

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 060810

Please Read Application And Notes, If Any, Attached

This is to certify that SEADER MELISSA A / American Dreamspace

has permission to Create enclosed sunroom over part of existing deck install new decking over existing deck

AT 38 WESTLAWN RD

338 M006001

PERMIT ISSUED

JUL 28 2006

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the rules and regulations of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

DepartmentName

[Signature]
1/28/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (07) 874-8703, Fax: (207) 874-8716

Permit No: 06-0810	Issue Date:	CBL: 338 M006001
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Location of Construction: 38 WESTLAWN RD	Owner Name: SEADER MELISSA A
Business Name:	Contractor Name: American Dreamspace
Lessee/Buyer's Name	Phone:

Owner Address: 38 WESTLAWN RD	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED JUL 28 2006 </div>
Contractor Address: 1725 Main Street Unit 9 Sanford	
Permit Type: Additions - Dwellings	Zone R-3

Past Use: Single Family Home	Proposed Use: Single Family Home/ Create enclosed sunroom over part of existing deck - install new decking over existing deck
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Permit Fee: \$183.00	Cost of Work: \$17,300.00	ICFO District: 5
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Proposed Project Description:
Create enclosed sunroom over part of existing deck - install new decking over existing deck

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>R-3</i> Type <i>SB</i> <i>IRC 2003</i>
Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 05/31/2006	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: <i>6/27/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/27/06</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

Permit No: 06-0810	Date Applied For: 05/31/2006	CBL: 338 M006001
------------------------------	--	----------------------------

Location of Construction: 38 WESTLAWN RD	Owner Name: SEADER MELISSA A	Owner Address: 38 WESTLAWN RD	Phone:
Business Name:	Contractor Name: American Dreamspace	Contractor Address: 1725 Main Street Unit 9 Sanford	Phone (207) 324-6700
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ Create enclosed sunroom over part of existing deck - install new decking over existing deck	Proposed Project Description: Create enclosed sunroom over part of existing deck - install new decking over existing deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/26/2006
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

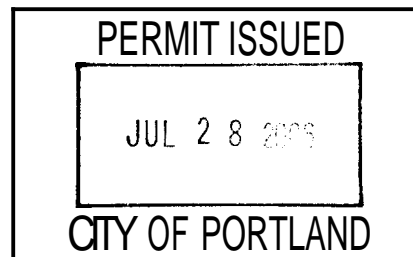
Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/28/2006
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

6/23/06-amachado: I spoke to Melissa Seader. The original 10'x16' deck which was permitted in 1990 has been added on to. The new sunroom is going to go on part of the original deck. Melissa is going to add to the existing permit. She plans to tear down what remains of the deck after the sunroom is put up and then build a new deck.

7/28/06-tmm: Spoke w/owner - only redecking existing deck - not rebuilding it - noted this on plans and permit.



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 WESTLAWN RD</u>		
Total Square Footage of Proposed Structure <u>120 sq ft</u>	Square Footage of Lot <u>(91x74)</u>	<u>6,734</u>
Tax Assessor's Chart, Block & Lot Chart# <u>338</u> Block# <u>M</u> Lot# <u>4</u>	Owner: <u>Melissa Seader</u>	Telephone: <u>797-0870</u> <u>856-8609</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>AMERICAN DREAMSPACE INC.</u> <u>Patio Enclosures</u> <u>1725 Main St. Unit #9</u> <u>Sanford Maine 04073</u> <u>207-324-6700</u> <u>877-54-PATIO</u> <u>(72846)</u> <u>www.americandreamspace.com</u>	Cost of Work: \$ <u>12,300</u> Fee: \$
Current use: <u>Deck</u>		
If the location is currently vacant, what was prior use:		
Approximately how long has it been vacant:		
Proposed use: <u>Cover part of existing deck</u>	Project description: <u>10' x 12' x 10' patio enclosure</u> <u>* Addition to project - removal of existing deck and install 12x15 deck</u>	
Contractor's name, address & telephone: <u>per email 6/27/06.</u>		
Who should we contact when the permit is ready: <u>Brian, Chris</u>		
Mailing address: <u>1725 main st, unit 9, Sanford ME</u> <u>04073</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <u>324-6700</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>5-28-06</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

ERTIFICATION PLAN FOR DEPOSITORS

R3

lot = 6672

front 25' req

rear 25' req

side 1 1/2 - 8' req

lot coverage: 35%

2335.2

30' from rear

14' from left

front not issue

rights side not issue

lot coverage

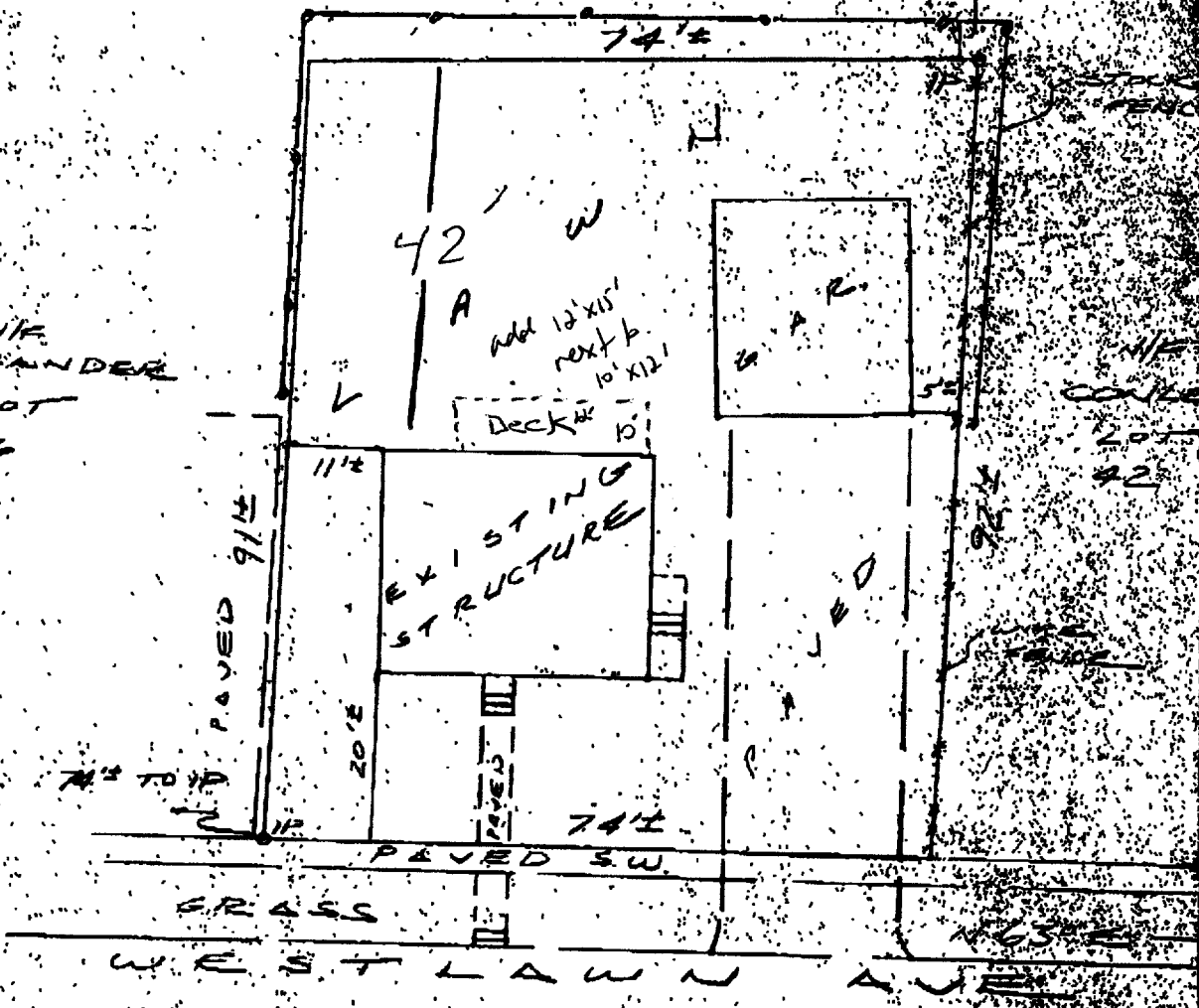
1926th

OK.

N/E DARRING

N/E HUTCHINS

N/E ALEXANDER LOT 46



AMERICAN DREAMSPACE INC.
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 Sanford Maine 04078
 207-324-8700
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FOR:

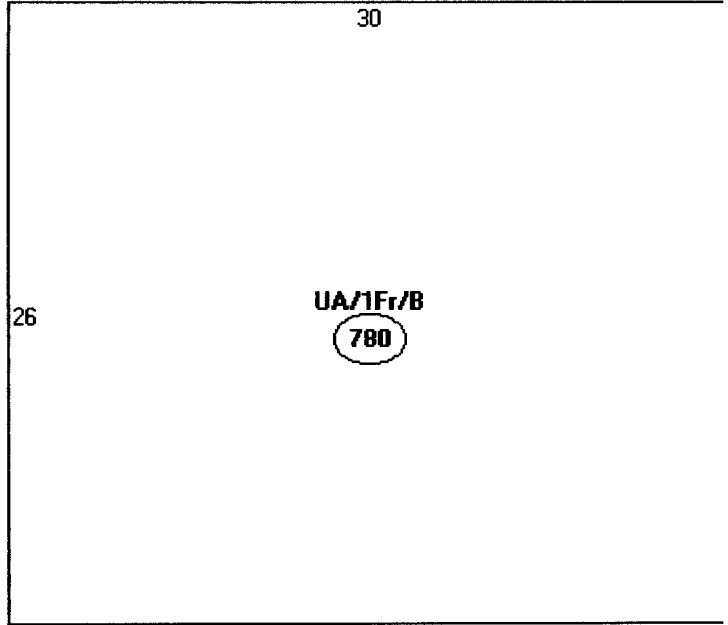
THOMAS A. & MELISSA A.

PROJECT
 LOCATION
 SCALE

NOTE: AN INS...

* been reduced

SEADER Project



Descriptor/Area

A: UA/1Fr/B
780 sqft

	30	horse
Stypl.	30	slip
3x5	528	22x24 garage
5x3	288	pool 12x24
	12x24	
	460	deck 10x16
	120	deck/patio 10x12 10x12
	1780	
	180	new deck 12x15
	<u>1926</u>	

~~59920~~ ^{work.} to play with

This page contains a detailed description of the Parcel ID you selected. Press the **New** Search button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
parcel ID	338 M006001
Location	38 WESTLAWN RD
Land Use	SINGLE FAMILY
Owner Address	SEADER MELISSA A 38 WESTLAWN RD PORTLAND ME 04103
Book/Page	15892/101
Legal	338-M-6 WESTLAWN RD 34-38 6672 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$46,410	\$85,130	\$131,540

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$61,000	\$104,100	\$165,100

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1954	Style Cape	Story Height 1	Sq. Ft. 780	Total Acres 0.153		
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 5	Attic Unfin	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1954	Size 22X24	Grade C	Condition F
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Sales Information

Date 12/08/2000	Type LAND + BLDING	Price	Book/Page 15892-101
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Picture and Sketch

Picture	sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

From: "Seader, Melissa" <melissa-seader@idexx.com>
To: ""amachado@portlandmaine.gov" <amachado@portlandmaine.gov>
Date: 6/27/2006 1:14:24 PM
Subject: Permit

Per your request, below is a summary of what I would like this permit to encompass:

1. Installation of sunroom on existing deck.
2. Removal of remainder of deck once sunroom has been built.
3. ~~Rebuild~~ 12X15 deck beside sunroom.

re-deck

Please let me know if you need anything else.

Melissa

From: "Seader, Melissa" <melissa-seader@idexx.com>
To: "'amachado@portlandmaine.gov'" <amachado@portlandmaine.gov>
Date: 6/23/2006 10:52:56 AM
Subject: Permit

This e mail is to confirm our conversation this morning.

I am in the process of trying to obtain a permit for a sunroom to be built on top of my existing deck. It was brought to my attention that the original deck permit from June 1990 was for a 10X16 deck. Apparently, after that deck was built, my husband added an extension to the deck (without obtaining an additional permit). The sunroom will be built on the permitted 10X16 portion of the deck.

My plan is to remove the additional deck after the sunroom has been installed and to build a new deck. I will make sure to request a permit for this deck at that time.

Only re-decking - no new deck being built

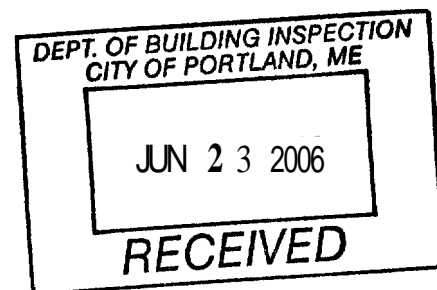
Please let me know if there is anything else that you need from me at this time.

