
Rear: 25'1" eq - 26'2"  
Document shown

R-3

Not a street over here  
Not per assessors map

Side  
sketch N/A per owner





**FRONT ELEVATION**

1/4" = 1'-0"

Janice & Charles Shannon  
30 Dayton Street  
Portland, Maine

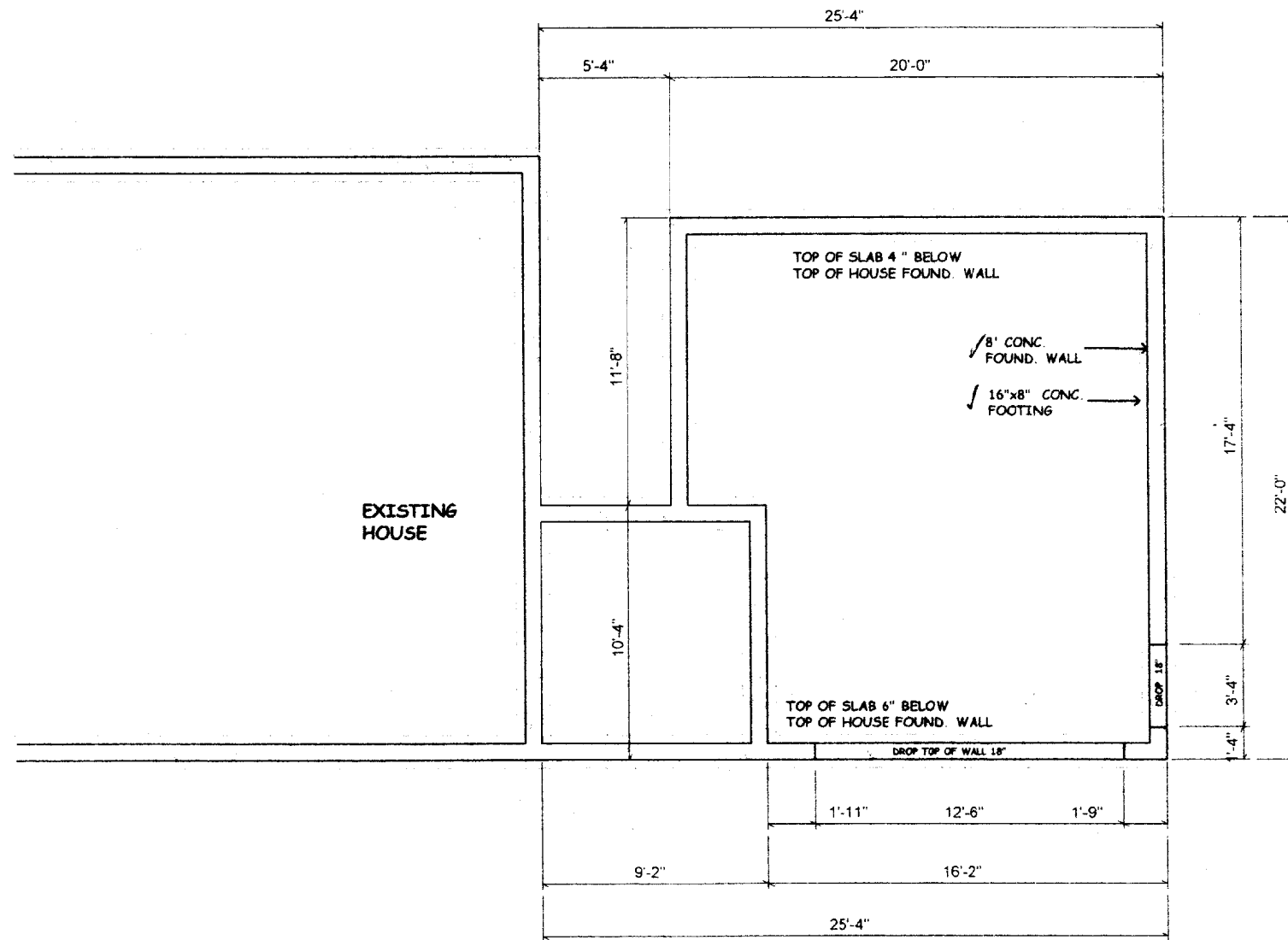
plans by:

Jerry Dugal  
Durham, Maine  
207-353-5915

builder:

Scott Proctor  
Saco, Maine  
207-284-5929

A-0238 7-2-02 SK 1 of 5



**NOTES:**

1. CONCRETE SHALL BE 2500psi CONCRETE FOR FOOTINGS AND 3000psi CONCRETE FOR WALLS AND SLAB
2. ANCHOR BOLTS ( 1/2" dia x 8" ) OR FOUNDATION STRAPS SHALL BE AT EACH CORNER EACH WAY AND AT 6'-0" O.C.
3. FOUNDATION WALLS SHALL HAVE 2 #4 REBAR CONTINUOUS HORIZONTAL AT TOP OF WALL
4. FOUNDATION FOOTINGS SHALL HAVE A KEYWAY OR #4 REBAR 24" lg PLACED VERTICAL AT 48" O.C

