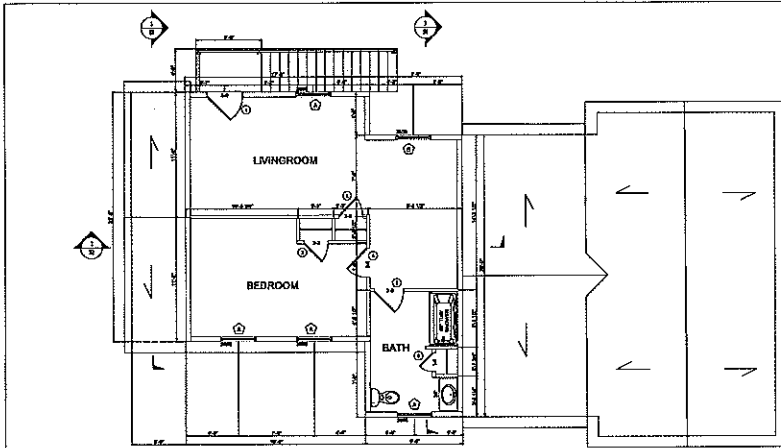


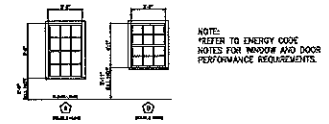


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 Approved with Conditions

11/21/2018



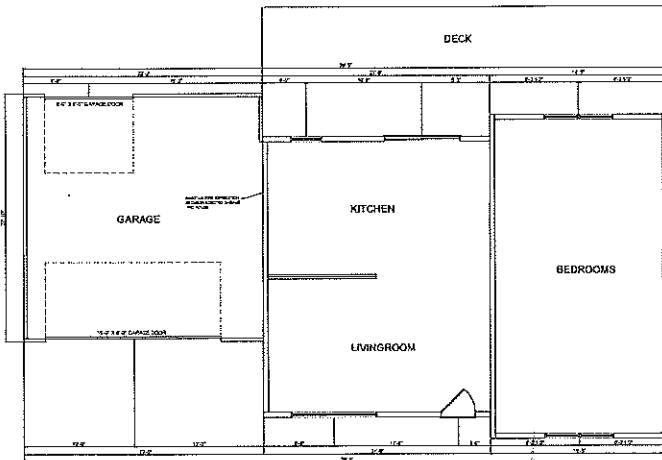
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NOTE:
 REFER TO ENERGY CODE
 NOTES FOR WINDOW AND DOOR
 PERFORMANCE REQUIREMENTS.

WINDOW SCHEDULE				
LETTER	QTY	FLOOR	DESCRIPTION	CLEAR OPENING
A	4	2	WHD DOUBLE HANG	34-1/2" W x 34-1/2" HGT.
B	1	2	3RD DOUBLE HANG	24-3/4" W x 12-1/2" HGT.

DOOR SCHEDULE				
NUMBER	QTY	FLOOR	DESCRIPTION	CODE
1	1	2	EXTERIOR	2-0 x 8-0
2	1	2	INTERIOR	2-0 x 8-0
3	1	2	INTERIOR	2-0 x 8-0
4	1	2	INTERIOR	2-4 x 8-0
5	1	2	INTERIOR	2-4 x 8-0
6	1	2	INTERIOR	1-0 x 8-0



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ISSUED FOR PERMIT ONLY
 NOT FOR CONSTRUCTION
 3/23/17

See Attach to the permit for details regarding this project.

WAGLEOD
 275 Park Street, 3rd
 Portland, ME 04103
 SECOND FLOOR ADDITION
 11/21/2018



△ =

△ =

TITLE: FLOOR PLAN
 DATE: 11/21/18 Sheet 01 of 01
 SCALE: 1/4" = 1'-0" (SEE ATTACHED)