Thanks for your help.

Melissa

Work phone **856-8609**

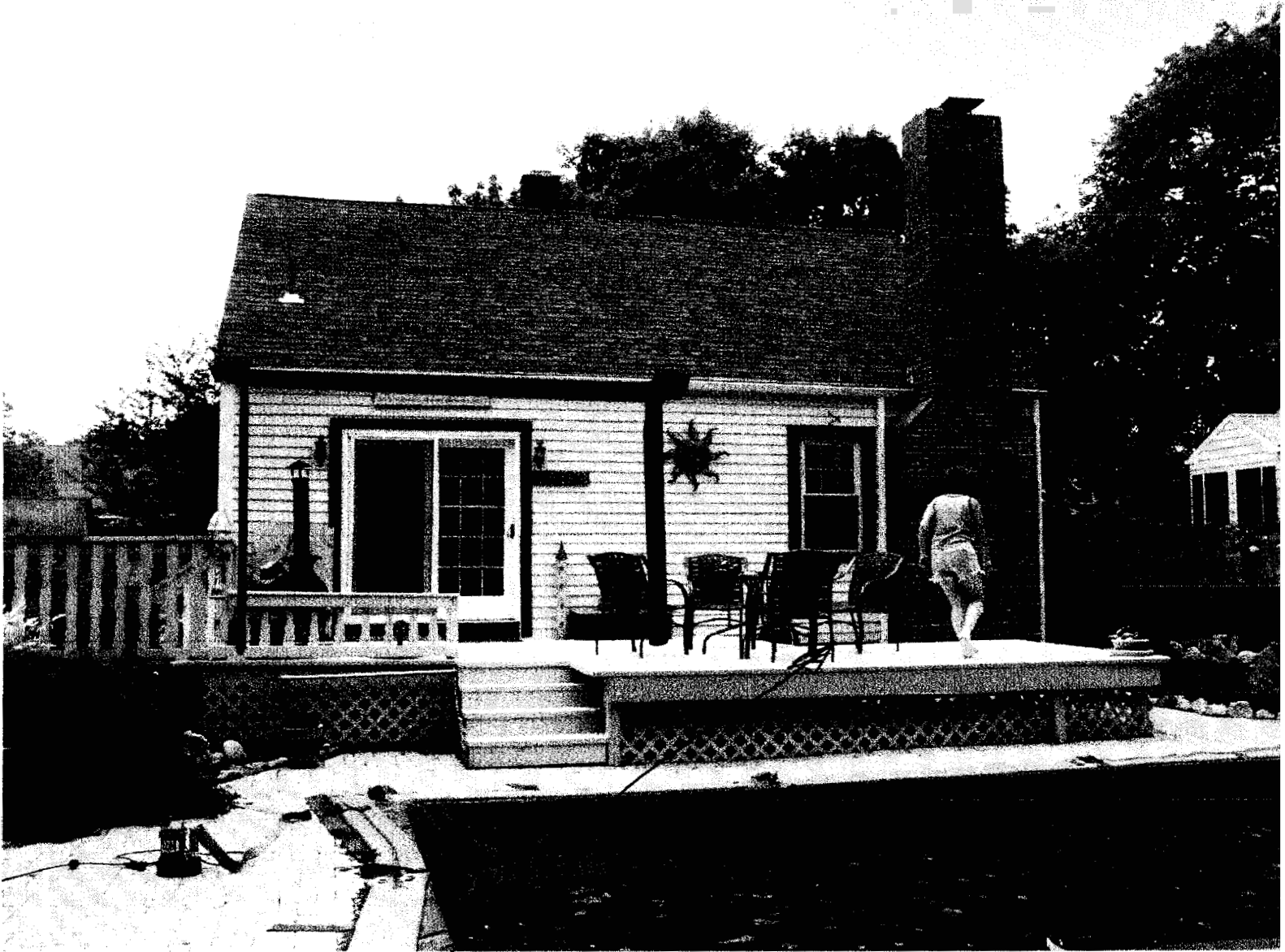
CC: "Seader, Melissa" <melissa-seader@idexx.com>



AMERICAN DREAMSPACE INC.

Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073
207-324-6700
\$77-54-PATIO
(72846)

www.americandreamspace.com



*existing -
new decking
being installed*

**SEADER
38 WEST LAWN
PORTLAND**

* addition to ~~but~~ original project description

38 West LAWN Rd
Portland, ME

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUN 26 2006

RECEIVED

10'
" Sunroom "

slider -

12'

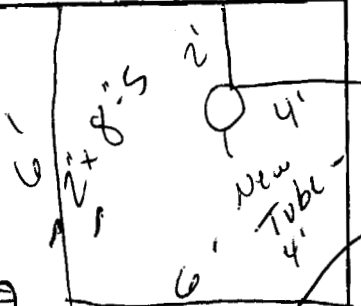
" ~~New~~
~~open Deck~~

12' x 15' x 12'

only re-decking - existing

- All pt comb
- 16" on center
- Hangers
- L Aged for home & Sunroom platform

note: open Deck portion to be built by customer



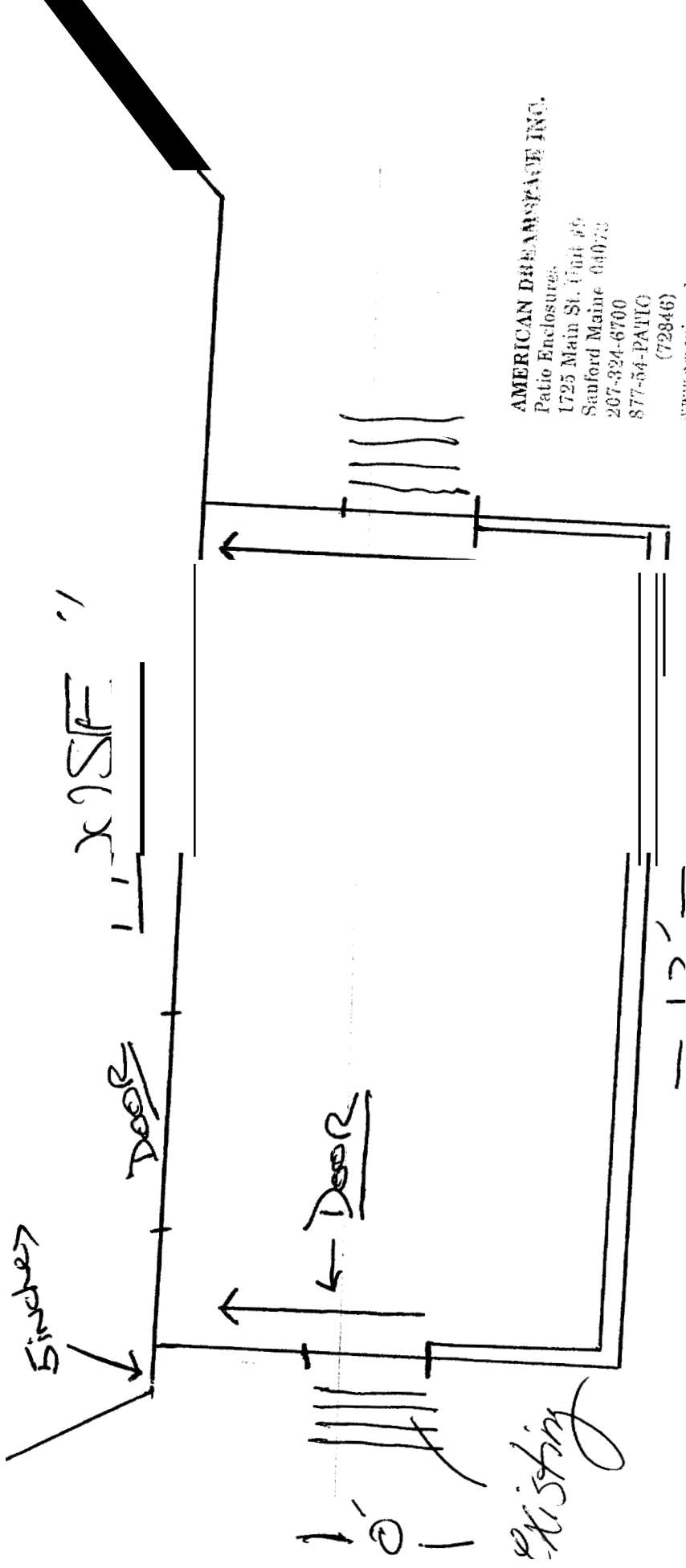
May fill in area w/ 2x8's w/ hangers OK

12'

Recommend alarm on door - existing conditions.

15'

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 (72846)

- 1) Shingled Roof - architectural "woodscape" "weathered wood"
- 2) Beige
- 3) Glass KW
- 4) Glass Traps.
- 5) Two Doors
- 6) Stabilize Deck

11/27/09

SEAFER
 38 WAST CANON



Custom Blinds & Shades • Wood & Vinyl Decks • Docks
 1725 Main Street Suite 9
 Sanford, Maine 04073
 (207) 324-6700 • Toll Free (877) 5-4 PATIO 72846
 FAX (207) 324-6166
 www.americandreamspace.com

**HOME IMPROVEMENT
 CONTRACT**

"We make your dream room a reality"

DATE 5-27 2006

I, we hereby accept your proposal to furnish all labor and materials necessary to perform the following work on the premises of the Owner Melissa Seader located at 38 West Lawn Rd. in the City of Fort Randall State of ME Zip 04103 Tele: 797-0870
856-8609

This contract shall be considered non-cancelable after legal cancellation period has expired.

THE WORK TO CONSIST OF:

ADI will stabilize existy deck in prep for the installation of a 10' x 12' x 10', single slope, year round certified Sunroom. Room is Sandstone Biege, Roof is R-41 insulated & Shingled. Trip GLASS & Glass Kneewalls included. Two Sliding doors will be installed. Windows are sliders w/ Screens & Catcher. Gutter & Down spout. Customer must supply Acceptable plot plan, price includes all coupons etc. no other discounts apply. Price is fixed. Under deck will be insulated & Sealed, 1/2" OSB layed over floor of Deck. All glass is Dual glazed w/ low E & argon gas. ADI will secure wood vine cover to Room. ADI is not responsible for existy defects, IE: wood rot or insect damage etc.

All glass wall units are insulated (double or triple glazed). Frames are thermally broken however, relative to heating and air conditioning, this product will not perform or meet the r-values (energy efficiency) as found in conventional wood framed construction.

MS
 (Initials)

Seller agrees to furnish labor and materials at Buyer's request, and for the contract amount, to complete the work described above, subject to the terms and conditions which appear on both Page 1 & Page 2 and on the REVERSE sides of this contract.

Work to start approximately 8-12 weeks from the date of this contract and to be completed approximately 2 weeks after commencement if not delayed by building permit, delivery of materials, weather, strikes, fires, or other conditions beyond Seller's control. The completion date is not of the essence.

Buyer represents and warrants that legal title to the property, which is to be improved, is in the following owner(s):

- Melissa Seader
-

NOTICES

I, Seller and/or all subcontractors, if any, who perform on this contract, and who are not paid, may have a claim against you which may be enforced against the property being improved in accordance with the applicable lien laws.

If a dispute arises concerning the provisions of said Contract or the performance of the parties, then the parties agree to settle the dispute by jointly paying for Binding arbitration as regulated by the Maine Uniform Arbitration Act, with the parties agreeing to accept as final the arbitrator's decision.

Contractor [Signature] Owner Melissa A Seader

NOTICE: The signatures of the parties above apply ONLY to the agreement of the parties to alternative dispute settlement initiated by the contractor. The owner may initiate alternative dispute resolution even where this section is not separately signed by the parties.

WHERE REQUIRED HOMEOWNER TO GET PERMIT. Source of Sale: _____

Contract Price \$ 17,300
 Down Payment \$ 190

THE DOWN PAYMENT SHALL BE A NONREFUNDABLE DEPOSIT ONCE THE THREE DAY CANCELLATION PERIOD HAS EXPIRED. THIS CONTRACT CONSTITUTES THE

Existing Deck

DECK SKETCH

SEASIDER PROJECT

38 West Cliff Road

Portland, ME

AMERICAN DREAMSPACE INC.