**FOUNDATION PLAN**

5. FOUNDATION FOOTING DRAINS SHALL BE 4" dia PERFORATED DRAIN PIPE AND SLOPED TO POSITIVE DRAIN TO DAYLIGHT OR TO SUMP PIT OR DRYWELL
6. SOIL BEARING ASSUMED TO BE 2000 psi.
7. FINAL HEIGHT OF FOUNDATION WALLS TO BE FIELD DETERMINED PER SITE CONDITIONS TO MAINTAIN FOOTING DEPTH OF MIN 4'-0" BELOW FINISH GRADE

NOTE: DRAWINGS IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION OF DIMENSION AND SUGGESTED CONSTRUCTION, MUST BE VERIFIED IN THE FIELD UNLESS THIS DRAWING HAS BEEN FIELD CHECKED BY THE DESIGNER. DESIGNER'S LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

**SCOTT PROCTOR  
CONSTRUCTION**  
137 Watson Mill Road  
Saco, Maine 04072  
(207) 284-5929

BUILDER:

DRAWING TITLE:  
**FOUNDATION PLAN**

DRAWINGS PREPARED BY:  
**JERRY DUGAL & CO., INC.**  
1036 Fitcham Brook Rd  
Durham ME, 04222  
Tel: 207-363-9910 Fax: 207-363-1638

PROPOSED ADDITION FOR:

**Janice & Charles Shannon**  
30 Dayton Street  
Portland, Maine

SCALE: 1/4" = 1'-0"

DRAWN BY: *GD*

CHECKED BY:

REVISIONS:

1	
2	
3	

PROJECT NUMBER:  
A-02-98

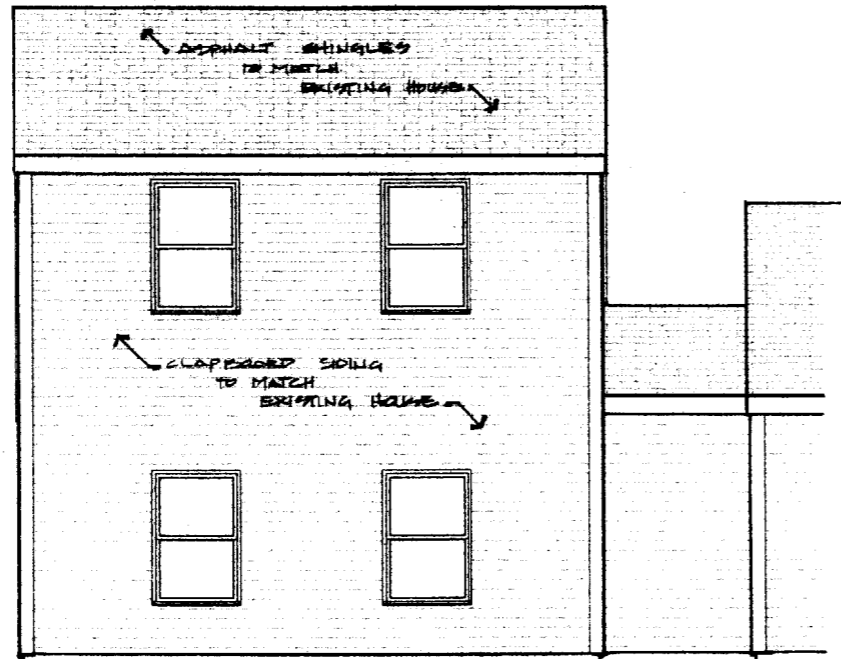
DATE: 9-02-02

DRAWING NUMBER:  
**F-1**

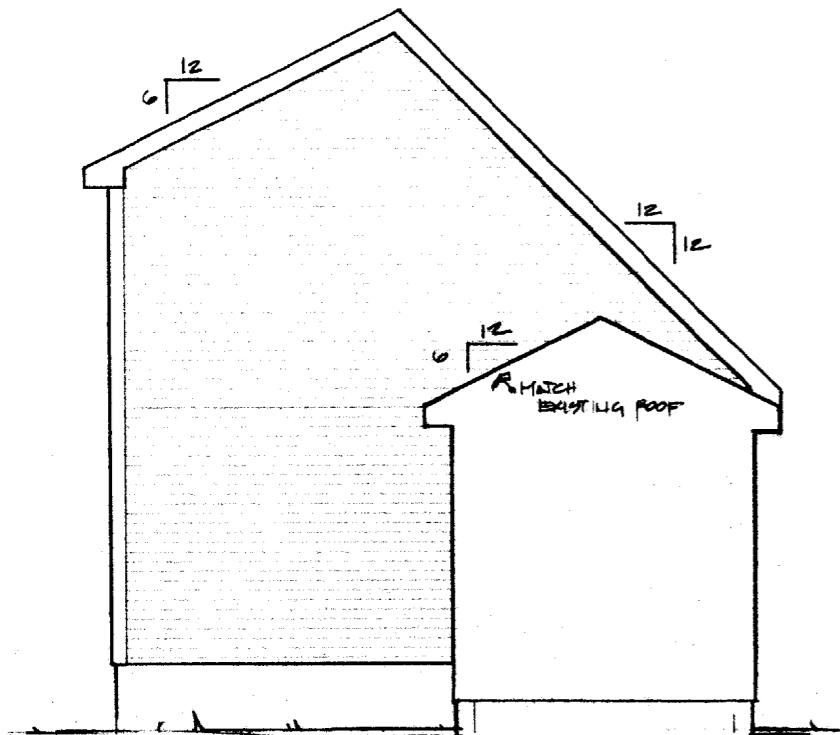
SHEET NO. 2 OF 5



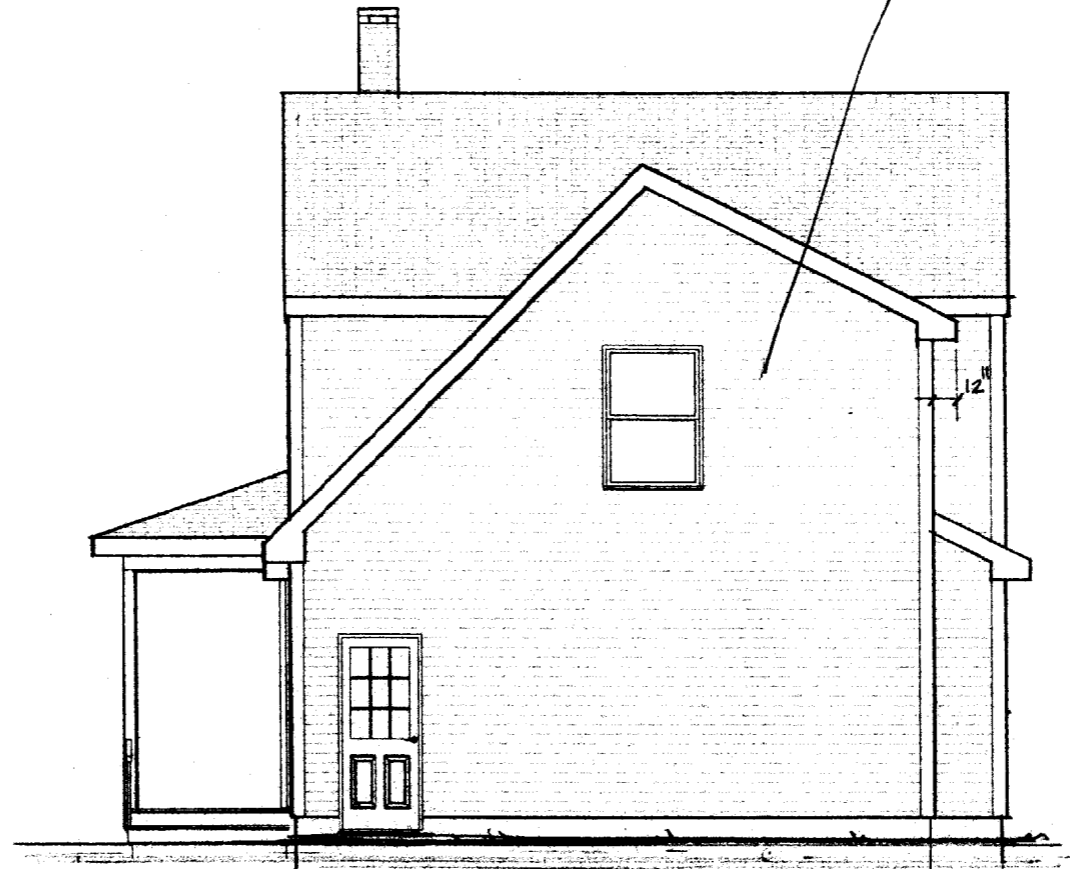




**REAR ELEVATION**



**LEFT ELEVATION**



**RIGHT ELEVATION**

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE. THE DESIGNER HAS NOT BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE TO BE CONSIDERED AS GENERAL INFORMATION ONLY AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

**SCOTT PROCTOR  
CONSTRUCTION**  
137 Watson Mill Road  
Saco, Maine 04072  
(207) 284-5929

**ELEVATIONS**  
DRAWINGS PREPARED BY:  
**JERRY DUGAL & CO. INC.**  
1036 Pinhook Brook Rd  
Derham, ME 04222  
Tel: 207-393-9915 Fax: 207-393-1538

PROPOSED ADDITION FOR:  
**Janice & Charles Shannon**  
30 Dayton Street  
Portland, Maine

SCALE: 1/4" = 1'-0"  
DRAWN BY: *[Signature]*  
CHECKED BY:  
REVISIONS:  
1  
2  
3

PROJECT NUMBER:  
A-0235  
DATE: 3-1-02  
DRAWING NUMBER:  
**A-2**  
SHEET NO. 1 of 5







**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

April 2002

Received from Charles Stannard Jr.

Location of Work 30 Dayton St

Cost of Construction \$                     

Permit Fee \$ 177.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other                     

CBL: 339 C-015

Check #: 2171 Total Collected \$ 177.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Stafe*