

SCANNED

Closed out
04/25/11

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 021035

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Shannon Charles J Jr &/Scott Proprietor
has permission to Construct 22' x 20 Attached Garage with 10' x 5' Bay Driveway
AT 30 Dayton St Permit No. 339 C015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Jeanie Banke 10/23/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

2002

Received from Charles [unclear]

Location of Work 300 Bay St

Cost of Construction \$

Permit Fee \$ 157.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other

CBL: 239 C-015

Check #: 0171

Total Collected \$ 157.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Slape

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1035	Issue Date:	CBL: 7/11/02 339 C015001
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Location of Construction: 30 Dayton St	Owner Name: Shannon Charles J Jr &	Owner Address: 30 Dayton St <i>X 8793 PARKS</i>	Phone: 797-6058
Business Name:	Contractor Name: Scott Proctor	Contractor Address: Saco	Phone: 2072845929
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>R-3</i>

Past Use: Single Family	Proposed Use: Single Family with Attached Garage	Permit Fee: \$177.00	Cost of Work: \$22,000.00	CEO District: 1	<i>12,570^{sq}</i>
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Proposed Project Description: Construct 22' x 20 Attached Garage with 10' x 5' Breezeway	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>5B</i> <i>BOCA 1999</i>
	Signature:	Signature: <i>XMB 10/23/02</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: <i>gad</i>	Date Applied For: 09/12/2002	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>to remain family</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK</i> Date: <i>9/26/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11/26/02 ARRIVED ON SITE TO CHECK SETBACKS AND FOUND WALLS BEING POURED. FOUNDATION CONTRACTOR WAS ONLY ONE ON SITE. ALL PINS AND STRING WERE PRESENT. SETBACKS WERE ALL OK. JR

2/10/03 MARI 749-1584 CALLED ASKED WHAT HEADROOM WAS ON DOWNWAY. TOLD HIM 6'8". WAS NOT SURE HE WOULD GET. OFFERED INSPECTION TOMORROW, SAID HE WOULD CALL US BACK. TOLD HIM HE WOULD APPLY FOR AMENDMENT AND FORMAL WAIVER IF HE COULD NOT GET HEADROOM, BUT WOULD HAVE TO MAKE DETERMINATION WITH FIELD INSPECTION. JR

2/14/03 - Close in done - OK JR

5/8/03 ~~XXXXXXXXXXXXXXXXXXXX~~ - needs plumbing permit, when

did ~~plumb~~ work - main propane - permit never done for Vent - Water - electric panel may need cover, check w/ MUR. COLLINS - will need to check STAIRS going to second floor again when framing is in, and handrail got OK

5/13/03 Spoke w/ Dale @ MAINE GAS - he will apply for permits GAS TANK & RENAI. INSTALLATIONS. Spoke w/ Lt. MRS. - they will need protection from vehicle damage around tank. Spoke w/ Charlie Shannon - will meet at site 5/14 - 2:30 pm

5/14/03 John + Michael

Checked stairs, Needs cover on electrical Panel on garage wall / Needs to replace damaged existing gas line on rear wall. (D)

02-1035

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

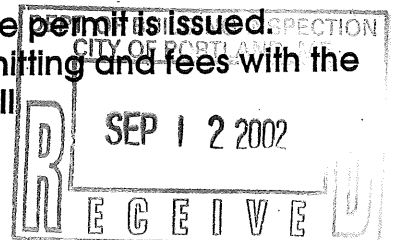
Location/Address of Construction: 30 DAYTON ST.		
Total Square Footage of Proposed Structure 475 SQFT	Square Footage of Lot 12500 SQFT	
Tax Assessor's Chart, Block & Lot Chart# 339 Block# C Lot# 015 339 C 005-18	Owner: Charles Shannon	Telephone: 797-6058
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: 30 DAYTON PORTLAND 797-6058	Cost Of Work: \$ 22000 Fee: \$ 177.00
Current use: RESIDENTIAL		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: GARAGE 22' x 20' w/ 10' x 5' breezeway Project description: 1 car attached. boxes room above garage		
Contractor's name, address & telephone: SCOTT PRACTOR SPOCO ME 207-284-6929		
Who should we contact when the permit is ready: Charles Shannon Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Charles Shannon</i>	Date: SEPT. 12 2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Application ID Number:

Approved

Department:

Status:

Reviewer:

Comments:

Approval Date:

Given On Date:

OK to Issue Permit Name: Date: Date 2:

Conditions Section:

Create Date: By: Update Date: By:

Application ID Number: 2-1035

Delete Save Close

Department: Building Status: Approved with Conditions Reviewer: Jeanine Bourke

Comments: 10/07/02 left v-mail for Scott Proctor Approval Date: 10/23/2002

10/9/02 Scott called back and verified will submit specs on lam beams & steel. He asked what height the ceiling joists could be placed at to get a cathedral.
10/22/02 left v-mail for Scott Proctor