Patio Enclosure#

1725 Main St. Unit #9

Sauford Maine 04073

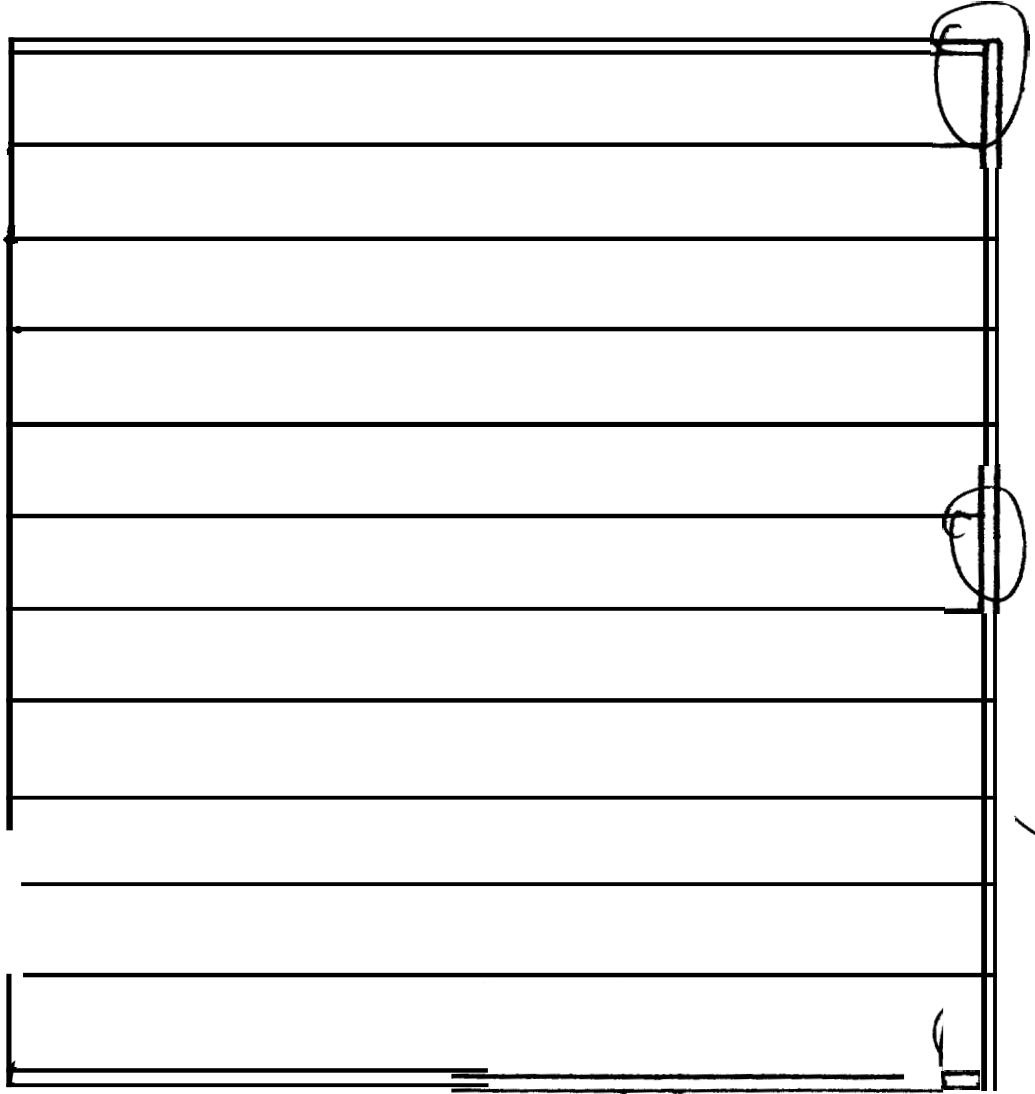
207-324-6700

7-54-PATIO

(72846)

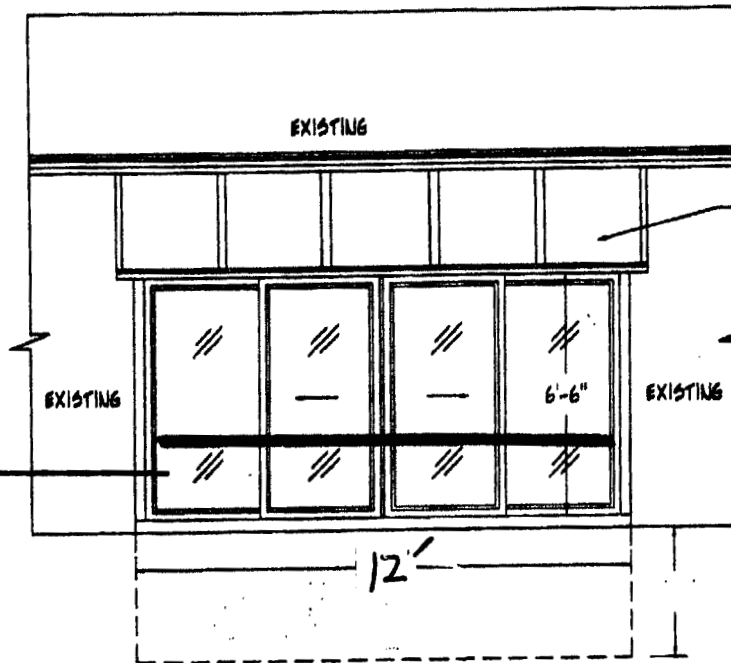
www.americandreamspace.com

- 1) All PT weather
- 2) 2"x10" Joists
- 3) 4x4 Posts
- 4) Spacing 3 Tubes
4' Depth
- 5) Double Rim Joists
- 6) 2"x10" Decking
- 7) 1/2" Plywood
floor
- 8) All 16" on Center

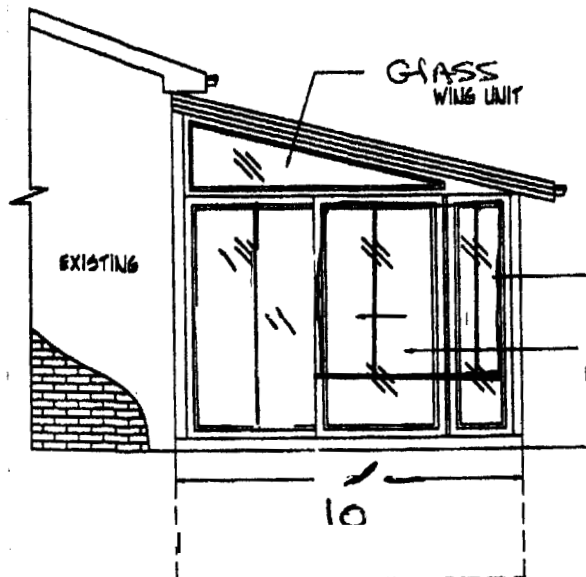


2-2x10's 12'

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B-WALL ELEVATION



A-WALL ELEVATION

NOTES:

- ① NO HEAT, PLUMBING OR ELECTRIC
- ② ONTO EXISTING DECK

SEADER 38 WESTCRAW RD. PORTLAND ME	DRAWN <i>Bel</i>
	DATE 5/28/06
	SCALE 1/4" = 1'-0"

Roof Span Chart

TABLE "B": NON-BEARING WALL SECTION - 8	
MAXIMUM TRIBUTARY WIDTH	MAXIMUM MILLION LB. WEIGHT
36	10.4
42	14.2
48	13.3
54	12.8
60	11.9
66	11.4
72	10.9
120 MPH WIND LOAD	
36	10.0
42	13.8
48	12.9
54	12.4
60	11.5
66	11.0
72	10.5
150 MPH WIND LOAD	
36	9.4
42	13.2
48	12.3
54	11.8
60	10.9
66	10.4
72	9.9
180 MPH WIND LOAD	
36	8.8
42	12.6
48	11.7
54	11.2
60	10.3
66	9.8
72	9.3

TABLE "C": ROOF PANEL SPAN TABLE - MAXIMUM ENCLOSURE PROJECTION

PANEL TYPE (8 INCH THICK)	DEAD LOAD (PSF)	DEFLECTION/1/20							DEFLECTION/LOAD							
		20	30	40	50	60	70	80	20	30	40	50	60	70	80	
4-PLY	1.1	18.2	12.6	10.11	8.10	6.9	5.8	4.8	3.8	2.8	1.8	1.1	0.7	0.4	0.3	0.2
4-PLY	2.6	16.1	13.8	13.3	11.2	10.6	9.10	13.7	11.7	10.4	9.6	8.10	12.1	10.3	9.2	8.7
4-PLY SKYLIGHT	2.9	14.8	12.2	10.7	9.6	8.8	8.1	12.6	10.6	9.3	8.6	7.10	11.0	9.6	8.6	8.7
4-PLY SKYLIGHT	4.1	17.4	14.11	13.4	12.3	11.6	10.9	14.9	12.8	11.4	10.6	9.9	13.2	11.3	10.1	9.8
6-PLY SKYLIGHT	4.1	16.6	13.3	11.10	10.10	10.2	9.7	13.1	11.2	10.0	9.2	8.8	12.7	10.8	10.1	9.7
8 INCH THICK	1.2	19.3	14.7	13.0	10.6	9.4	8.4	18.3	14.7	13.0	11.8	10.8	18.3	14.1	12.3	10.7
4-PLY	2.9	20.0	18.11	16.8	12.8	12.8	12.8	17.0	15.2	13.6	12.1	11.1	10.7	18.1	15.0	13.3
4-PLY SKYLIGHT	2.9	17.8	15.7	13.8	12.0	10.9	9.3	17.9	16.7	15.0	13.2	12.0	10.6	14.6	12.8	11.9
6-PLY READY	2.6	20.0	18.3	16.8	13.6	13.6	13.6	18.3	14.8	13.6	12.2	11.2	10.8	17.0	14.6	13.3
8-PLY SKYLIGHT	2.6	17.9	15.7	13.8	12.0	10.9	9.3	17.8	16.6	14.8	13.2	12.0	10.6	14.6	12.8	11.9

TABLE "D": ALLOWABLE SPAN (ROOM PROJECTION) FOR 3-1/2" X 8-1/2" ENGINEERED LAMINATED ROOF BEAM

DESIGN LOAD	ROOM WIDTH	
	10	14
11.0	14.0	17.0
20 PSF	21.4	19.8
30 PSF	17.0	16.6
40 PSF	17.8	16.1
50 PSF	16.3	16.0
60 PSF	15.4	14.2
70 PSF	14.7	13.6

TABLE "E": ALLOWABLE SPAN (ROOM PROJECTION) FOR 3-1/2" X 11-7/8" ENGINEERED LAMINATED ROOF BEAM

DESIGN LOAD	ROOM WIDTH	
	10	14
11.0	14.0	17.0
20 PSF	26.6	24.7
30 PSF	23.9	21.1
40 PSF	21.8	20.1
50 PSF	20.4	18.6
60 PSF	19.3	17.8
70 PSF	18.4	16.6

TABLE "F": ALLOWABLE COLUMN LOAD IN POUNDS (SECTION-H)

WIND (MPH)	8	9	10	11	12	13	14	16
80	1400	1600	1800	2000	2200	2400	2600	2800
100	1200	1400	1600	1800	2000	2200	2400	2600
120	1000	1200	1400	1600	1800	2000	2200	2400
130	800	1000	1200	1400	1600	1800	2000	2200
150	600	800	1000	1200	1400	1600	1800	2000
160	500	600	800	1000	1200	1400	1600	1800

TRIBUTARY WIDTH IS DEFINED AS THE MAXIMUM DISTANCE THAT ONE COLUMN WILL CARRY AND IS MEASURED WITHIN THE NON-LOAD BEAMS WILL HORIZONTALLY FROM THE CENTER OF ONE COLUMN TO CENTER OF THE ADJACENT COLUMN NOT FOLLOWING FULL LINE.