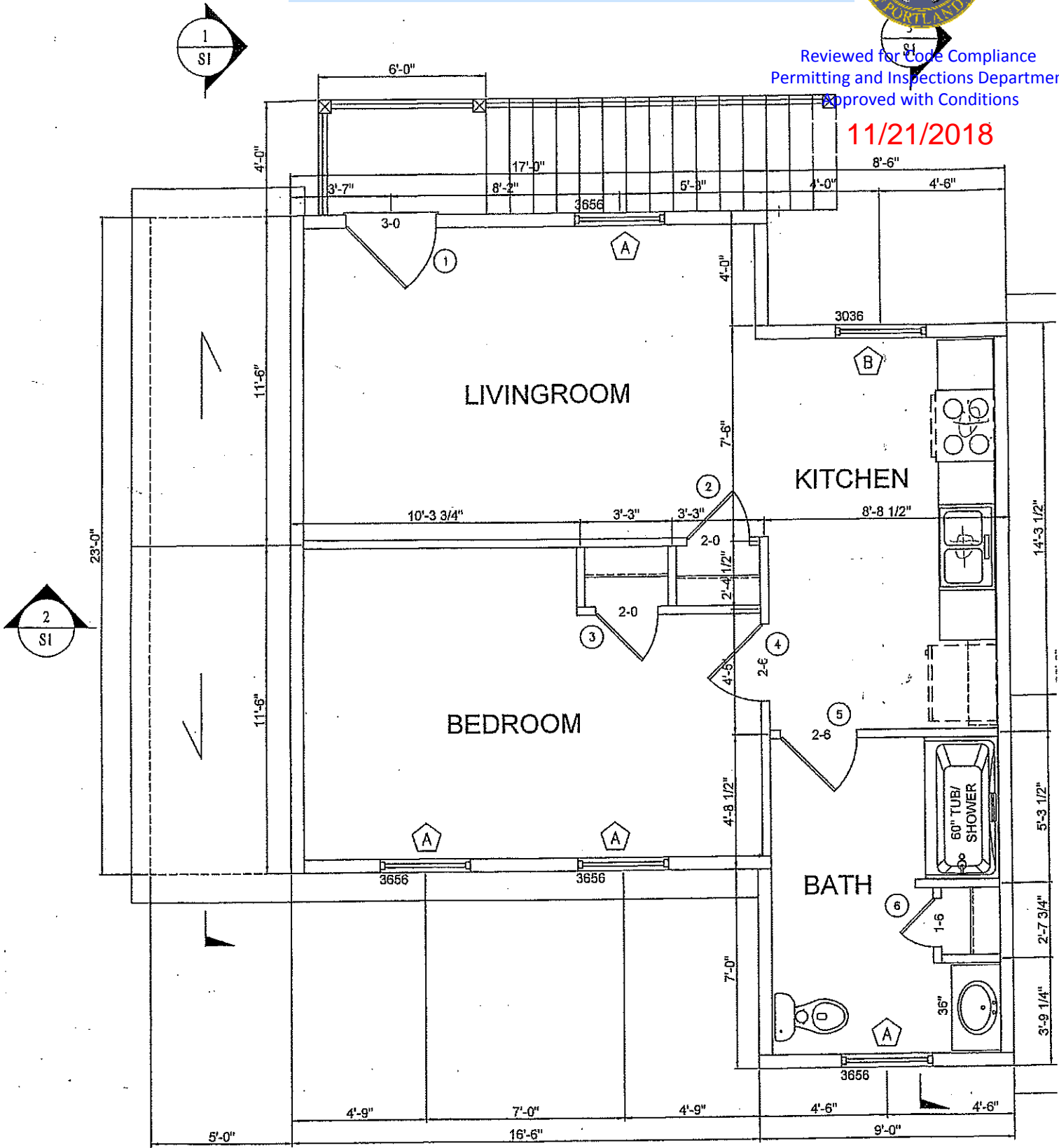
Proposed

The addition of the new dwelling unit requires that the entire building be sprinkled. Please note on the drawing that an NFPA-13D system will be installed throughout.



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Permitting and Inspections Department
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11/21/2018



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
11/21/2018

21 STUART STREET Portland, Maine



PLOT PLAN

PROJECT DIRECTORY

OWNER:

TIM BELLANCENU

DESIGN PROFESSIONAL:

MACLEOD STRUCTURAL ENGINEERS, PA
90 BRIDGE STREET
WESTBROOK, MAINE 04092
TEL. 207-839-0980

GENERAL CONTRACTOR:

CHRISTIAN DARLING, BUILDER
PORTLAND, MAINE
TEL. 207-409-7048

PROJECT DESCRIPTION:

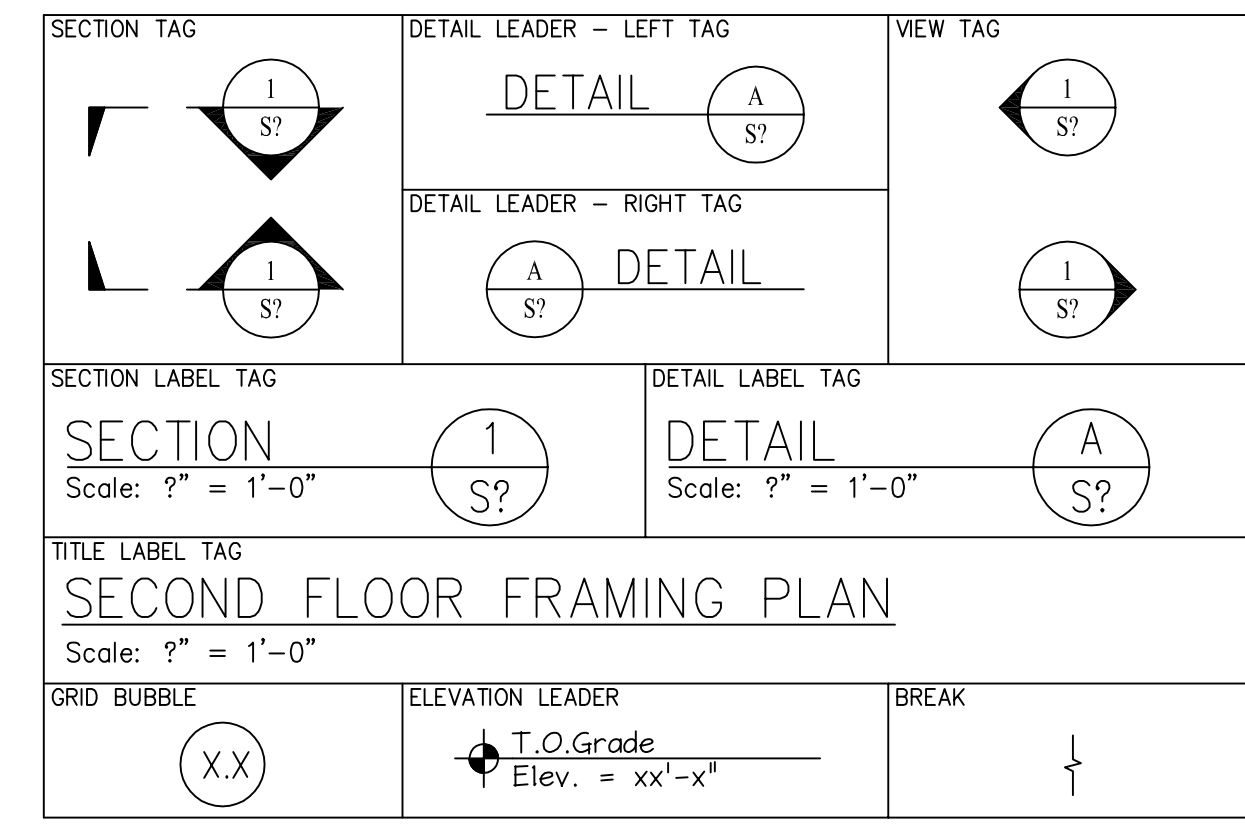
- THIS PROJECT CONSISTS OF -
1. ADDING A SECOND FLOOR IN-LAW APARTMENT OVER THE EXISTING GARAGE AND KITCHEN/ LIVING ROOM OF THE HOUSE.
- THE FOOTPRINT OF THE BUILDING IS UNCHANGED
- EXISTING COMPONENTS TO REMAIN EXCEPT AS NOTED HEREIN

SYMBOLS

- 102 ROOM NUMBER/NAME
- 2 DOOR NUMBER
- 2 WINDOW NUMBER
- 2 REVISION NUMBER
- 2 WALL TYPE

MATERIALS

- EARTH
- CONCRETE
- BRICK
- WOOD
- BATT INSULATION
- RIGID INSULATION



GENERAL NOTES:

- THIS PLAN IS DESIGNED TO COMPLY WITH MAINE BUILDING AND ENERGY CODE, 2009 IRC, AND 2009 IECC
- ALL OTHER CODES SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR
- ALL MECHANICAL/PLUMBING/ELEVATRICAL DESIGN BY OTHERS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK

ENERGY CODE STANDARDS: ZONE 6

- FENESTRATIONS -Windows u-0.35, shg-0.38
-Doors u-0.25
- ROOF -R49 (R30 at Sloping Ceiling Areas)
- EXTERIOR WALLS -R20 (at New Construction)
- BASEMENT CONC. WALLS (Exist to Remain)

ENERGY CODE NOTES:

- ALL JOINTS AND PENETRATIONS SHALL BE CAULKED, GASKETED, OR COVERED WITH MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL
- COMPONENT R-VALUES & U-FACTORS SHALL BE LABELED AS CERTIFIED.
- INSULATION SHALL BE INSTALLED ACCORDING TO MFRS. INSTRUCTIONS, AND IN A MANNER THAT ACHIEVES THE REQ'D R-VALUE
- STAIR, ELEVATOR SHAFT VENTS, AND OTHER OUTDOOR INTAKE AND EXHAUST OPENINGS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS.
- RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE TYPE IC RATED AS MEETING ASTM E283, AND SEALED OR CAULKED.

CODE REVIEW NFPA 101
Chapter 24 One and Two Family Dwellings
24.2 Means of Egress - One primary means of egress and one secondary means of escape is required from every sleeping room and every living area. This design meets this requirement
24.2.5 Stairs - min. width =36in,
24.2.6 Hallways - min. width 36in
24.2.7 Bulkheads - shall provide direct access to the basement, are exempt from requirements of 24.2.5.1
24.3.4.1 Smoke alarms shall be provided in each sleeping room, outside each separate sleeping area in the immediate vicinity, and on each additional level including attic and basement, and shall be interconnect per this code
24.3.5.2 Sprinkler system is required per NFPA 13D

Single Family Residence Code Review

21 STUART STREET
PORTLAND, MAINE

CODE REVIEW: IRC2009

CH3
SECT 301 DESIGN CRITERIA
Design Wind speed = 100mph, therefore design per IRC
Design Snow, Pg= 60psf, therefore design per IRC
For additional structural design criteria, refer to Structural notes.

SECT 302 FIRE RESISTANT CONSTRUCTION
R302.1 Exterior Walls shall comply with Table R302.1
Not within 5ft of property line.
R302.7 Under stair protection is required for accessible spaces below stairs
R302.9 Wall and ceiling finishes shall meet flame spread <200 and smoke index <450.
R302.10 Insulation materials including vapor barriers shall meet flame spread <25 and smoke index <450 except as otherwise provided in this section
R302.11 Fireblocking is required at floors and ceilings, top and bottom of stair runs, and openings at vents, pipes, ducts, cables and wires with materials approved in this code
R302.12 Draftstopping at floor/ceilings is not required for this project
R302.13 Recessed lights, fans, etc shall be installed per this section
R303 LIGHT VENTILATION AND HEATING
R303.1 Habitable rooms shall have glazing >8 % of floor area, with 4% operable
R303.3 Bathrooms, min. glazing area of 3 sq. ft. with half operable
R303.6 Stairways shall have artificial illumination per this section
R303.8 Heating shall be provided per the requirements of this code

R304 MINIMUM ROOM AREA requirements have been met in these plans
R305 CEILING HEIGHT min. of 7ft has been met
R306 SANITATION requirements have been met
R307 TOILET, BATH AND SHOWER SPACES comply with this section
R308 GLAZING shall comply with the requirements of this section
R310 EMERGENCY ESCAPE is required from the basement and sleeping rooms - Complies.
R311 MEANS OF EGRESS each unit in these plans has one egress in compliance with this section
R311.6 Hallways are > 36 in. wide
R311.7 Stairways, handrails, rise and run, nosings, headroom, etc are in compliance with this code refer to stairway sections and details within (these are existing)
R313 AUTOMATIC SPRINKLER SYSTEMS R313.2, new two family dwellings shall have an automatic sprinkler system complying with NFPA13D
R314 SMOKE ALARMS shall be provided in each sleeping room, outside each separate sleeping area in the immediate vicinity, and on each additional level including attic and basement, and shall be interconnect per this code
R315 CARBON MONOXIDE ALARMS shall be provided in the immediate vicinity outside sleeping areas