Given On Date: 09/30/2002

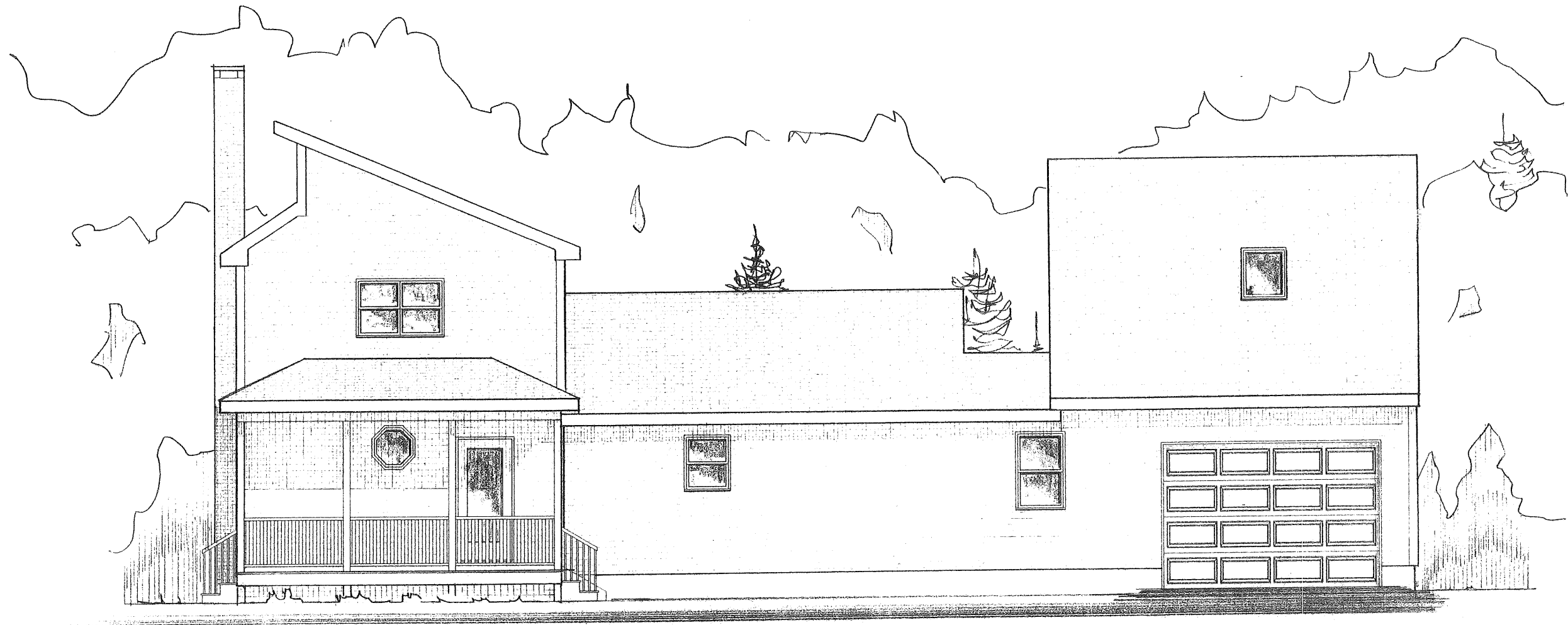
OK to Issue Permit Name: Jeanine Bourke Date: 10/23/2002 Date 2: []

Conditions Section: Add New Condition Add New Condition From Delete Condition

Contractor shall submit specs on all engineered lam beams and steel.

Sec. 1211.2 states an attic access is not required if the clear space in the attic is less than 30"