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 Patio Enclosures
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 Sanford Maine 04078
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 877-54-PATIO (72846)
 www.americandreamspace.com

ENGINEERING PACKAGE



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AMERICAN DREAMSPACE, INC.
Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073

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DREAMSPACE 3100
3.00" ENCLOSURE
SECTION DETAILS

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3700 HANEY COURT • MURRYSVILLE • PENNSYLVANIA 15068
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DONALD EISEL, P.E.
AMERIC TECHNOLOGY CORP.
430 NORTH BIRTH STREET
PHILADELPHIA, PA 19122 215-626-0828

ALABAMA 22381 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 1233	ALASKA PENDING	ARIZONA 31727 Registered Professional Engineer DONALD D. MEISEL No. 3574	ARKANSAS 3884 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 3524	CALIFORNIA PENDING	COLORADO 28511 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 88511	CONNECTICUT 18619 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 3610	DELAWARE 1313 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 1233	DISTRICT OF COLUMBIA 5250 REGISTERED PROFESSIONAL ENGINEER D. D. MEISEL No. 5250	FLORIDA 4308 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 4308	GEORGIA 02184 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 2284	HAWAII PENDING	ILLINOIS PENDING	INDIANA 13789 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 13789	IOWA 12184 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 12184	KANSAS 13714 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 13714	KENTUCKY PENDING	LOUISIANA 2782 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 2782	MAINE PENDING	MARYLAND PENDING	MASSACHUSETTS 3807-CIV REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 3807	MICHIGAN 3714 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 3714	MINNESOTA 1985-4 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 1985	MISSISSIPPI 13728 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 13728	MISSOURI PENDING	NEBRASKA PENDING	NEVADA PENDING	NEW HAMPSHIRE 8174 REGISTERED PROFESSIONAL ENGINEER DONALD D. MEISEL No. 8174	NEW JERSEY PENDING	NEW YORK PENDING	PENNSYLVANIA PENDING	RHODE ISLAND PENDING	TENNESSEE PENDING	Texas PENDING	UTAH PENDING	VIRGINIA PENDING	WASHINGTON PENDING	WEST VIRGINIA PENDING	WISCONSIN PENDING	WYOMING PENDING
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Table of Contents

Professional Engineer Stamps	1-2	page
Note and Specifications	3	
Plan and Elevation	4	
System Components	5	
Section Details	6-7	
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Donald D. Meisel 5-2-03
DONALD MEISEL P.E. DATE

			<i>Donald D. Meisel</i>

Table of Contents

Professional Engineer Stamps	page
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Plan and Elevation	3
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Loading Charts	6-7
	8-20

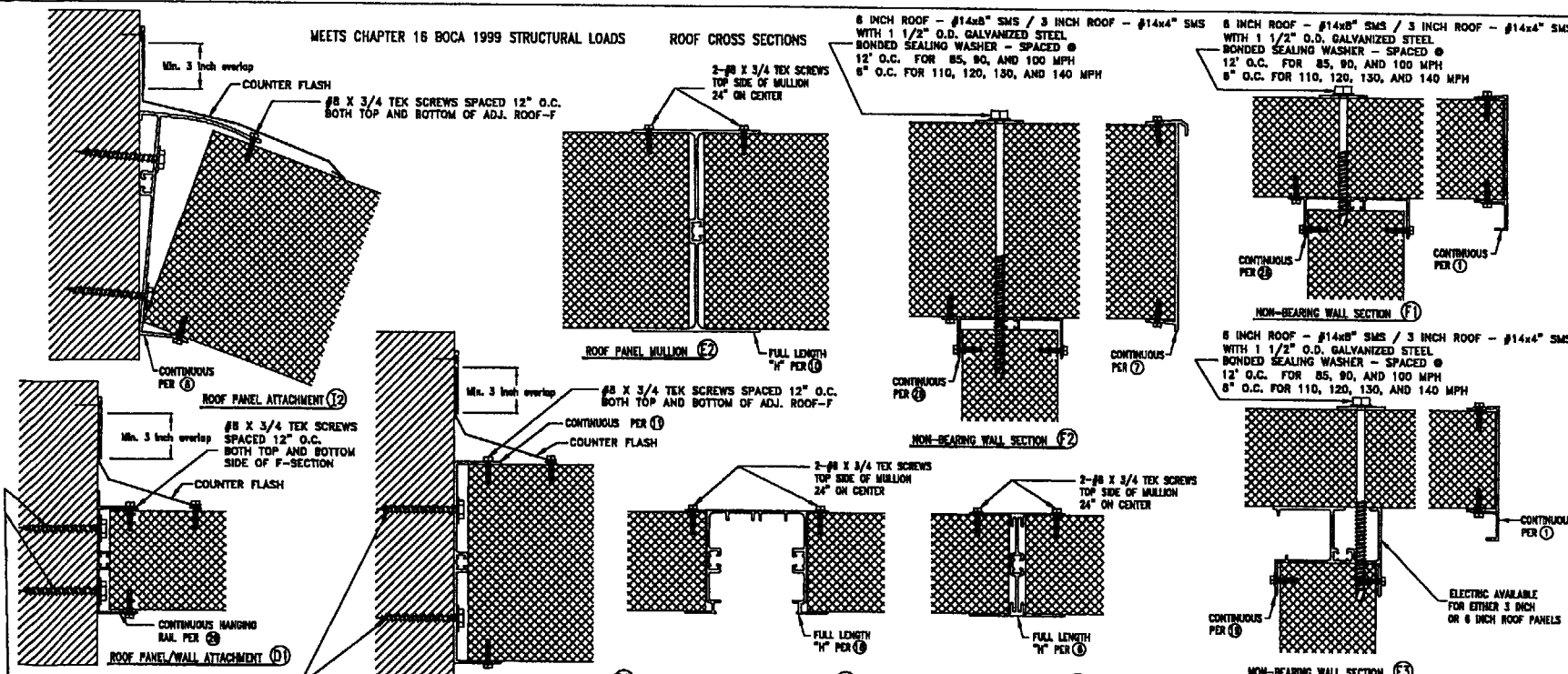
Donald D. Meisel 2-5-03
DONALD MEISEL P.E. DATE

MEETS CHAPTER 16 BOCA 1999 STRUCTURAL LOADS

ROOF CROSS SECTIONS

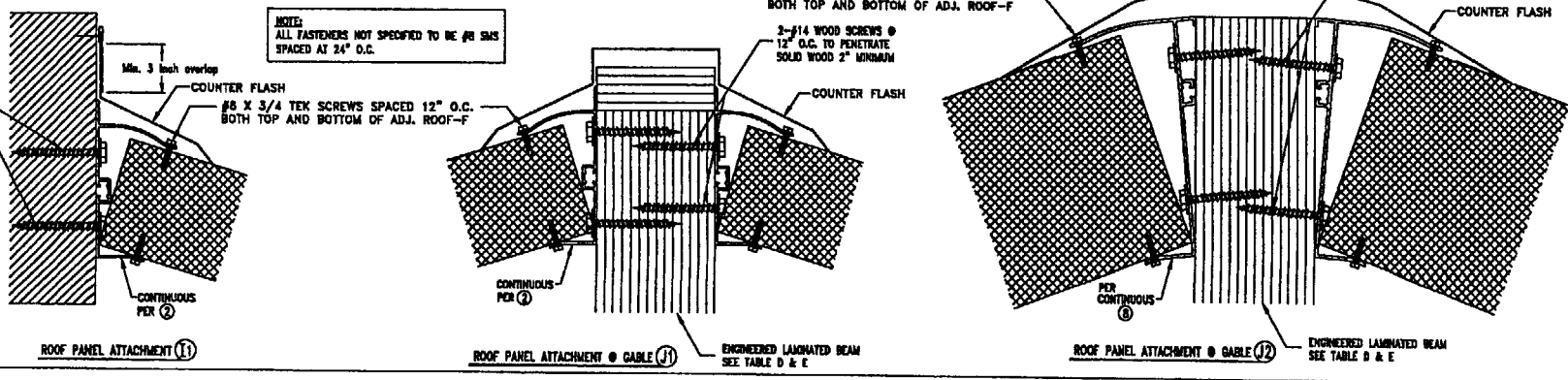
6 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS
 WITH 1 1/2" O.D. GALVANIZED STEEL BONDED SEALING WASHER - SPACED @ 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

6 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS
 WITH 1 1/2" O.D. GALVANIZED STEEL BONDED SEALING WASHER - SPACED @ 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH



- 1 - 1/4" # WOOD SCREWS @ 16" O.C. TO PENETRATE SOLID WOOD 1-3/4" MINIMUM UP TO 30 PSF LIVE LOAD
- 2 - 1/4" # WOOD SCREWS @ 18" O.C. TO PENETRATE SOLID WOOD 2" MINIMUM UP TO 40 PSF LIVE LOAD
- 3 - 5/16" # WOOD SCREWS @ 18" O.C. TO PENETRATE SOLID WOOD 2-1/2" MINIMUM UP TO 60 PSF LIVE LOAD
- 4 - 3/8" # WOOD SCREWS @ 16" O.C. TO PENETRATE SOLID WOOD 2-1/2" MINIMUM UP TO 70 PSF LIVE LOAD

NOTE:
 ALL FASTENERS NOT SPECIFIED TO BE #8 SMS
 SPACED AT 24" O.C.



DONALD MEISEL, P.E.
 AMERIC TECHNOLOGY CORP.
 438 NORTH 80TH STREET
 HAZLET, PA. 16830-8117

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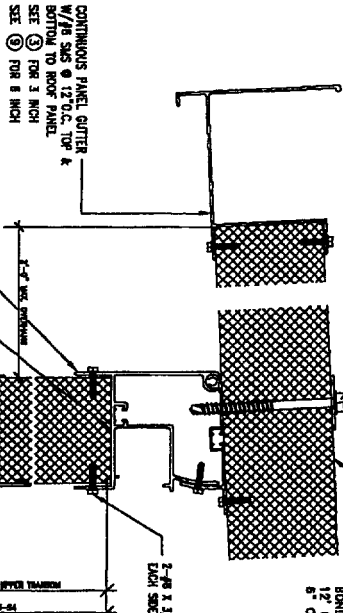
DREAMSPACE 3100
 3.00" ENCLOSURE
 SECTION DETAILS

DATE: FEB. 2003
 DWG NO.: DS-3100
 DRAWN BY: ED UHRINEK
 PLOT NO.:

Sheet_4
 7 OF 20

6 INCH ROOF - #14x8" SWS / 3 INCH ROOF - #14x4" SWS

WITH 1 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH



CONTINUOUS PANEL GUTTER
 WITH 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

ELECTRIC FEEDER WITH ADJUSTABLE ARM
 EXPANDER SHALL BEAR FULL
 ON MILLION SECTION PRIOR
 TO INSTALLATION OF FASTENERS

WALL N SECTION SEE 19

EXT. WINDOW TRIM SEE 22

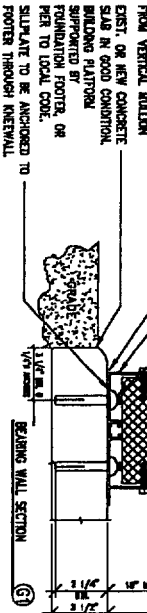
FOR CONCRETE USE 1/4" EXPANSION ANCHORS
 FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
 (2) 1/4" ANCHORS @ 8" & 90 MPH
 (1) 1/4" ANCHORS 100 THRU 140 MPH
 LOCATE ANCHORS 2 1/4" EA.
 SIDE OF WALL. SEE NOTE #10
 AND 16" O.C. BETWEEN WALLS

BASE EXPANSION SPICE SEE 20

BASE EXPANSION SPICE
 TO BE 2" MINIMUM
 FROM VERTICAL WALLON

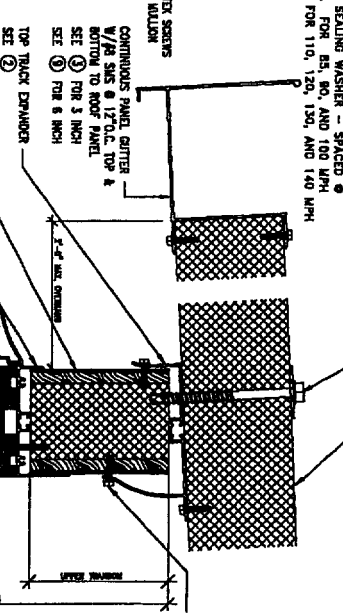
EXIST. OR NEW CONCRETE
 SLAB IN GOOD CONDITION
 BUILDING PLATFORM
 SUPPORTED BY
 FOUNDATION FOOTER, OR
 PIER TO LOCAL CODE.

SLIPPLATE TO BE ANCHORED TO
 FOOTER THROUGH INTERVAL



3 INCH AND 6 INCH ROOF PANELS AVAILABLE
 (3 INCH SHOWN)

6 INCH ROOF - #14x8" SWS / 3 INCH ROOF - #14x4" SWS
 WITH 1 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH



CONTINUOUS PANEL GUTTER
 WITH 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

ELECTRIC FEEDER WITH ADJUSTABLE ARM
 EXPANDER SHALL BEAR FULL
 ON MILLION SECTION PRIOR
 TO INSTALLATION OF FASTENERS

WALL N SECTION SEE 19

EXT. WINDOW TRIM SEE 22

FOR CONCRETE USE 1/4" EXPANSION ANCHORS
 FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
 (2) 1/4" ANCHORS @ 8" & 90 MPH
 (1) 1/4" ANCHORS 100 THRU 140 MPH
 LOCATE ANCHORS 2 1/4" EA.
 SIDE OF WALL. SEE NOTE #10
 AND 16" O.C. BETWEEN WALLS

BASE EXPANSION SPICE SEE 20

BASE EXPANSION SPICE
 TO BE 2" MINIMUM
 FROM VERTICAL WALLON

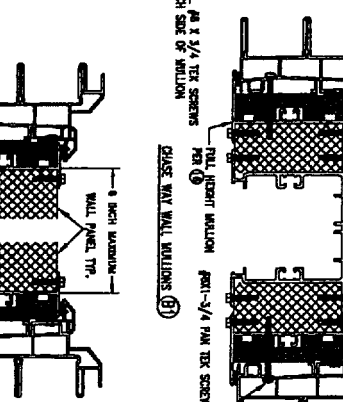
EXIST. OR NEW WOOD
 FRAME IN GOOD CONDITION
 DESIGN FOR FRAME SUPPORT TO BE
 BY OTHERS TO MEET THE LOCAL
 BUILDING CODES & ALL EXISTING
 LOADS THROUGH THROUGH.