CHAPTER 6 WALL CONSTRUCTION

602.10.1 Braced Wall Panels
Mixed wall types are used
First Floor Walls are Existing

CHAPTER 11 ENERGY EFFICIENCY

Table N1101.2 Climate zone 6A
Windows, U= 0.35, SHGC = NR
Doors, U = 0.35
Glazed Fenestrations, U = 0.35, SHGC = NR
Attic, R= 49 (R30 if uncompressed over exterior walls and at Sloped Ceilings)
Exterior walls, R=20

RESIDENTIAL SPECIFICATIONS:

FLOOR SYSTEM:
14" ENGINEERED JOIST @ 16"o.c.
2x8 SPF #1/2 JOIST @ 12"o.c.
SHEATHING AS INDICATED (3/4")

EXTERIOR WALLS:
2x6 Studs as Indicated (16"oc)
Sheathing as Indicated (7/16")
Air Infiltration Wrap
Siding/Finish as Indicated

INTERIOR WALLS:
2x4 Studs @ 16"oc
1/2" Gypboard as Indicated

ROOF SYSTEM:
Rafters/Trusses as Indicated
Sheathing as Indicated (5/8")
15# Underlayment
Ice & Water Shield at Eaves/Valleys
235# Asphalt Shingles as Indicated

INSULATION:
Exterior Walls R-20
Attic Cap R-49
Sills -Existing

VENTILATION:
Soffit - 2"Contin. Strip
Ridges - Contin. Shingle
Circulation Vents Between Rafters/Trusses

BEAMS/HEADERS:
(3)2x6 Max. 40" Span
(3)2x10s Max 76" Span
Min. 4" Bearing all Beams

INTERIOR FINISHES:
1/2" Gypboard or As Indicated
At Walls/Ceilings
Flooring As Indicated
Paint/Stain As Indicated

Note: Items not Indicated Shall be Per Contract

DRAWING LIST:

- A0.0 COVER SHEET
- A-1 FLOOR PLANS
- A-2 ELEVATIONS
- A-3 FRAMING PLANS
- S-1 SECTIONS & NOTES

ISSUED 11/15/18

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Use of these drawings by others without written consent is prohibited.

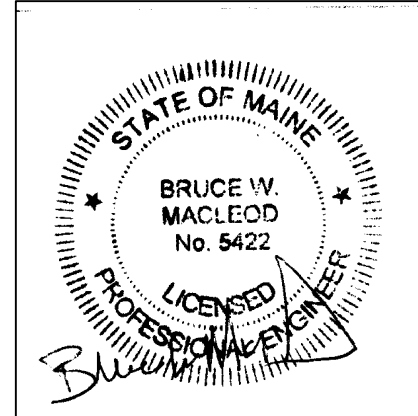
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STRUCTURAL ENGINEERS, PA
90 Bridge Street Suite 252
Westbrook, Maine 04092 207.839.0980

