

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 050920  
JUL 12 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Paul Callahan/Ed Turner

has permission to Rebuild rear 6' x 9' deck, re-use the existing stairs

AT 45 Newton St

338 H005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Deanne Bourke* 7/12/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0935	Issue Date: 07/12/2005	CBL: 338 H005001
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Location of Construction: 45 Newton St	Owner Name: Paul Callahan	Owner Address: 45 Newton St	Phone: 329-3942
Business Name:	Contractor Name: Ed Turner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:		

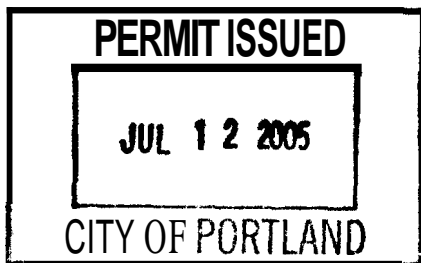
Current Use: Single Family	Proposed Use: Single Family w/rebuild of the rear deck, re-using stairs	Permit Fee: \$30.00	Cost of Work: \$500.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B	

Proposed Project Description: Rebuild rear 6' x 9' deck, re-use the existing stairs	Signature:	Signature: JMB 7/12/05
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: jmb	Date Applied For: 0711212005	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan <i>OK</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>JMB 7/12/05</i>	Date:	Date: <i>JMB</i>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0935	Date Applied For: 07/12/2005	CBL: 338 H005001
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Location of Construction: 45 Newton St	Owner Name: Paul Callahan	Owner Address: 45 Newton St	Phone: ( ) 329-3942
Business Name:	Contractor Name: Ed Turner	Contractor Address: Portland	Phone:

Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings
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Proposed Use: Single Family w/rebuild of the rear deck, re-using stairs	(Proposed Project Description): Rebuild rear 6' x 9' deck, re-use the existing stairs
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Dept: Zoning      Status: Approved      Reviewer: Jeanine Bourke      Approval Date: 07/12/2005  
 Note:      Ok to Issue:

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 07/12/2005  
 Note:      Ok to Issue:

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on **any** property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>45 Newton</u>		
Total Square Footage of Proposed Structure <u>45 SF</u>	Square Footage of Lot <u>6000</u>	
<input checked="" type="checkbox"/> Tax Assessor's Chart, Block & Lot Chart# <u>338</u> Block# <u>H</u> Lot# <u>5-6</u>	Owner: <u>Paul Callahan</u>	Telephone: <u>829-3942</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	cost Of Work: \$ <u>400.00</u> Fee: \$ <u>30.00</u>
Current use: <u>Single Family</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>remove old porch new same footprint</u> Project description: _____		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Ed Turner</u> Mailing address: _____ We will contact you by phone when the permit is ready, You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>838-3441</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: <u>7-11-05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	338 H005001
Location	45 NEWTON ST
Land Use	SINGLE FAMILY
Owner Address	<i>Paul Calahan</i> <del>WARD EILEEN HEIRS</del> 45 NEWTON ST PORTLAND NE 04403
Book/Page	
Legal	338-H-5-6 NEWTON ST 45  6000 SF

*7/12 130 ED*

**Current Valuation Information**

Land	Building	Total
\$31,400	\$46,720	\$78,120

*#935*

**New Estimated Valuation Information**

Land	Building	Total	Phase-In Value
\$60,100	\$70,800	\$1307900	\$104,510

**Property Information**

Year Built	Style	Story Height	Sq. Ft	Total Acres	
1931	Old Style	1.5	945	0.138	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	4		6	None	Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1931	13X18	D	P

**Sales Information**

Date	Type	Price	Book/Page
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**Picture and Sketch**

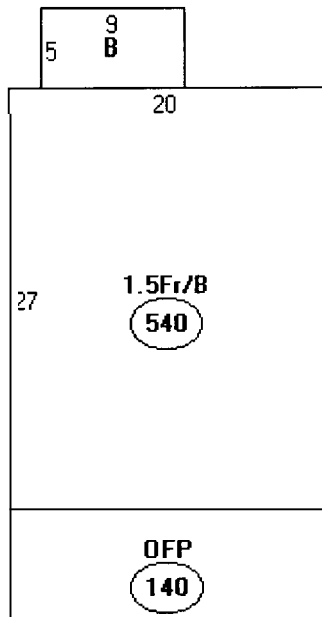
Picture	Sketch	Tax Map
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[Click here](#) to view comparable sales or below to view by:



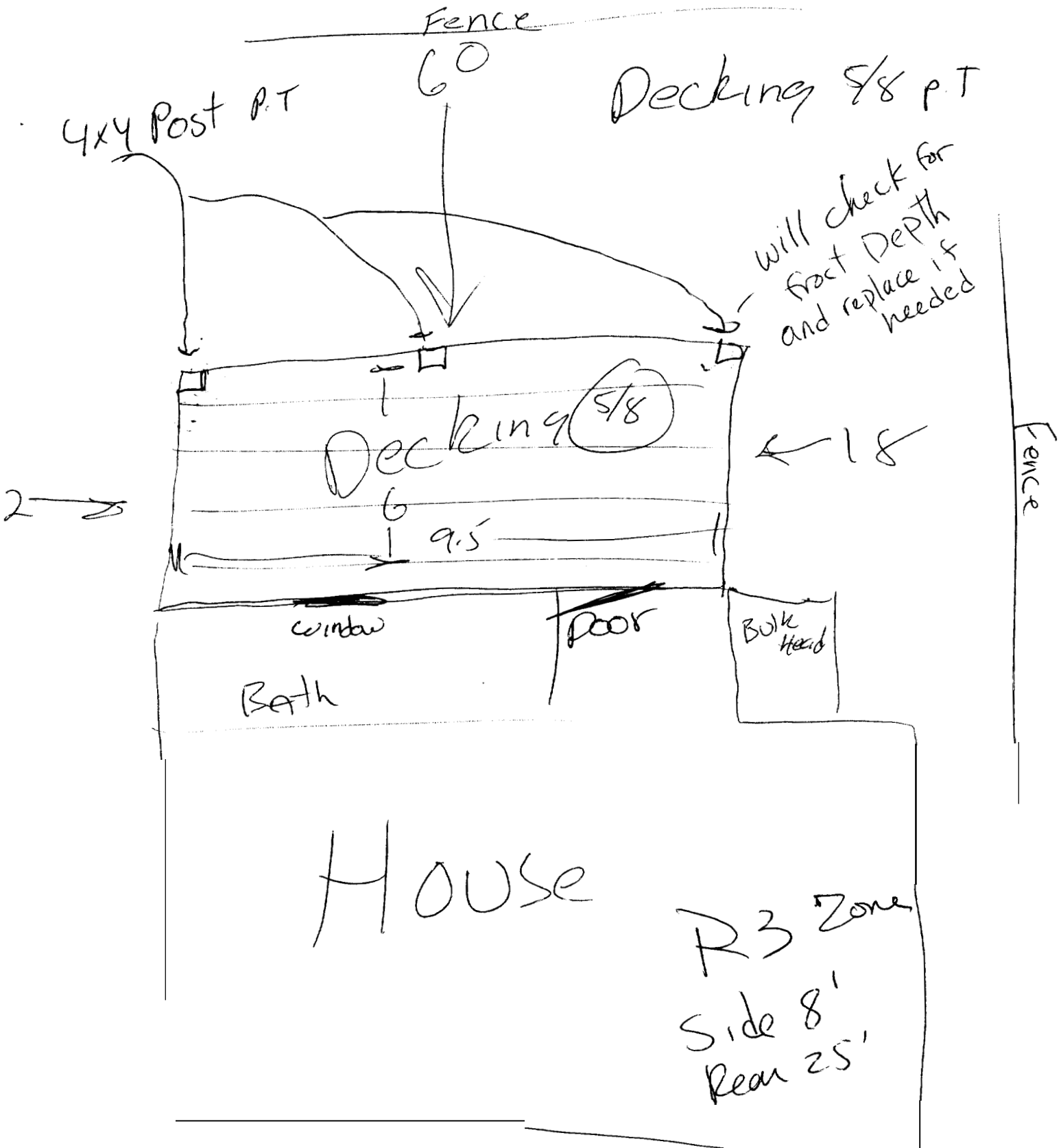


Descriptor/Area

A: 1.5Fr/B  
540 sqft

E: EP  
45 sqft

C: OFF  
140 sqft



Fence

4x4 Post P.T

60

Decking 5/8 P.T

will check for frost depth and replace if needed

Decking (5/8)