SUPPORT FOR DOOR



MEETS CHAPTER 16 BOCA 1999 STRUCTURAL LOADS

6 INCH ROOF - #14x8" SWS / 3 INCH ROOF - #14x4" SWS
 WITH 1 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH



CONTINUOUS PANEL GUTTER
 WITH 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

ELECTRIC FEEDER WITH ADJUSTABLE ARM
 EXPANDER SHALL BEAR FULL
 ON MILLION SECTION PRIOR
 TO INSTALLATION OF FASTENERS

WALL N SECTION SEE 19

EXT. WINDOW TRIM SEE 22

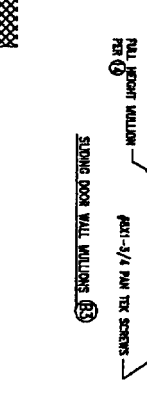
FOR CONCRETE USE 1/4" EXPANSION ANCHORS
 FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
 (2) 1/4" ANCHORS @ 8" & 90 MPH
 (1) 1/4" ANCHORS 100 THRU 140 MPH
 LOCATE ANCHORS 2 1/4" EA.
 SIDE OF WALL. SEE NOTE #10
 AND 16" O.C. BETWEEN WALLS

BASE EXPANSION SPICE SEE 20

BASE EXPANSION SPICE
 TO BE 2" MINIMUM
 FROM VERTICAL WALLON

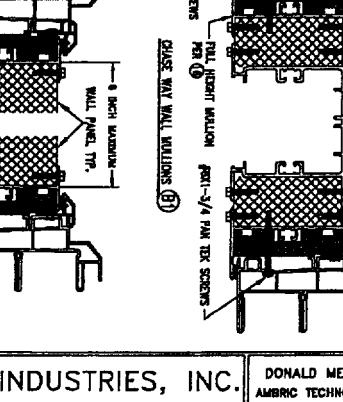
EXIST. OR NEW WOOD
 FRAME IN GOOD CONDITION
 DESIGN FOR FRAME SUPPORT TO BE
 BY OTHERS TO MEET THE LOCAL
 BUILDING CODES & ALL EXISTING
 LOADS THROUGH THROUGH.

SUPPORT FOR DOOR



ELECTRIC VERTICAL WALL TRIM

6 INCH ROOF - #14x8" SWS / 3 INCH ROOF - #14x4" SWS
 WITH 1 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH



CONTINUOUS PANEL GUTTER
 WITH 1/2" O.D. GALVANIZED STEEL
 BONDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

ELECTRIC FEEDER WITH ADJUSTABLE ARM
 EXPANDER SHALL BEAR FULL
 ON MILLION SECTION PRIOR
 TO INSTALLATION OF FASTENERS

WALL N SECTION SEE 19

EXT. WINDOW TRIM SEE 22

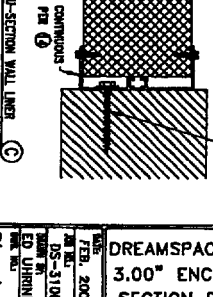
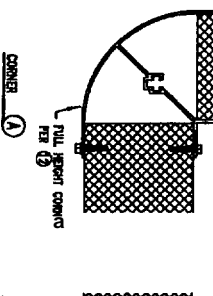
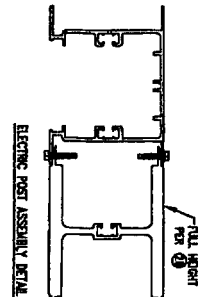
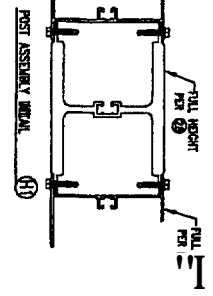
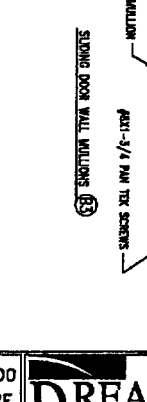
FOR CONCRETE USE 1/4" EXPANSION ANCHORS
 FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
 (2) 1/4" ANCHORS @ 8" & 90 MPH
 (1) 1/4" ANCHORS 100 THRU 140 MPH
 LOCATE ANCHORS 2 1/4" EA.
 SIDE OF WALL. SEE NOTE #10
 AND 16" O.C. BETWEEN WALLS

BASE EXPANSION SPICE SEE 20

BASE EXPANSION SPICE
 TO BE 2" MINIMUM
 FROM VERTICAL WALLON

EXIST. OR NEW WOOD
 FRAME IN GOOD CONDITION
 DESIGN FOR FRAME SUPPORT TO BE
 BY OTHERS TO MEET THE LOCAL
 BUILDING CODES & ALL EXISTING
 LOADS THROUGH THROUGH.

SUPPORT FOR DOOR



NOTE:
 ALL FASTENERS NOT SPECIFIED TO BE #8 x 3 1/4" SWS
 SPACED @ 16" O.C.

DATE: FEB. 2003
 DRAWN BY: DS-3100
 CHECKED BY: ED UHRBINKER
 SHEET NO. 3
 OF 30

DREAMSPACE 3100
 3.00" ENCLOSURE
 SECTION DETAILS

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DONALD WEISEL, P.E.
 AMERIC TECHNOLOGY CORP.
 430 NORTH 300TH STREET
 PHILADELPHIA, PA 19123 215-888-8830

SNOW & WIND
LOADING CHARTS

LOAD BEARINGWALL - SECTION G

TABLE "A-40S"

40 PSF SNOW LOAD

CHARTS ARE FOR
STANDARD HEADER

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG				MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG				MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG																														
		0'-6"	1'-0"	1'-6"	2'-0"			0'-6"	1'-0"	1'-6"	2'-0"			0'-6"	1'-0"	1'-6"	2'-0"																											
		MAXIMUM ENCLOSURE PROJECTION						MAXIMUM ENCLOSURE PROJECTION						MAXIMUM ENCLOSURE PROJECTION																														
85 MPH WIND															90 MPH WIND															100 MPH WIND														
36" C/C	84"	19'-6"	19'-0"	18'-6"	17'-7"	36" C/C	84"	19'-6"	19'-0"	18'-6"	17'-7"	36" C/C	84"	19'-6"	19'-0"	18'-6"	17'-7"																											
	88"	19'-6"	19'-0"	18'-6"	17'-7"		88"	19'-6"	19'-0"	18'-6"	17'-7"		88"	19'-6"	19'-0"	18'-6"	17'-7"																											
	96"	19'-6"	19'-0"	18'-6"	17'-7"		96"	19'-6"	19'-0"	18'-6"	17'-7"		96"	19'-6"	19'-0"	18'-6"	17'-7"																											
	108"	19'-6"	19'-0"	18'-6"	17'-7"		108"	19'-6"	19'-0"	18'-6"	17'-7"		108"	19'-6"	19'-0"	18'-6"	17'-7"																											
48" C/C	84"	11'-3"	10'-2"	9'-0"	7'-9"	48" C/C	84"	11'-3"	10'-2"	9'-0"	7'-9"	48" C/C	84"	11'-3"	10'-2"	9'-0"	7'-9"																											
	88"	11'-3"	10'-2"	9'-0"	7'-9"		88"	11'-3"	10'-2"	9'-0"	7'-9"		88"	11'-3"	10'-2"	9'-0"	7'-9"																											
	96"	11'-3"	10'-2"	9'-0"	7'-9"		96"	11'-3"	10'-2"	9'-0"	7'-9"		96"	11'-3"	10'-2"	9'-0"	7'-9"																											
	108"	11'-3"	10'-2"	9'-0"	7'-9"		108"	11'-3"	10'-2"	9'-0"	7'-9"		108"	11'-3"	10'-2"	9'-0"	7'-9"																											
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	108"	---	---	---	---		108"	---	---	---	---		108"	---	---	---	---																											

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG				MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG				MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG				MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG																																																							
		0'-6"	1'-0"	1'-6"	2'-0"			0'-6"	1'-0"	1'-6"	2'-0"			0'-6"	1'-0"	1'-6"	2'-0"			0'-6"	1'-0"	1'-6"	2'-0"																																																				
		MAXIMUM ENCLOSURE PROJECTION						MAXIMUM ENCLOSURE PROJECTION						MAXIMUM ENCLOSURE PROJECTION						MAXIMUM ENCLOSURE PROJECTION																																																							
110 MPH WIND																			120 MPH WIND																			130 MPH WIND																			140 MPH WIND																		
36" C/C	84"	19'-6"	19'-0"	18'-6"	17'-7"	36" C/C	84"	19'-6"	18'-8"	17'-7"	16'-6"	36" C/C	84"	16'-5"	15'-5"	14'-4"	13'-2"	36" C/C	84"	13'-11"	12'-10"	11'-9"	10'-7"																																																				
	88"	19'-6"	19'-0"	18'-6"	17'-7"		88"	19'-6"	18'-8"	17'-7"	16'-6"		88"	16'-5"	15'-5"	14'-4"	13'-2"		88"	13'-11"	12'-10"	11'-9"	10'-7"																																																				
	96"	19'-6"	19'-0"	18'-6"	17'-7"		96"	19'-6"	18'-8"	17'-7"	16'-6"		96"	16'-5"	15'-5"	14'-4"	13'-2"		96"	13'-11"	12'-10"	11'-9"	10'-7"																																																				
	108"	19'-6"	19'-0"	18'-6"	17'-7"		108"	19'-6"	18'-8"	17'-7"	16'-6"		108"	16'-5"	15'-5"	14'-4"	13'-2"		108"	13'-11"	12'-10"	11'-9"	10'-7"																																																				
48" C/C	84"	11'-3"	10'-2"	9'-0"	7'-9"	48" C/C	84"	10'-8"	9'-7"	8'-5"	7'-1"	48" C/C	84"	8'-9"	7'-8"	6'-5"	---	48" C/C	84"	7'-4"	6'-3"	---	---																																																				
	88"	11'-3"	10'-2"	9'-0"	7'-9"		88"	10'-8"	9'-7"	8'-5"	7'-1"		88"	8'-9"	7'-8"	6'-5"	---		88"	---	---	---	---																																																				
	96"	11'-3"	10'-2"	9'-0"	7'-9"		96"	10'-8"	9'-7"	8'-5"	7'-1"		96"	---	---	---	---		96"	---	---	---	---																																																				
	108"	11'-3"	10'-2"	9'-0"	7'-9"		108"	11'-0"	9'-11"	8'-9"	7'-5"		108"	---	---	---	---		108"	---	---	---	---																																																				
60" C/C	84"	---	---	---	---	60" C/C	84"	---	---	---	---	60" C/C	84"	---	---	---	---	60" C/C	84"	---	---	---	---																																																				
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431 NORTH BRITH STREET
PHILADELPHIA, PA 19122 715-834-8888

THERMAL INDUSTRIES, INC.
3700 HANEY • MURRYSVILLE • PENNSYLVANIA 15668
PHONE 724-733-8880 FAX 724-327-9317

DREAMSPACE[®]
PARTO ENCLOSURES
Make Your Dream Come True!

DREAMSPACE 3100
3.00" ENCLOSURE
LOADING CHARTS

Date: Feb. 2003
JOB NO.: DSS100
BY: BYK
FILE NAME:
DSS100_A-40
12 OF 20

Table "B":

NON-BEARING WALL MULLION SECTION - B. Table with columns for Maximum Tributary Width and Maximum Mullion Height (ft) for wind loads of 85, 90, 100, and 110 MPH.

TRIBUTARY WIDTH IS DEFINED AS THE MAXIMUM DISTANCE THAT ONE COLUMN WILL CARRY AND IS MEASURED WITHIN THE NON-LOAD BEARING WALL HORIZONTALLY FROM THE CENTER OF ONE MODULE TO CENTER OF THE ADJACENT MODULE NOT INCLUDING FILL PANEL.