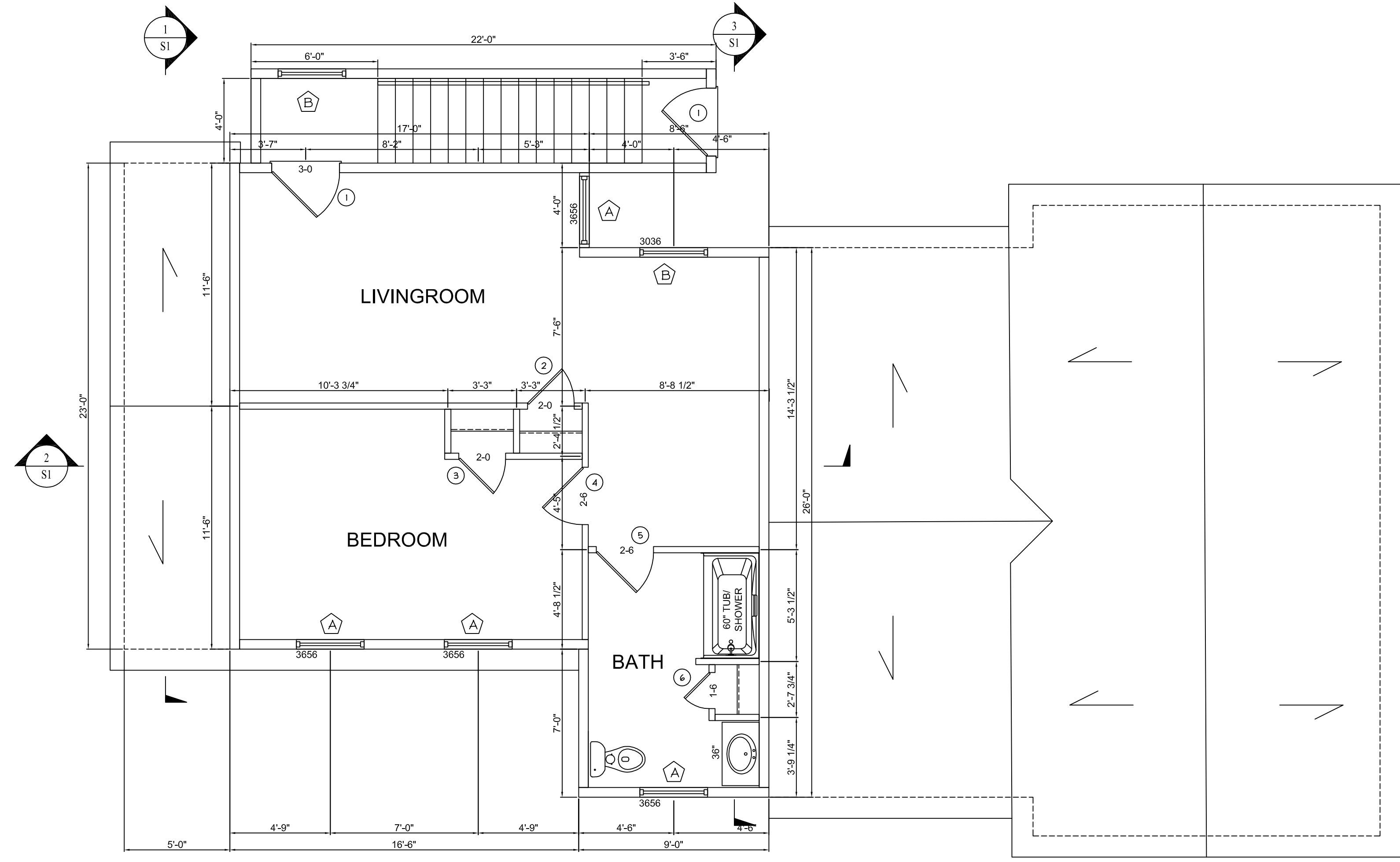
SECOND FLOOR ADDITION
21 STUART STREET
PORTLAND, MAINE

TITLE:
COVER SHEET

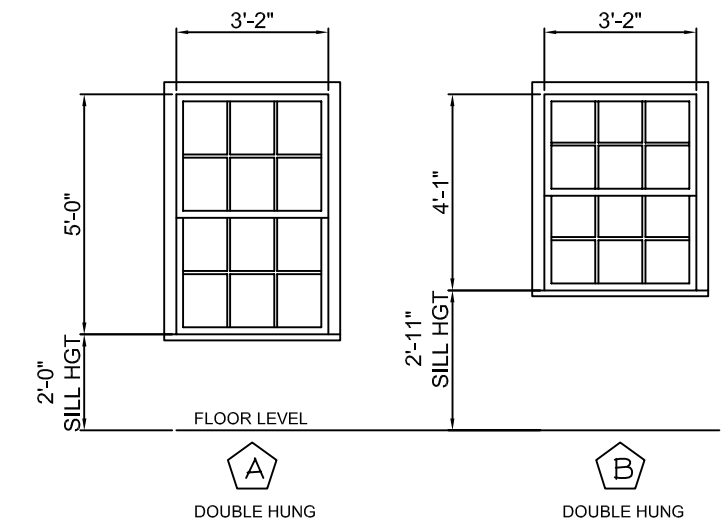
DATE: 04.25.17	DRAWN BY: JLL	DRAWING NUMBER: A-0.0
SCALE: as noted	PROJ NO: 2017-037	