Create Date: 09/17/2002 By: jgad Update Date: 10/23/2002 By: jimb



FRONT ELEVATION

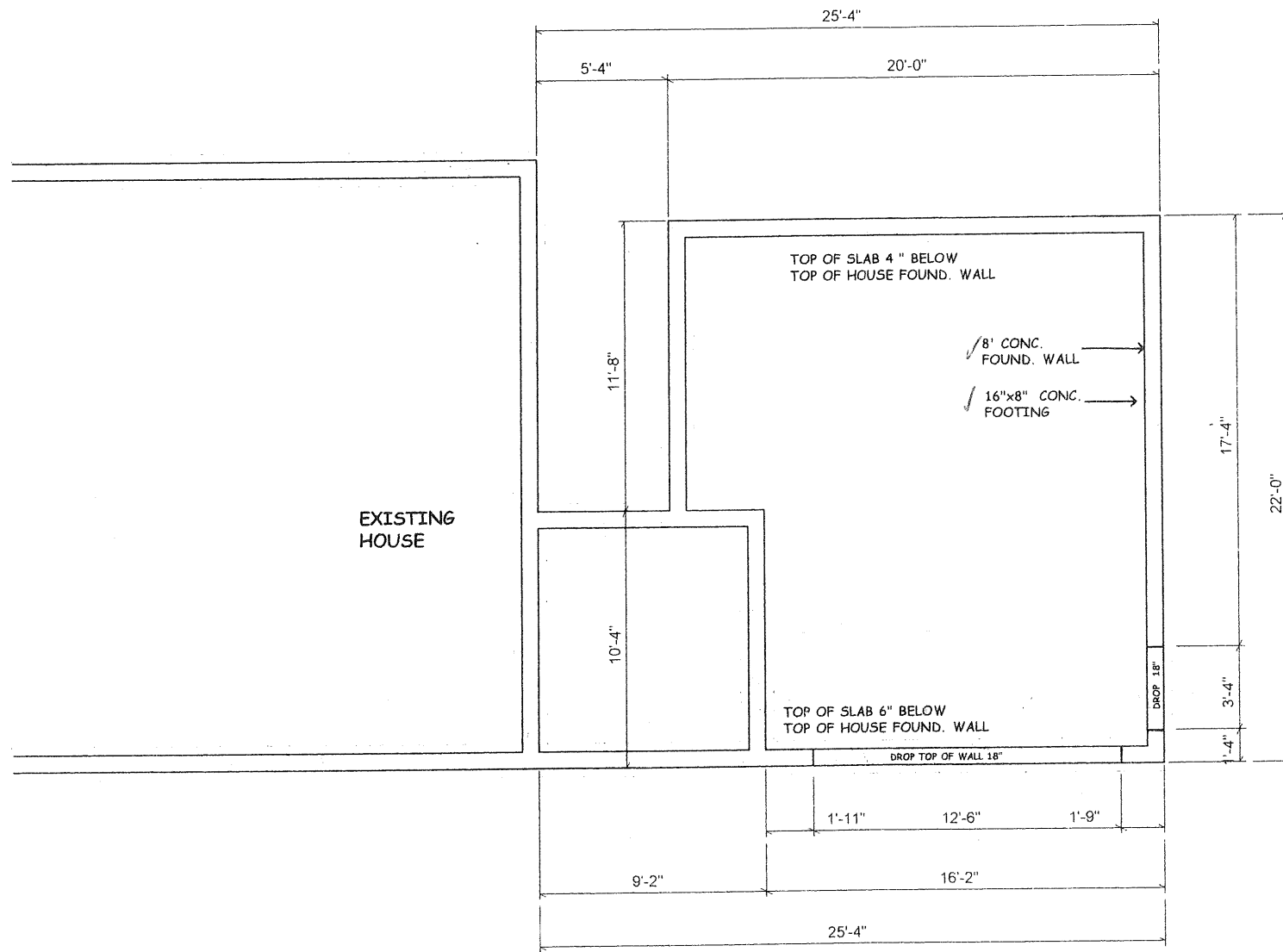
1/4" = 1'-0"

Janice & Charles Shannon
30 Dayton Street
Portland, Maine

plans by:
Jerry Dugal
Durham, Maine
207-353-5915

builder:
Scott Proctor
Saco, Maine
207-284-5929

4-0728
9-2-02
SH lot 5



FOUNDATION PLAN

NOTES:

- 1 CONCRETE SHALL BE 2500psi CONCRETE FOR FOOTINGS AND 3000psi CONCRETE FOR WALLS AND SLAB
- 2 ANCHOR BOLTS (1/2" dia. x 8") OR FOUNDATION STRAPS SHALL BE AT EACH CORNER EACH WAY AND AT 6'-0" O.C.
- 3 FOUNDATION WALLS SHALL HAVE 2 - #4 REBAR CONTINUOUS HORIZONTAL AT TOP OF WALL
- 4 FOUNDATION FOOTINGS SHALL HAVE A KEYWAY OR #4 REBAR 24" lg PLACED VERTICAL AT 48" O.C.
- 5 FOUNDATION FOOTING DRAINS SHALL BE 4" dia. PERFORATED DRAIN PIPE AND SLOPED TO POSITIVE DRAIN TO DAVLIGHT OR TO SUMP PIT OR DRYWELL
- 6 SOIL BEARING ASSUMED TO BE 2000 psi.
- 7 FINAL HEIGHT OF FOUNDATION WALLS TO BE FIELD DETERMINED PER SITE CONDITIONS TO MAINTAIN FOOTING DEPTH OF MIN. 4'-0" BELOW FINISH GRADE

PROJECT NUMBER:
A-0278

DATE:
9-02-02

DRAWING NUMBER:
F-1

SHEET NO. 2 OF 5

SCALE: 1/4" = 1'-0"

DRAWN BY: *GRD*

CHECKED BY:

REVISIONS:
1
2
3

PROPOSED ADDITION FOR:

Janice & Charles Shannon
30 Dayton Street
Portland, Maine

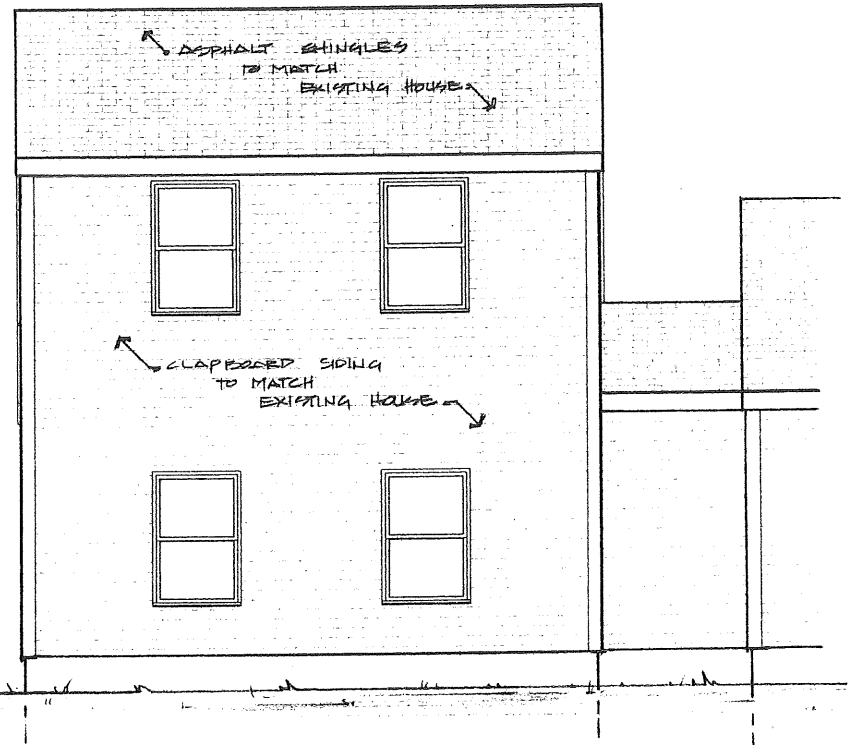
DRAWING TITLE:
FOUNDATION PLAN

DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
1036 Pinkham Brook Rd
Darien, ME, 04222
Tel: 207-357-8915 Fax: 207-353-1438

BUILDER:

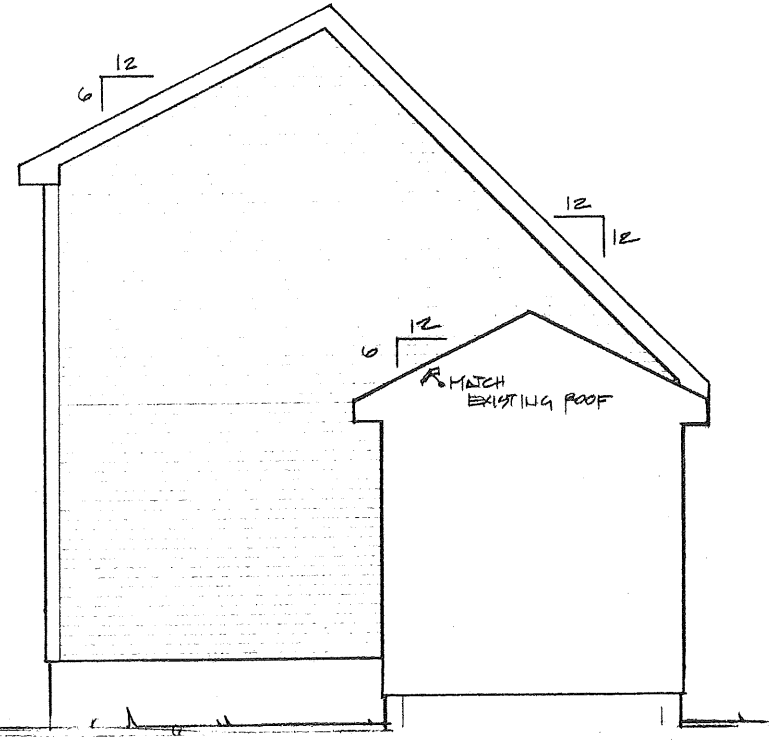
**SCOTT PROCTOR
CONSTRUCTION**
137 Watson Mill Road
Saco, Maine 04072
(207) 284-5929

NOTE:
THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION OF ANY STRUCTURE, THE CONTRACTOR MUST BE DIMENSIONED AND SUGGESTED CONSTRUCTION HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH THE LOCAL BUILDING CODES.