TABLE "C": ROOF PANEL SPAN TABLE - MAXIMUM ENCLOSURE PROJECTION. Large table with columns for Panel Type, Dead Load (PSF), Deflection=L/120, Deflection=L/180, and Deflection=L/240. Includes rows for 3-Ply, 4-Ply, 5-Ply skylight, and Shingle Ready.

3-PLY USES TWO 0.024" 3105-H154 ALUMINUM SKINS WITH EXPANDED POLYSTYRENE CORE 1.5 LB DENSITY FOR 3 INCH AND 1.0 LB DENSITY FOR 6 INCH. 4-PLY USES TWO 0.024" 3105-H154 ALUMINUM SKINS WITH ONE SHEET 7/16" ORIENTED STRAND BOARD (OSB) AND EXPANDED POLYSTYRENE CORE 1.5 LB DENSITY FOR 3 INCH AND 1.0 LB DENSITY FOR 6 INCH (OSB INSTALLED TO EXTERIOR SIDE). SHINGLE READY (SR) USES ONE 0.024" 3105-H154 ALUMINUM SKIN WITH ONE SHEET 7/16" ORIENTED STRAND BOARD (OSB) AND 1.0 LB DENSITY EXPANDED POLYSTYRENE CORE (OSB INSTALLED TO EXTERIOR SIDE). 5-PLY USES TWO 0.024" 3105-H154 ALUMINUM SKINS WITH TWO SHEETS 7/16" ORIENTED STRAND BOARD (OSB) AND 1.5 LB DENSITY POLYSTYRENE CORE. WHEN USING THE ABOVE TABLE, ONE MUST VERIFY WHAT LOCAL BUILDING CODE REQUIRES. MAXIMUM PANEL OVERHANG IS 2'-0". THIS TABLE SHALL BE USED WITH EXTREME CAUTION AND CONSIDERATION SHALL BE GIVEN FOR ANY OTHER LOADS WHICH MAY REDUCE SPAN.

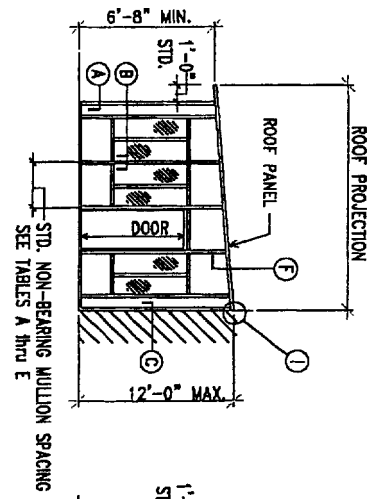
TABLE "D": ALLOWABLE SPAN (ROOM PROJECTION) FOR: 3-1/2" X 9-1/2" ENGINEERED LAMINATED RIDGE BEAM. Table with columns for Design Load and Room Width (11'-0" to 41'-0").

TABLE "E": ALLOWABLE SPAN (ROOM PROJECTION) FOR: 3-1/2" X 11-7/8" ENGINEERED LAMINATED RIDGE BEAM. Table with columns for Design Load and Room Width (11'-0" to 41'-0").

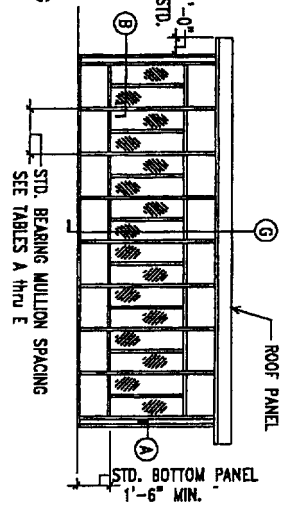
GANG-LAM S 3100 F2 0E MEETS DEFLECTION OF L/240, BEAMS ARE TO BE CONTINUOUS (NO SPLICES) BEAM CONNECTION AND SUPPORT AT THE RESIDENCESIDE MUST BE DESIGNED BY OTHERS TO WITHSTAND THE SPECIFIED LOADS

TABLE "F": ALLOWABLE COLUMN LOAD IN POUNDS (SECTION-H). Table with columns for Wind (MPH) and Column Length (8'-0" to 15'-0").

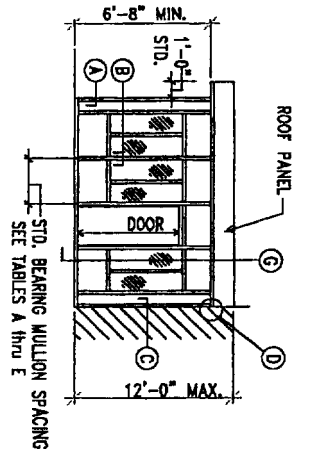
DONALD MEISEL, P.E. AMBIENT TECHNOLOGY CORP. THERMAL INDUSTRIES, INC. DREAMSPACE 3.0" ENCLOSURE LOADING CHARTS. 3700 HANNEY / MURRYSVILLE, PENNSYLVANIA 15866. PHONE 724-753-3880 FAX 724-327-5817. Data Feb. 2003. JOB NO. 053100. BY: BVK. FILE NAME: 053100_FINALPAGE. 20 OF 20



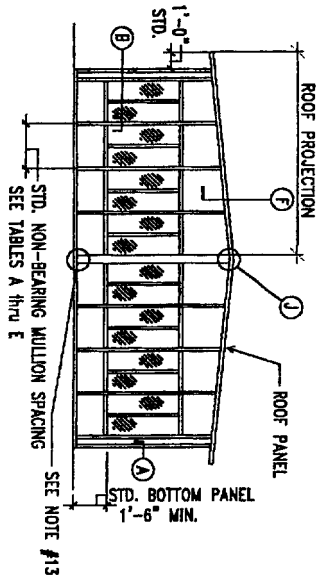
MARQUE (LEAN-TO)
ENCLOSURE END WALL ELEVATION
NON-LOAD BEARING



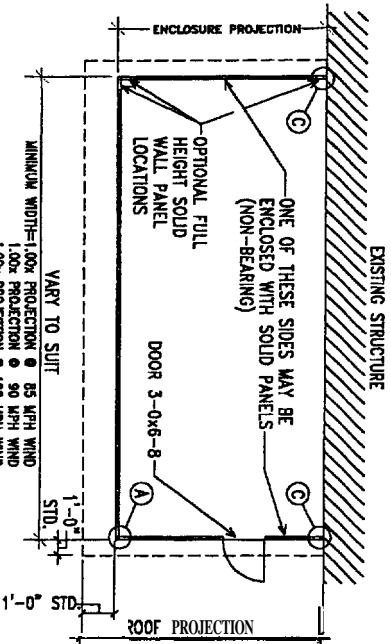
MARQUE (LEAN-TO)
ENCLOSURE FRONT WALL ELEVATION
LOAD BEARING



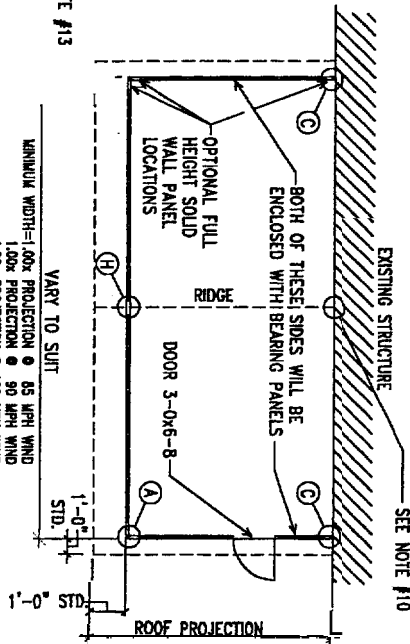
CATHEDRAL (GABLE)
ENCLOSURE PROJECTION WALL ELEVATION
LOAD BEARING



CATHEDRAL (GABLE)
ENCLOSURE FRONT WALL ELEVATION
NON-LOAD BEARING



TYPICAL MARQUE (LEAN-TO) ENCLOSURE PLAN



TYPICAL CATHEDRAL (GABLE) ENCLOSURE PLAN

NOTE:
ALL SECTIONS & DETAILS REFERENCED
HERE ARE SHOWN ON SHEET 3-S3
SEE NOTES #1 & 2

- VARY TO SUIT
- MINIMUM WIDTH=1,00x PROJECTION
 - 1,00x PROJECTION @ 65 MPH WIND
 - 1,00x PROJECTION @ 90 MPH WIND
 - 1,00x PROJECTION @ 100 MPH WIND
 - 1,25x PROJECTION @ 110 MPH WIND
 - 1,50x PROJECTION @ 120 MPH WIND
 - 1,75x PROJECTION @ 130 MPH WIND
 - 2,00x PROJECTION @ 140 MPH WIND

- VARY TO SUIT
- MINIMUM WIDTH=1,00x PROJECTION
 - 1,00x PROJECTION @ 65 MPH WIND
 - 1,00x PROJECTION @ 90 MPH WIND
 - 1,00x PROJECTION @ 100 MPH WIND
 - 1,25x PROJECTION @ 110 MPH WIND
 - 1,50x PROJECTION @ 120 MPH WIND
 - 1,75x PROJECTION @ 130 MPH WIND
 - 2,00x PROJECTION @ 140 MPH WIND

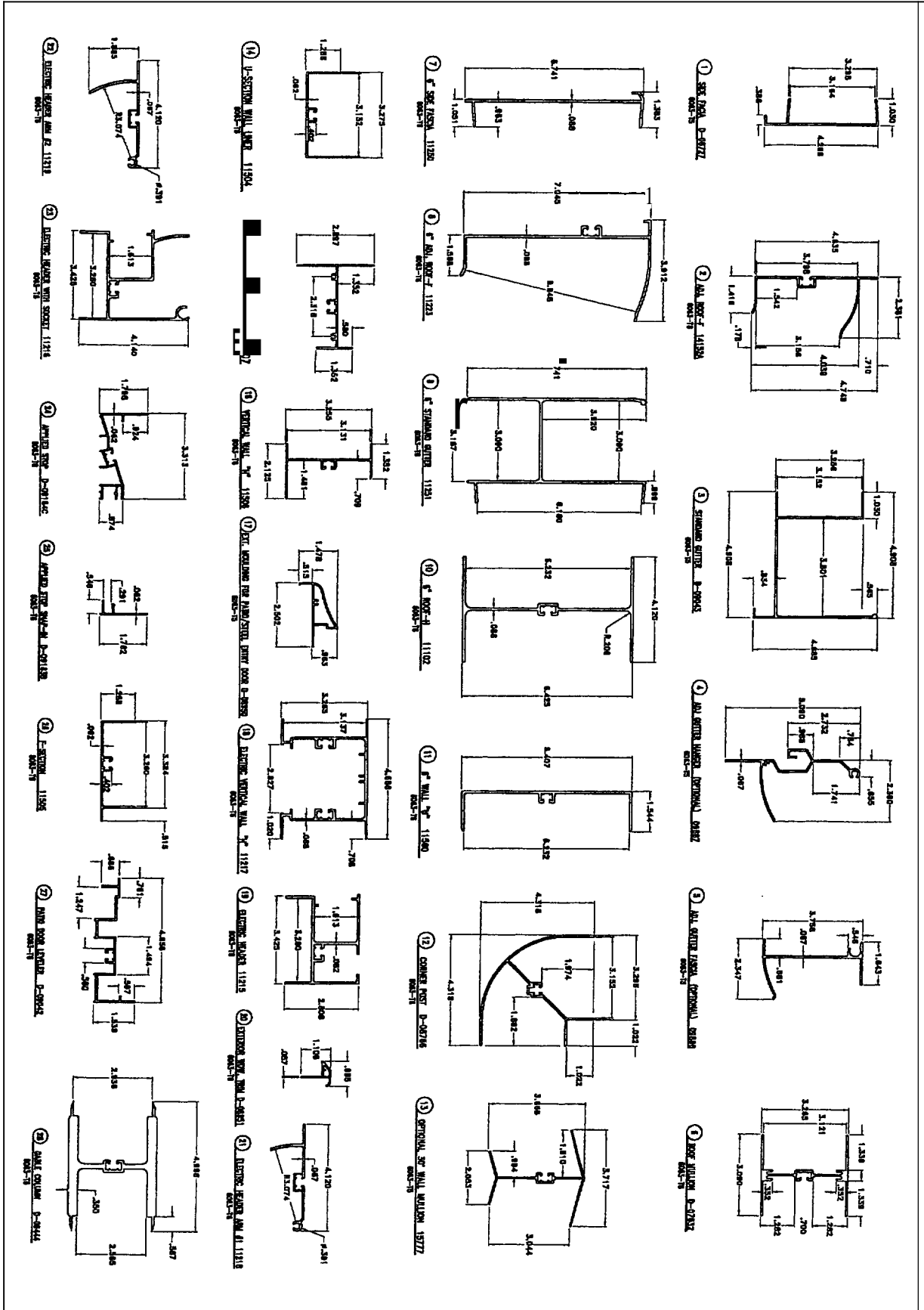
DATE: FEB. 2003
DRAWN BY: DCS-3100
CHECKED BY: ED UHRENK
SCALE: 1/8\"/>