- -
 -
- 11/15/18 Enclose Stairway





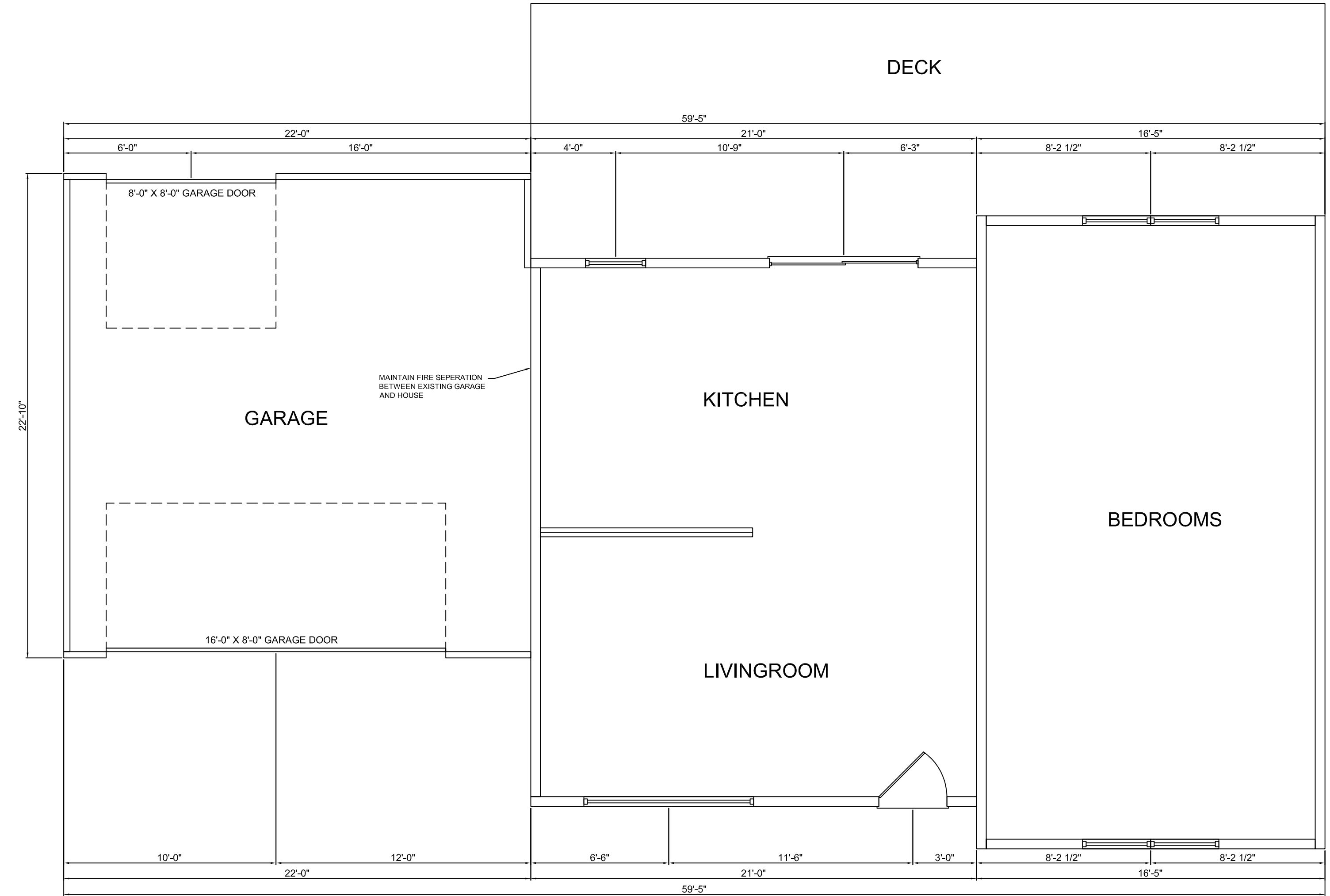
PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NOTE:
 *REFER TO ENERGY CODE
 NOTES FOR WINDOW AND
 DOOR PERFORMANCE
 REQUIREMENTS.

WINDOW SCHEDULE				
LETTER	QTY	FLOOR	DESCRIPTION	CLEAR OPENING
A	4	2	4060 DOUBLE HUNG	34-5/8" W x 24-1/2" HGT.
B	1	2	3036 DOUBLE HUNG	24-5/8" W x 12-1/2" HGT.