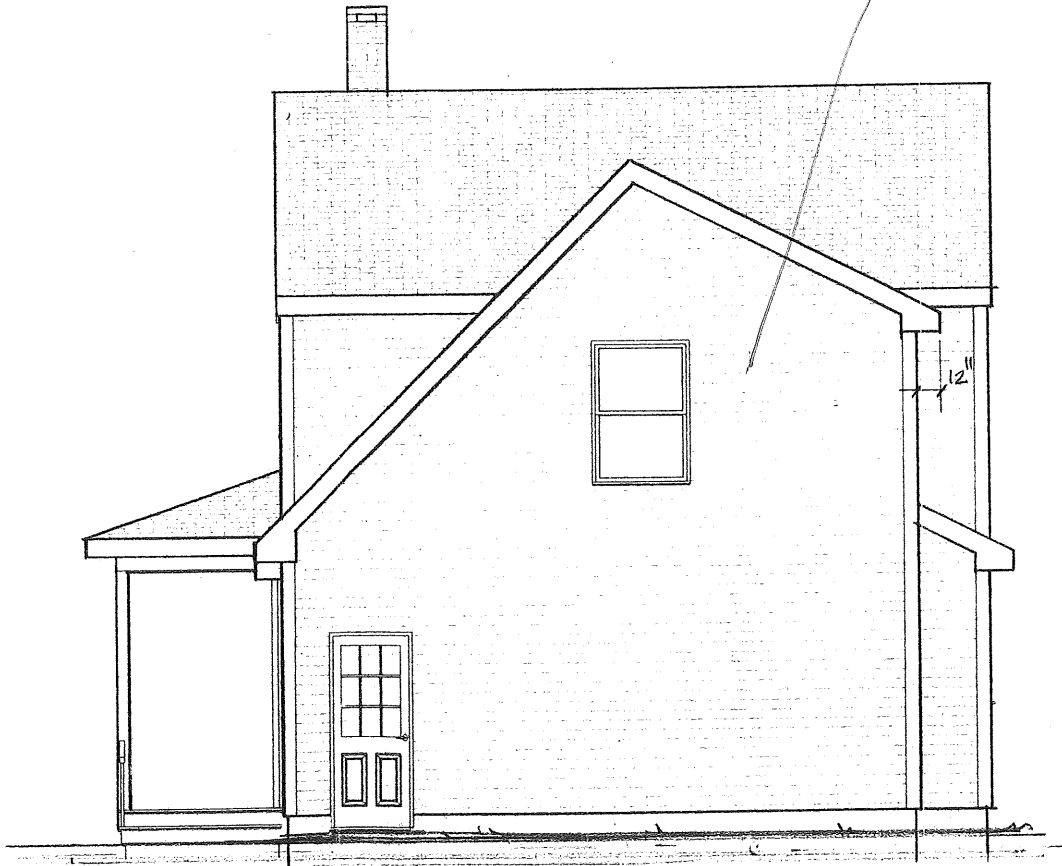


REAR ELEVATION

*what use
no floor plate
shown*



LEFT ELEVATION



RIGHT ELEVATION

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION, DIMENSION AND SUGGESTED CONSTRUCTION, MUST BE VERIFIED IN THE FIELD UNDER THE SUPERVISION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

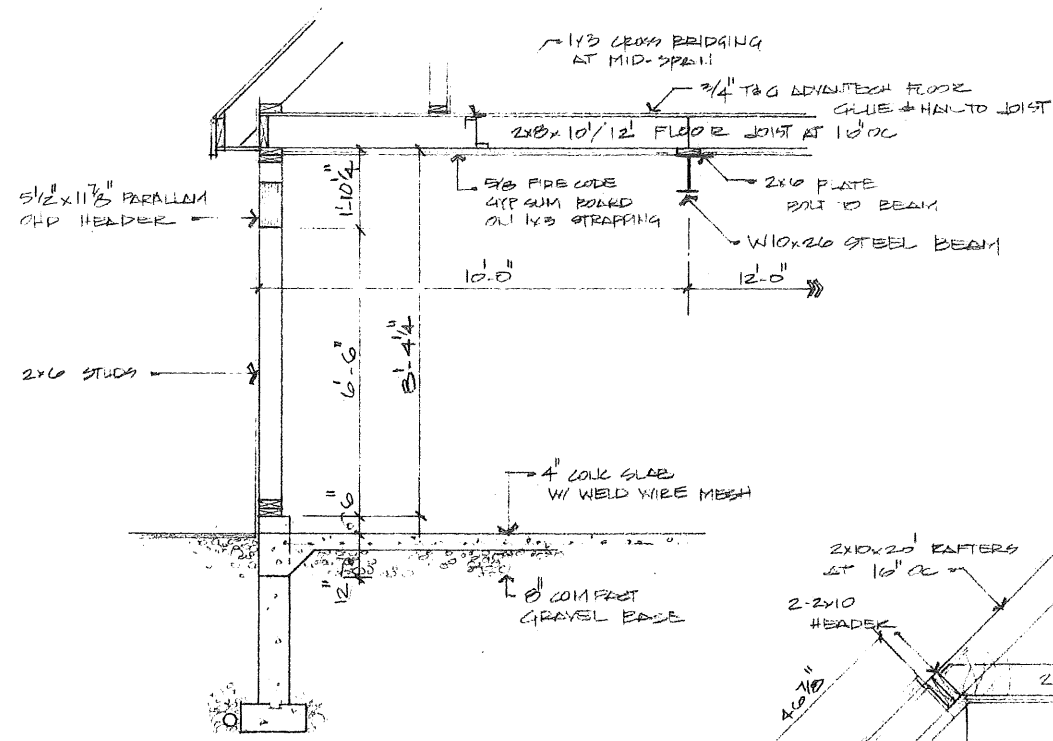
BUILDER:
**SCOTT PROCTOR
CONSTRUCTION**
137 Watson Mill Road
Saco, Maine 04072
(207) 284-5929

DRAWING TITLE:
ELEVATIONS
DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
1036 Pinkham Brook Rd
Durham ME. 04122
Tel. 207-353-9915
Fax 207-353-1538