DREAMSPACE 3100
3.00\"/>

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AMBRIC TECHNOLOGY CORP.
430 NORTH SEETH STREET
PHILADELPHIA, PA 19125 215-625-8830



DREAMSPACE 3100
 3.00" ENCLOSURE
 SECTION DETAILS
 DATE: FEB. 2003
 DRAWN BY: E.D. LUBNER
 CHECKED BY: E.D. LUBNER
 SHEET NO. 2 OF 20

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SNOW & WIND LOADING CHARTS

LOAD BEARING WALL - SECTION G

TABLE "A-40E"

40 PSF SNOW LOAD

CHARTS ARE FOR
ENHANCED HEADER

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
110 MPH WIND					
36" C/C	84"	19.6	19.0	18.6	18.0
	88"	19.6	19.0	18.6	18.0
	96"	19.6	19.0	18.6	18.0
	108"	19.6	19.0	18.6	18.0
48" C/C	84"	11.9	10.9	9.7	8.4
	88"	19.6	19.0	18.6	18.0
	96"	19.6	19.0	18.6	18.0
	108"	11.0	9.11	8.9	7.5
60" C/C	84"	7.2	6.0	-	-
	88"	12.11	11.10	10.9	9.6
	96"	11.0	9.11	8.9	7.6
	108"	-	-	-	-
72" C/C	84"	-	-	-	-
	88"	8.8	7.7	6.4	-
	96"	-	-	-	-
	108"	-	-	-	-
120 MPH WIND					
36" C/C	84"	19.6	19.0	18.6	18.0
	88"	19.6	19.0	18.6	18.0
	96"	19.6	19.0	18.6	18.0
	108"	19.6	19.0	18.6	18.0
48" C/C	84"	11.9	10.9	9.7	8.4
	88"	19.6	19.0	18.6	18.0
	96"	17.4	16.4	15.3	14.1
	108"	-	-	-	-
60" C/C	84"	7.2	6.0	-	-
	88"	12.1	11.0	9.11	8.8
	96"	-	-	-	-
	108"	-	-	-	-
72" C/C	84"	-	-	-	-
	88"	-	-	-	-
	96"	-	-	-	-
	108"	-	-	-	-
130 MPH WIND					
36" C/C	84"	19.6	19.0	18.6	18.0
	88"	19.6	19.0	18.6	18.0
	96"	19.6	19.0	18.6	18.0
	108"	19.6	19.0	18.6	18.0
48" C/C	84"	11.9	10.9	9.7	8.4
	88"	19.2	18.2	17.1	15.11
	96"	-	-	-	-
	108"	-	-	-	-
60" C/C	84"	7.2	6.0	-	-
	88"	-	-	-	-
	96"	-	-	-	-
	108"	-	-	-	-
72" C/C	84"	-	-	-	-
	88"	-	-	-	-
	96"	-	-	-	-
	108"	-	-	-	-
140 MPH WIND					
36" C/C	84"	19.6	19.0	18.6	18.0
	88"	19.6	19.0	18.6	18.0
	96"	16.11	15.10	14.9	13.7
	108"	-	-	-	-
48" C/C	84"	11.9	10.9	9.7	8.4
	88"	-	-	-	-
	96"	-	-	-	-
	108"	-	-	-	-
60" C/C	84"	-	-	-	-
	88"	-	-	-	-
	96"	-	-	-	-
	108"	-	-	-	-
72" C/C	84"	-	-	-	-
	88"	8.8	7.7	6.4	-
	96"	9.5	8.4	7.1	-
	108"	-	-	-	-

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PHONE 724-733-3880 FAX 724-327-9317



DREAMSPACE 3100
3.00" ENCLOSURE
LOADING CHARTS
DATE: FEB 2003
JOB NO.: DS3100
BY: BJK
ELEMENT: J401
DS3100_A401

**SNOW & WIND
LOADING CHARTS**

↳ D-BEARING J H-SCORING

TABLE "A-50S"

50 PSF SNOW LOAD

CHARTS ARE FOR
STANDARD HEADER

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
85 MPH WIND					
36" C/C	84"	16.7	15.7	14.6	13.4
	88"	16.7	15.7	14.6	13.4
	96"	16.7	15.7	14.6	13.4
	108"	16.7	15.7	14.6	13.4
48" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
60" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
72" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
90 MPH WIND					
36" C/C	84"	16.7	15.7	14.6	13.4
	88"	16.7	15.7	14.6	13.4
	96"	16.7	15.7	14.6	13.4
	108"	16.7	15.7	14.6	13.4
48" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
60" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
72" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
100 MPH WIND					
36" C/C	84"	16.7	15.7	14.6	13.4
	88"	16.7	15.7	14.6	13.4
	96"	16.7	15.7	14.6	13.4
	108"	16.7	15.7	14.6	13.4
48" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
60" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
72" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
110 MPH WIND					
36" C/C	84"	16.7	15.7	14.6	13.4
	88"	16.7	15.7	14.6	13.4
	96"	16.7	15.7	14.6	13.4
	108"	16.7	15.7	14.6	13.4
48" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
60" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
72" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
120 MPH WIND					
36" C/C	84"	16.7	15.7	14.6	13.4
	88"	16.7	15.7	14.6	13.4
	96"	16.7	15.7	14.6	13.4
	108"	16.7	15.7	14.6	13.4
48" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
60" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
72" C/C	84"	8.10	7.9	6.7	5.5
	88"	8.10	7.9	6.7	5.5
	96"	8.10	7.9	6.7	5.5
	108"	8.10	7.9	6.7	5.5
130 MPH WIND					
36" C/C	84"	16.5	15.5	14.4	13.2
	88"	16.5	15.5	14.4	13.2
	96"	16.5	15.5	14.4	13.2
	108"	16.5	15.5	14.4	13.2
48" C/C	84"	8.9	7.8	6.5	5.3
	88"	8.9	7.8	6.5	5.3
	96"	8.9	7.8	6.5	5.3
	108"	8.9	7.8	6.5	5.3
60" C/C	84"	8.9	7.8	6.5	5.3
	88"	8.9	7.8	6.5	5.3
	96"	8.9	7.8	6.5	5.3
	108"	8.9	7.8	6.5	5.3
72" C/C	84"	8.9	7.8	6.5	5.3
	88"	8.9	7.8	6.5	5.3
	96"	8.9	7.8	6.5	5.3
	108"	8.9	7.8	6.5	5.3
140 MPH WIND					
36" C/C	84"	13.11	12.10	11.9	10.7
	88"	13.11	12.10	11.9	10.7
	96"	11.3	10.2	9.1	7.10
	108"	11.3	10.2	9.1	7.10
48" C/C	84"	7.4	6.3	5.2	4.1
	88"	7.4	6.3	5.2	4.1
	96"	7.4	6.3	5.2	4.1
	108"	7.4	6.3	5.2	4.1
60" C/C	84"	7.4	6.3	5.2	4.1
	88"	7.4	6.3	5.2	4.1
	96"	7.4	6.3	5.2	4.1
	108"	7.4	6.3	5.2	4.1
72" C/C	84"	7.4	6.3	5.2	4.1
	88"	7.4	6.3	5.2	4.1
	96"	7.4	6.3	5.2	4.1
	108"	7.4	6.3	5.2	4.1

DREAMSPACE 3100
3.00" ENCLOSURE
LOADING CHARTS

Clear Feb. 2003
JOB NO.: DSS1100
BY: BJK

FILE NAME:
DSS1100_A-50
14 OF 20



THERMAL INDUSTRIES, INC.
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**SNOW & WIND
LOADING CHARTS**

LOAD BEARINGWALL - SECTION G

TABLE "A-50E"

50 PSF SNOW LOAD

CHARTS ARE FOR
ENHANCED HEADER

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
85 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
60" C/C	84"	---	---	---	---
	88"	10'-3"	9'-2"	8'-0"	6'-8"
	96"	16'-1"	15'-0"	13'-11"	12'-9"
	108"	16'-1"	15'-0"	13'-11"	12'-9"
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	10'-10"	9'-9"	8'-7"	7'-3"
	108"	8'-9"	7'-7"	6'-5"	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
90 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
60" C/C	84"	---	---	---	---
	88"	10'-3"	9'-2"	8'-0"	6'-8"
	96"	16'-1"	15'-0"	13'-11"	12'-9"
	108"	12'-11"	11'-11"	10'-9"	9'-7"
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	10'-10"	9'-9"	8'-7"	7'-3"
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
100 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	16'-8"	15'-7"	14'-6"	13'-4"
60" C/C	84"	---	---	---	---
	88"	10'-3"	9'-2"	8'-0"	6'-8"
	96"	14'-9"	13'-9"	12'-7"	11'-5"
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
110 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	19'-6"	19'-0"	18'-6"	18'-0"
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	19'-6"	19'-0"	18'-1"	16'-11"
	108"	7'-7"	6'-6"	---	---
60" C/C	84"	---	---	---	---
	88"	10'-3"	9'-2"	8'-0"	6'-8"
	96"	7'-7"	6'-6"	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
120 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	16'-7"	15'-6"	14'-5"	13'-4"
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	11'-9"	10'-8"	9'-6"	8'-3"
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	8'-1"	6'-11"	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
130 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	19'-6"	19'-0"	18'-6"	18'-0"
	108"	---	---	---	---
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	12'-10"	11'-9"	10'-8"	9'-5"
	96"	---	---	---	---
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
MAXIMUM ENCLOSURE PROJECTION					
140 MPH WIND					
36" C/C	84"	17'-5"	16'-4"	15'-3"	14'-1"
	88"	19'-6"	19'-0"	18'-6"	18'-0"
	96"	11'-3"	10'-2"	9'-1"	7'-10"
	108"	---	---	---	---
48" C/C	84"	9'-4"	8'-3"	7'-0"	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

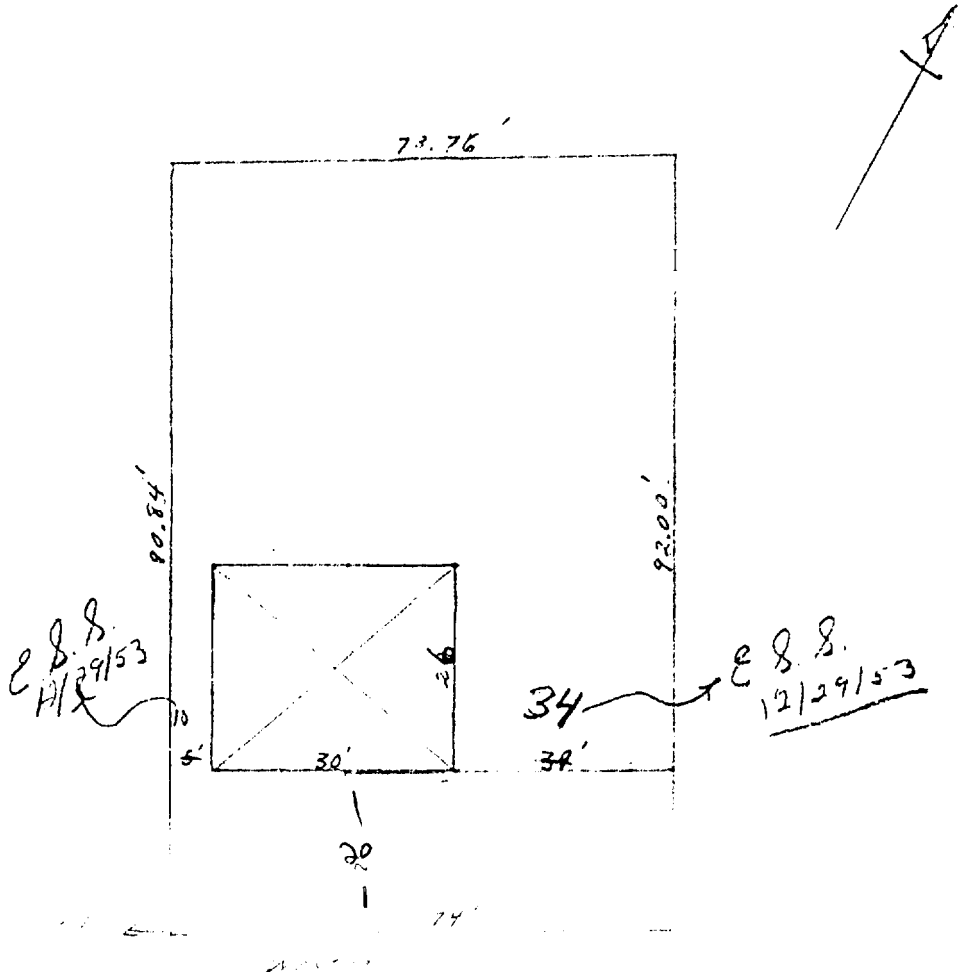
DONALD WEISEL, P.E.
AMBRIC TECHNOLOGY CORP.
432 NORTH SIXTH STREET
PHILADELPHIA, PA. 19123 215-594-9899

THERMAL INDUSTRIES, INC.
3700 HANEY • MURRYSVILLE • PENNSYLVANIA 15068
PHONE 724-733-3880 FAX 724-327-0317

DREAMSPACE
PATIO ENCLOSURES
Also, New, Better, Cheaper, Faster!