← 18

2 →

6  
9.5

Window

Door

Bulk Head

Bath

House

R3 Zone

Side 8'  
Rear 25'

Fence

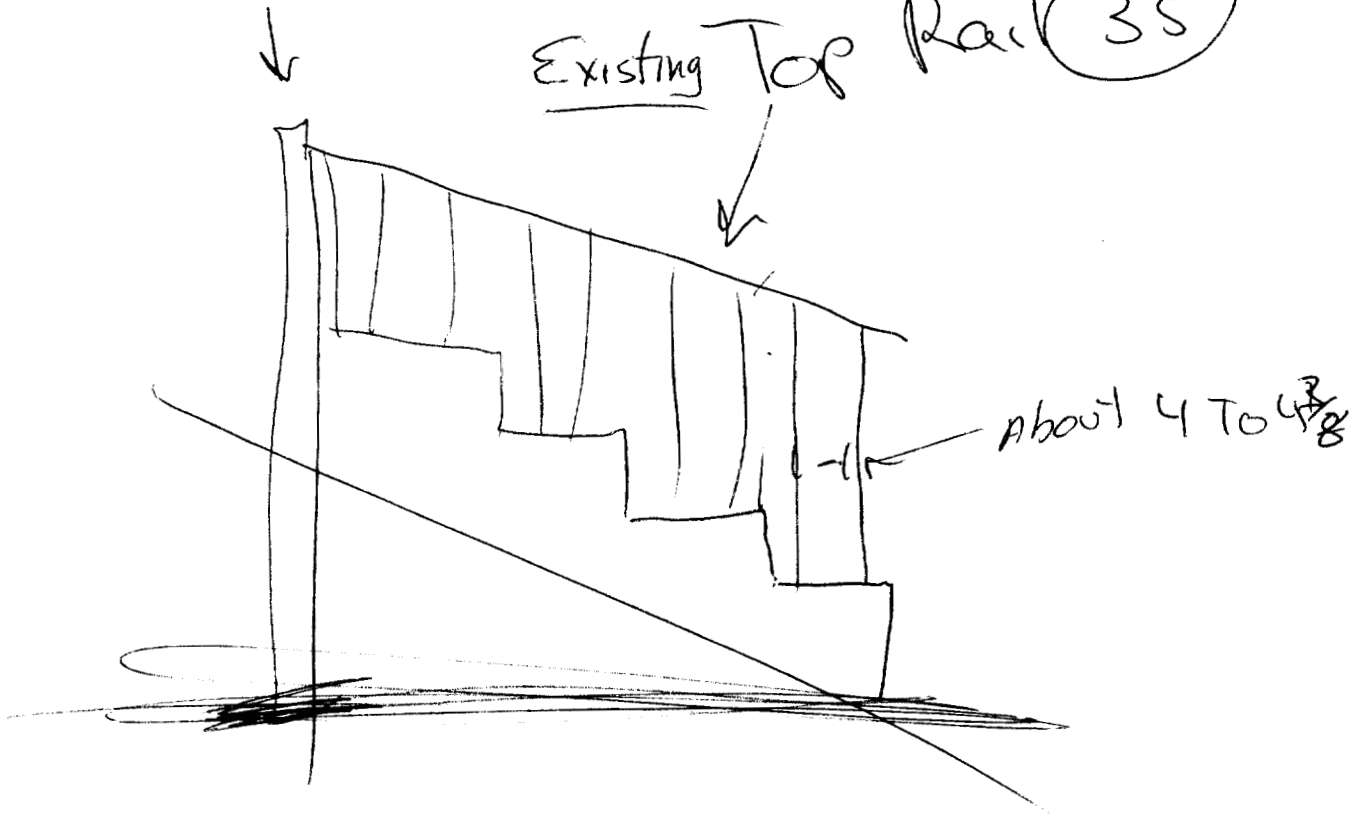


~~4x4~~

4x4 Post P.T

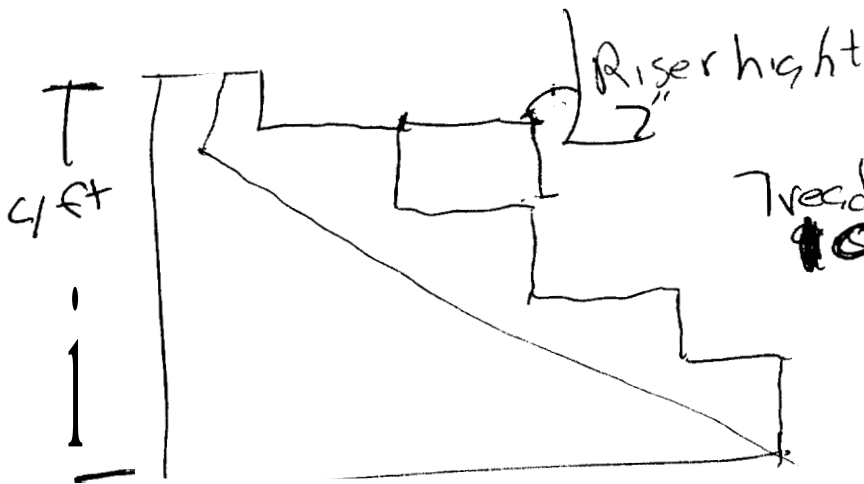
2x4 Rail P.T

Existing Top Rail (35)