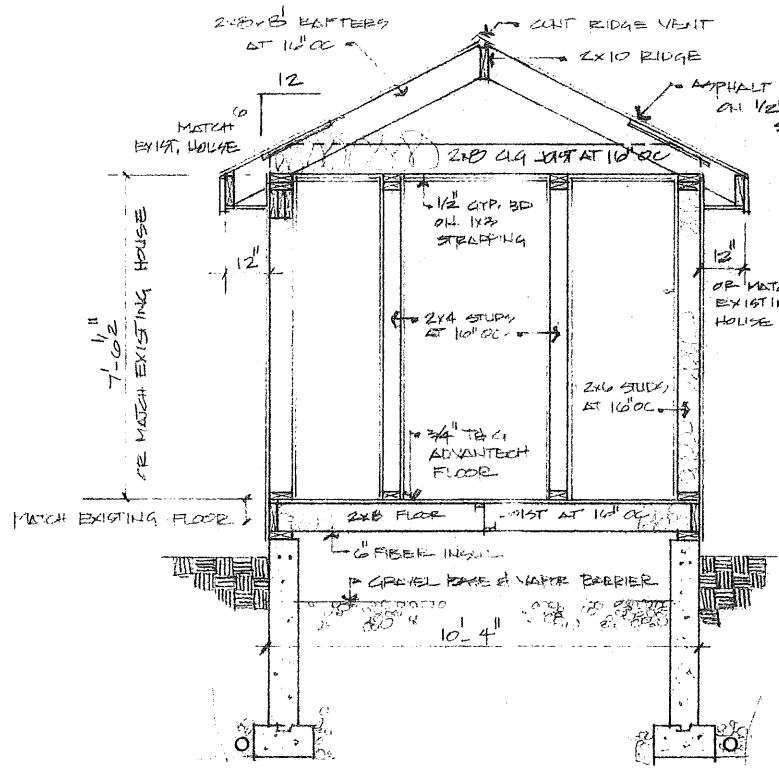
PROPOSED ADDITION FOR:
Janice & Charles Shannon
30 Dayton Street
Portland, Maine

SCALE: 1/4" = 1'-0"
DRAWN BY: *[Signature]*
CHECKED BY:
REVISIONS:
1.
2.
3.

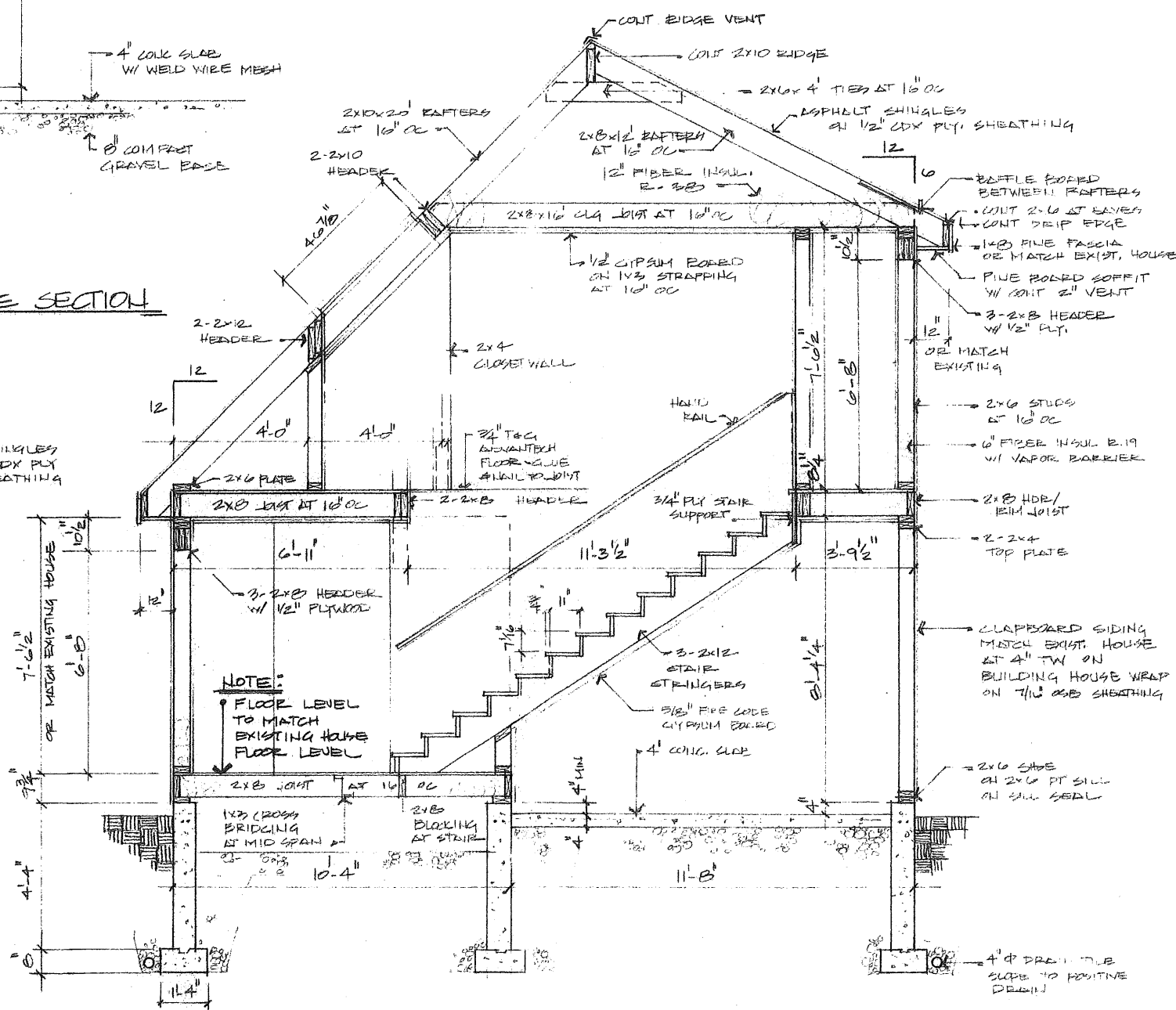
PROJECT NUMBER:
A-0238
DATE: **9-2-02**
DRAWING NUMBER:
A-2
SHEET NO. **4 of 5**