DREAMSPACE 3100
3.00" ENCLOSURE
LOADING CHARTS

Date: Feb. 2003
JOB NO.: DS3100
BY: BWK
FILE NAME:
DS3100_A-50
15 OF 20



1/1/53

y3

33

1/1/53

901330

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$55 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Thomas Seader Phone # 797-0870
 Address: 38 Westlawn Rd; Ptld, ME 04103
 LOCATION OF CONSTRUCTION 38 Westlawn Rd.
 Contractor: Westbrook Pool Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: 1-fam w ing pool
 Past Use: 1-fam
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Construct inground pool - 12'x24'

For Official Use Only

Date: 8/6/90 Subdivision: _____
 Name: _____
 Inside Fire Limits: _____ Lot: 406 0 1980
 Bldg Code: _____ Ownership: _____ Public _____ Private _____
 Time Limit: _____
 Estimated Cost: 6500 City Of Portland

Zoning: R-3
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) OK WPA 8-8-90

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation S-i _____
 5. Other _____

Floor:
 1. Sills S i _____ Sills must be anchored
 2. Girder Size: _____
 3. Lally Column Spacing: _____ s i c: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ S i _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fir Places _____

Heating:
 Type of Heat: _____

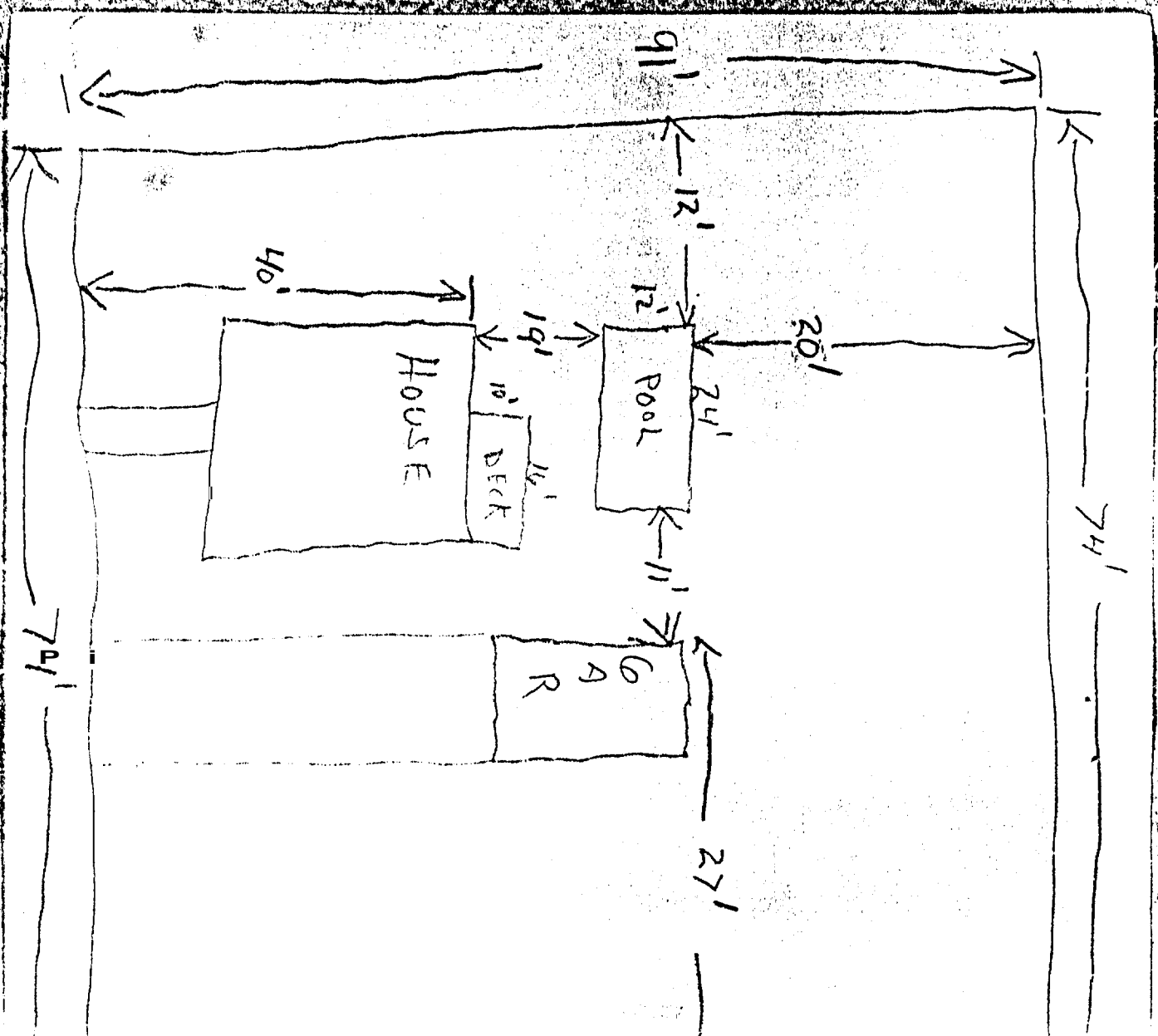
Electrical:
 Service Entrance S i: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ A _____ Square Footage _____
 3. Must conform to National Electrical Code sod State

Permit Received By Louise E. Chase
 Signature of Applicant Thomas Seader Date 8/6/90
 Signature of CEO _____ Date _____
 Inspection Dates _____

PERMIT ISSUED WITH LETTER



THOMAS +
 MILLER +
 LEADER
 38 WEST LAWN
 ROAD
 PORTLAND

900525

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$25. Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Thomas A. Seader Phone # 797-0870
 Address: 39 Westlawn Rd; Ptld. ME 04103
 LOCATION OF CONSTRUCTION: 39 Westlawn Rd.
 Contractor: _____ Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: \$1000. Proposed Use: 1-fam w deck
 Past Use: 1-fam
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: Construct a deck; 10'x16'

For Official Use Only PERMIT ISSUED
 Date: 6/14/90 Subdivision: _____
 Name: JUN 20 1990
 Inside Fire Limits: _____ Lot: _____
 Bldg Code: _____ Ownership: City of Portland
 Time Limit: _____
 Estimated Cost: \$1000.
 Zoning: R-1
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Brck _____ Side _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other: OK w/ H- 2-6-18-90

Foundation:
 1. Type of Soil: K
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Sue: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Sue _____ Span _____
 2. Sheathing Type _____ Sire _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____

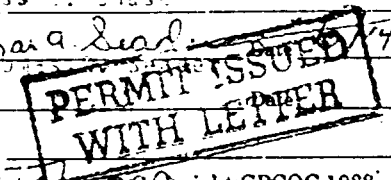
Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Shower: _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

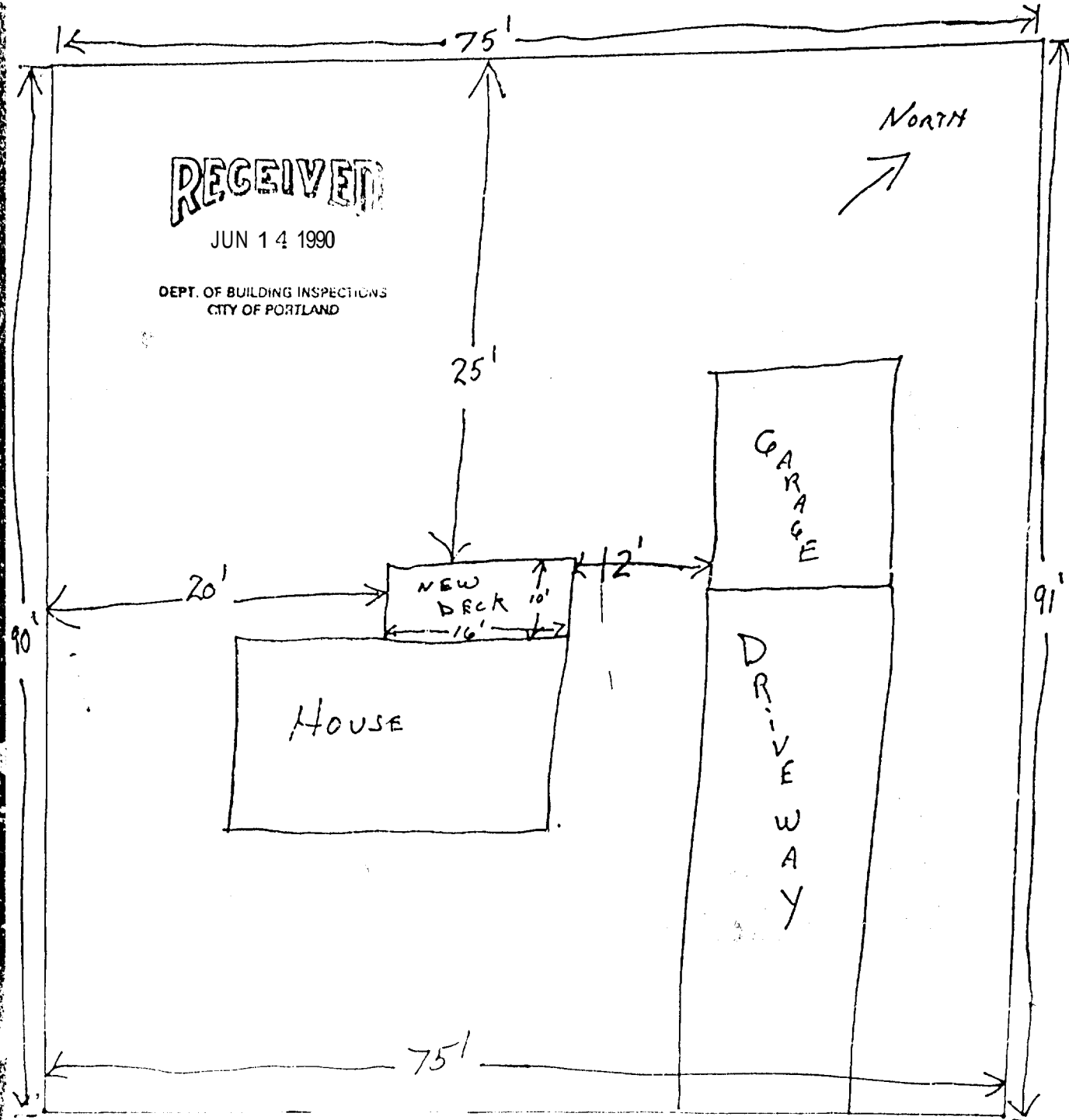
Permit Received By: Louiss T. Chase
 Signature of Applicant: Thomas A Seader 6/14/90
 Signature of CEO: _____
 Inspection Dates: _____



RECEIVED

JUN 14 1990

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



SIDEWALK

ESPAÑADE

38 WESTLAWN ROAD

THOMAS A. + MELISSA A. SEADER
6/14/90

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~X~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

~~X~~ [Signature]
Signature of Applicant/Designee

8-3-06
Date

Signature of Inspections Official

Date

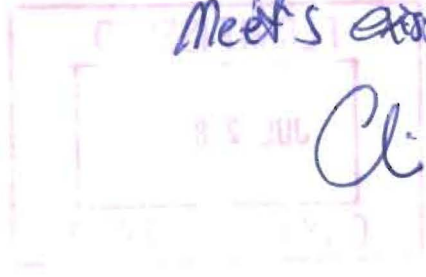
CBL: 338 M 006

Building Permit #: 06-0810

District #5
received by mail



9/27/06
CKD Location + depth of Sonotubes G.K. to pass
Meets ~~exactly~~ Setback's



Cl. A.