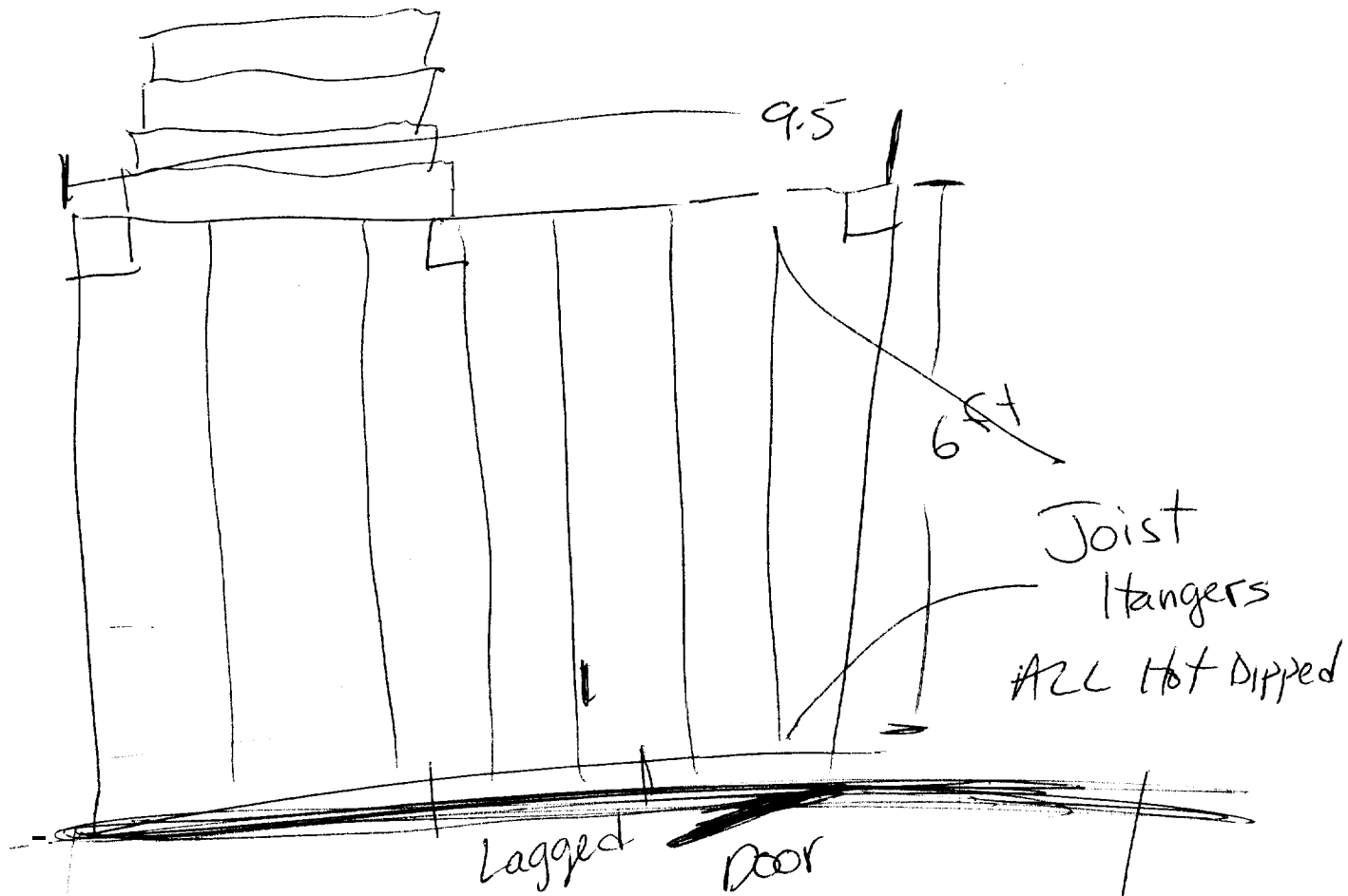


Stairs P.T

reuse-existing stairs & Railing



Tread depth measured to leading edge.

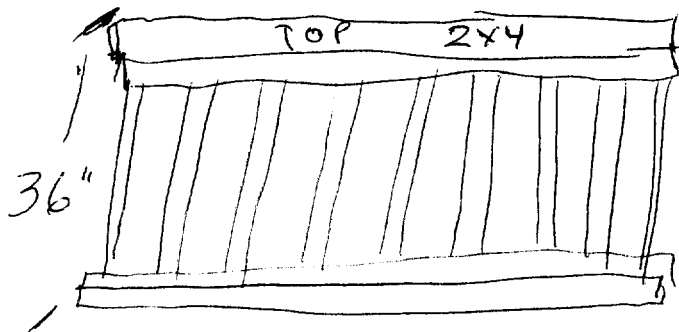


P.T Deck 5/8

P.T Deck Framing 2x6 w/ 2-2x6 Beam/Rim

P.T Corner Post 4x4 on old Footprint Block

# HOUSE



Hand Rail  
3 to 4" Gap

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ~~Final/Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of Applicant/Designee

Date

7/12/05

[Signature]  
Signature of Inspections Official

Date

CBL: 338-14-5

Building Permit #: 05-0935

MAINE REVENUE SERVICES  
REAL ESTATE TRANSFER  
TAX DECLARATION



TITLE 36, M.R.S.A. SECTIONS 4641 - 4641N

COUNTY

CALLAHAN, Paul

007-60-4608

3. NUMBER AND STREET

CITY OR TOWN

STATE AND ZIP CODE

99 Winding Way

South Portland

ME 04106

GRANTOR (SELLER)

4. IDENTITY: NAME(S) - LAST, FIRST, INITIAL OR CORPORATE NAME(S)

ENTER SSN OR FED ID HERE

BAKER, Valora A. - Personal Representative, Estate of Eileen V. Ward

006-12-6478

5. NUMBER AND STREET

CITY OR TOWN

STATE AND ZIP CODE

P. O. Box 1067

Rangeley

ME 04970

PROPERTY

6. TAX MAP & LOT NUMBER or physical description

Map 338, Block E, Lot 5

WARNING TO BUYER!  
If the property is classified as Farmland, Open Space or Tree Growth, a substantial financial penalty could be triggered by Development, subdivision, partition or change in use.

7. DATE OF TRANSFER

MO DAY YEAR  
05 26 05

Classified  Not Classified

CONSIDERATION

a. Tax will be collected at the registry when the deed is recorded. The tax rate is \$2.20 per \$500, or fractional part thereof, of consideration or value. The tax is equally divided between the buyer and the seller. See reverse for instructions.