GARAGE SECTION



MUD ROOM SECTION



MUD ROOM/GARAGE SECTION AT STAIRWAY

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION, DIMENSION AND SUGGESTED CONSTRUCTION MUST BE VERIFIED IN THE FIELD UNLESS THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL IS THE DESIGNER OF RECORD FOR THIS PROJECT. THE DESIGN CONTAINED HEREIN AND ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

BUILDER:

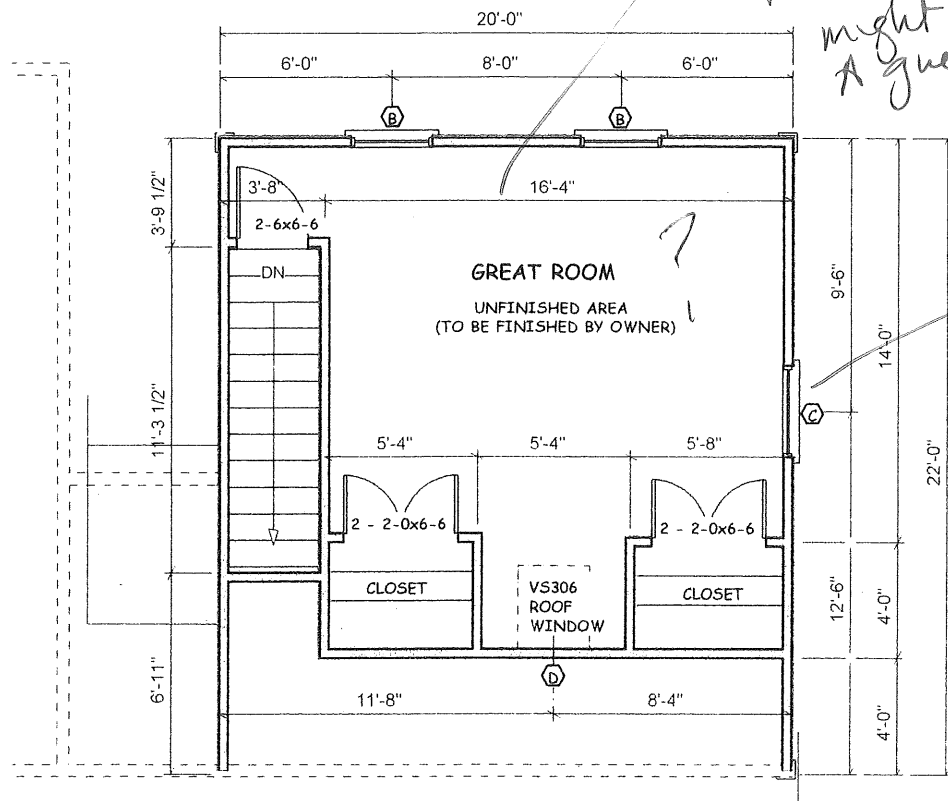
SECTIONS
 DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
 1036 Pinkham Brook Rd
 Portland, ME, 04222
 Tel. 207-353-5915
 Fax 207-353-1638

PROPOSED RESIDENCE FOR:
Janice & Charles Shannon
30 Dayton Street
Portland, Maine