FAIR MARKET VALUE \$ 75,000.00

CONSIDERATION \$ 75,000.00  
(ACTUAL PRICE PAID OR REQUIRED TO BE PAID)

EXEMPTION

9. If one or more parties are exempt from the real estate transfer tax, please explain the basis for exemption pursuant to Title 36, M.R.S.A. Section 4641-C. Complete only if the transfer is claimed to be fully or partially exempt.

GRANTEE Reason  
 GRANTOR Reason

SPECIAL CIRCUMSTANCES

10. Were there any special circumstances in the transfer which suggests that the price of the property was either more or less than its fair market value? (IF YES, PLEASE EXPLAIN)

NO  YES

INCOME TAX WITHHELD

11.  Buyer(s) certify that they have withheld Maine income tax from the purchase price as required by § 5250-A and will remit to Maine Revenue Services within 30 days after date of transfer.

Buyer(s) not required to withhold Maine income tax because:

Seller has qualified as a Maine resident  
 A waiver has been received from the State Tax Assessor  
 Consideration for the property is less than \$50,000  
 Foreclosure sale: exempt per 36 MRSA §5250-A, sub 3-A

OATH

12. Aware of penalties as set forth by Title 36, Section 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete.

GRANTEE(S) or AUTHORIZED AGENT DATE GRANTEE(S) or AUTHORIZED AGENT DATE  
Paul Callahan 5/25/05 Valora A Baker 5/26/05  
05/26/05 Personal Representative 05/26/05

PREPARER

13. Name, address and phone number of person or firm preparing this form:

Warren M. Turner, Esq.  
P. O. Box 255, Yarmouth, ME 04096  
(207) 846-9041

***Schedule A*****Estate of Eileen V. Ward to Callahan**

**A certain lot or parcel of land with the buildings thereon, situated on the southerly side of Newton Street, in the City of Portland, County of Cumberland, and State of ~~Maine~~, and being Lots Numbered thirty-three (33) and thirty-four (34) as shown on a plan of Harris Farms, made by C.E. Jordan & Co., C. E., dated June 5, 1919, and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19.**

**Said lots are each thirty (30) feet in width and one hundred (100) feet in depth and each lot contains three thousand (3,000) square feet, more or less.**

**Together with *the* fee of land in said Newton Street in front of and adjoining all of said lots and extending from the street line to the middle of said street, subject to the rights of other lot owners and the public to the use thereof as a street.**

**Being the same premises conveyed to Eileen Ward by trustee's deed from Gerald S. Cope, Trustee of the Estate of John D. and Joan E. Rigazio dated April 10, 1974 and recorded in the Cumberland County Registry of Deeds in Book 3539, Page 77. Reference is made to Cumberland County Probate Court docket No. 2005-0751.**

814-211-  
JENNIE-

**DEED OF SALE BY PERSONAL REPRESENTATIVE**  
(Intestate)

Know All Persons by these Presents,

That I, *Valora A. Baker*, of Rangleley, County of Franklin, State of Maine, duly appointed and acting Personal Representative of the *Estate of Eileen V. Ward*, deceased (intestate), as shown by the probate records of the County of Cumberland, Maine, (Docket No. 2005-0751) and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, for consideration paid, grants to *Paul R. Callahan* of South Portland, County of Cumberland, State of Maine, whose mailing address is 99 Winding Way, South Portland, ME 04106, the real property in Portland, County of Cumberland, and State of Maine, described in the attached Schedule A.


Witness my hand and seal this 26<sup>th</sup> day of May, 2005.

Signed, Sealed and Delivered  
in presence of

Estate of Eileen V. Ward



Witness

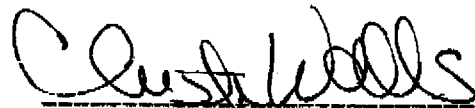
By:   
Valora A. Baker *personal*  
Personal Representative *representative*

STATE OF MAINE  
Cumberland, ss.

May 26, 2005

Then personally appeared the above named Valora A. Baker in her said capacity and acknowledged the foregoing instrument to be her free act and deed.

Before me,



Notary Public

*Christine Walls*

C:\Main\CLIENTS\MISC.CLIENTS\Ward Estate-Callahan.Deed2.doc

**Christine C. Walls**  
**NOTARY PUBLIC**  
State of Maine  
My Commission Expires 7/1/10