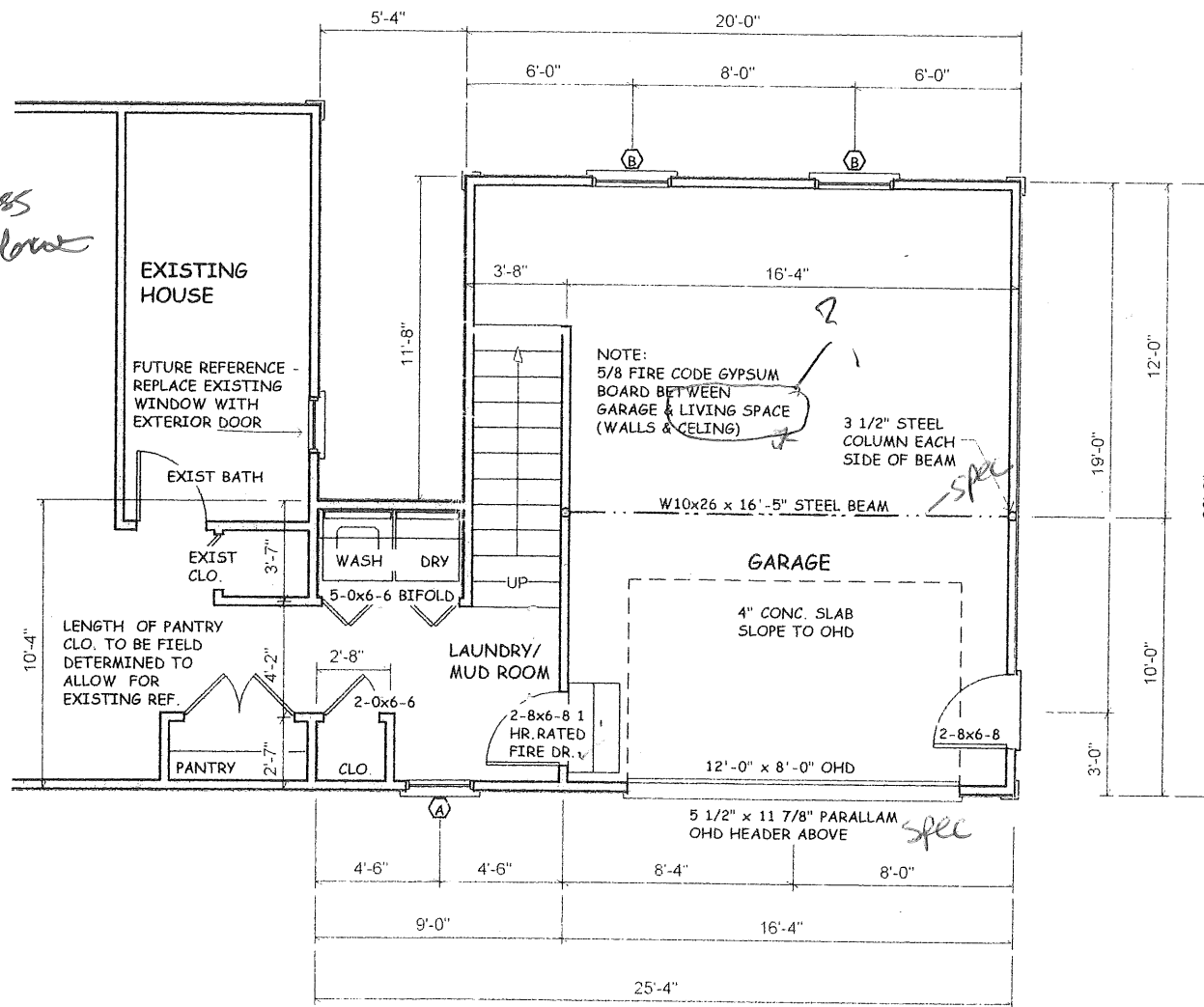
SCALE: 1/8" = 1'-0"
 DRAWN BY: *Jerry Dugal*
 CHECKED BY:
 REVISIONS:
 1.
 2.
 3.

PROJECT NUMBER:
A-0238
 DATE:
9-2-02
 DRAWING NUMBER:
A-3
 SHEET NO. **5 OF 9**

9/26/02
 Per owners
 No plumbing or
 kitchen staff
 might be used as
 a guest room



SECOND FLOOR PLAN
 300 SQ. FT.



FIRST FLOOR PLAN
 443 SQ. FT.

WINDOW SCHEDULE

MARK	QTY	TYPE	DESCRIPTION	ROUGH OPENING	REMARKS
A	1	DOUBLE HUNG	ANDERSEN NARROWLINE 24310	2'-6 1/8" x 4'-1 1/4"	ALL WINDOWS SHALL HAVE INSULATED GLASS, & SCREENS
B	4	DOUBLE HUNG	ANDERSEN NARROWLINE 2842	2'-10 1/8" x 4'-5 1/4"	
C	1	DOUBLE HUNG	ANDERSEN NARROWLINE 3046	3'-2 1/8" x 4'-9 1/4"	
D	1	ROOF WINDOW	VELUX VS306	2'-6 5/8" x 3'-10 7/8"	

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD UNLESS THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF EXISTING CONDITIONS. THIS DRAWING IS NOT TO BE INTERPRETED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

SCOTT PROCTOR CONSTRUCTION
 137 Watson Mill Road
 Saco, Maine 04072
 (207) 284-5929

FLOOR PLANS
 DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
 1056 Pridham Brook Rd
 Saco, ME 04072
 Tel: 207-353-4915 Fax: 207-353-1638

PROPOSED ADDITION FOR:
Janice & Charles Shannon
 30 Dayton Street
 Portland, Maine

SCALE: 1/4" = 1'-0"
 DRAWN BY: [Signature]
 CHECKED BY:
 REVISIONS:
 1
 2
 3

PROJECT NUMBER:
 A-0298
 DATE: 9-02-02
 DRAWING NUMBER:
A-1
 SHEET NO. 3 of 5