DOOR SCHEDULE				
NUMBER	QTY	FLOOR	DESCRIPTION	CODE
1	1	2	EXTERIOR	3-0 x 6-8
2	1	2	INTERIOR	2-0 x 6-8
3	1	2	INTERIOR	2-0 x 6-8
4	1	2	INTERIOR	2-6 x 6-8
5	1	2	INTERIOR	2-6 x 6-8
6	1	2	INTERIOR	1-6 x 6-8



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ISSUED 11/15/18

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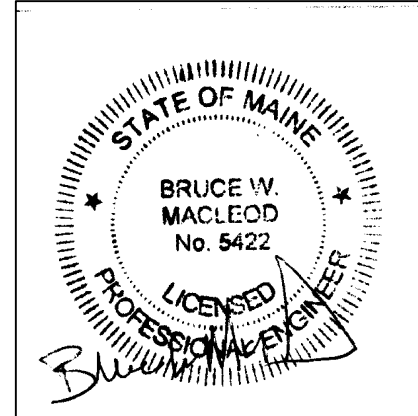
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 80 Bridge Street Suite 252
 Westbrook, Maine 04092 207.639.0980

SECOND FLOOR ADDITION
 21 STUART STREET
 PORTLAND, MAINE

TITLE: **FLOOR PLAN**

DATE: 04.25.17 DRAWN BY: JLL DRAWING NUMBER:
 SCALE: as noted PROJ NO: 2017-037 A-1

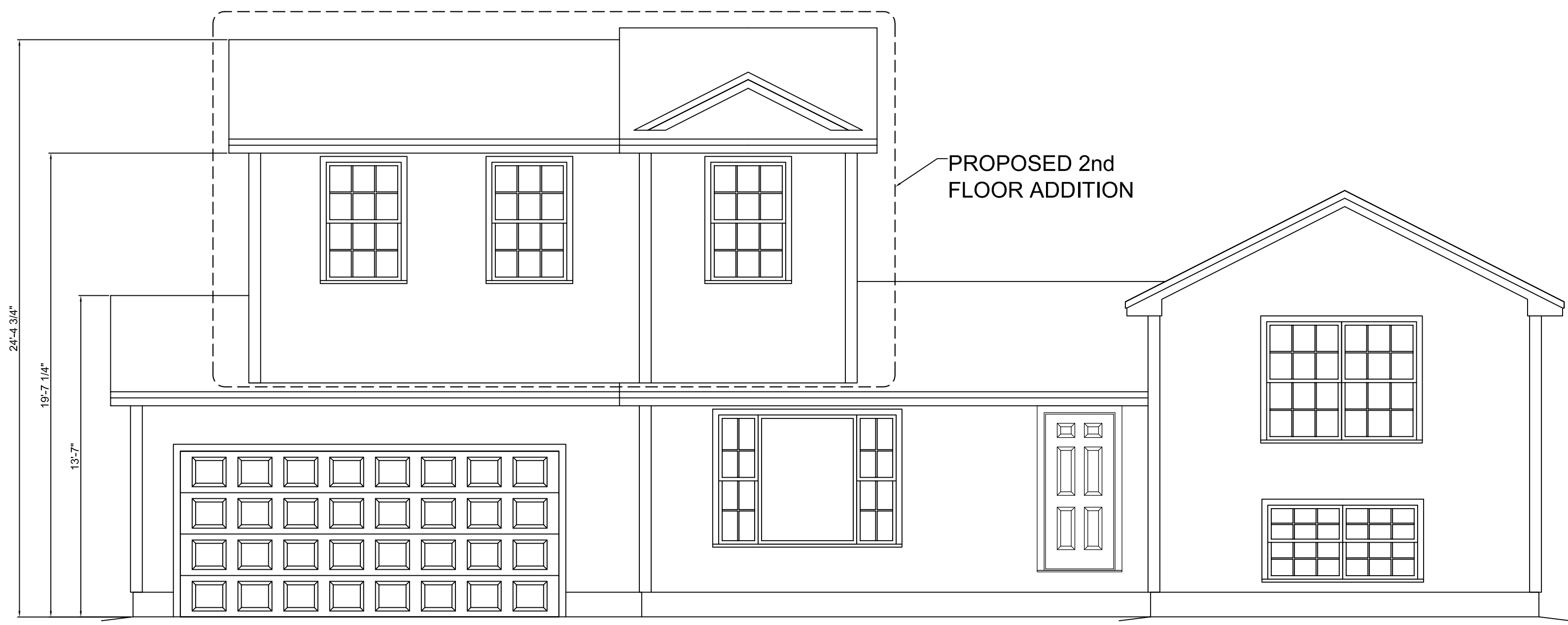
11/15/18 Enclose Stairway





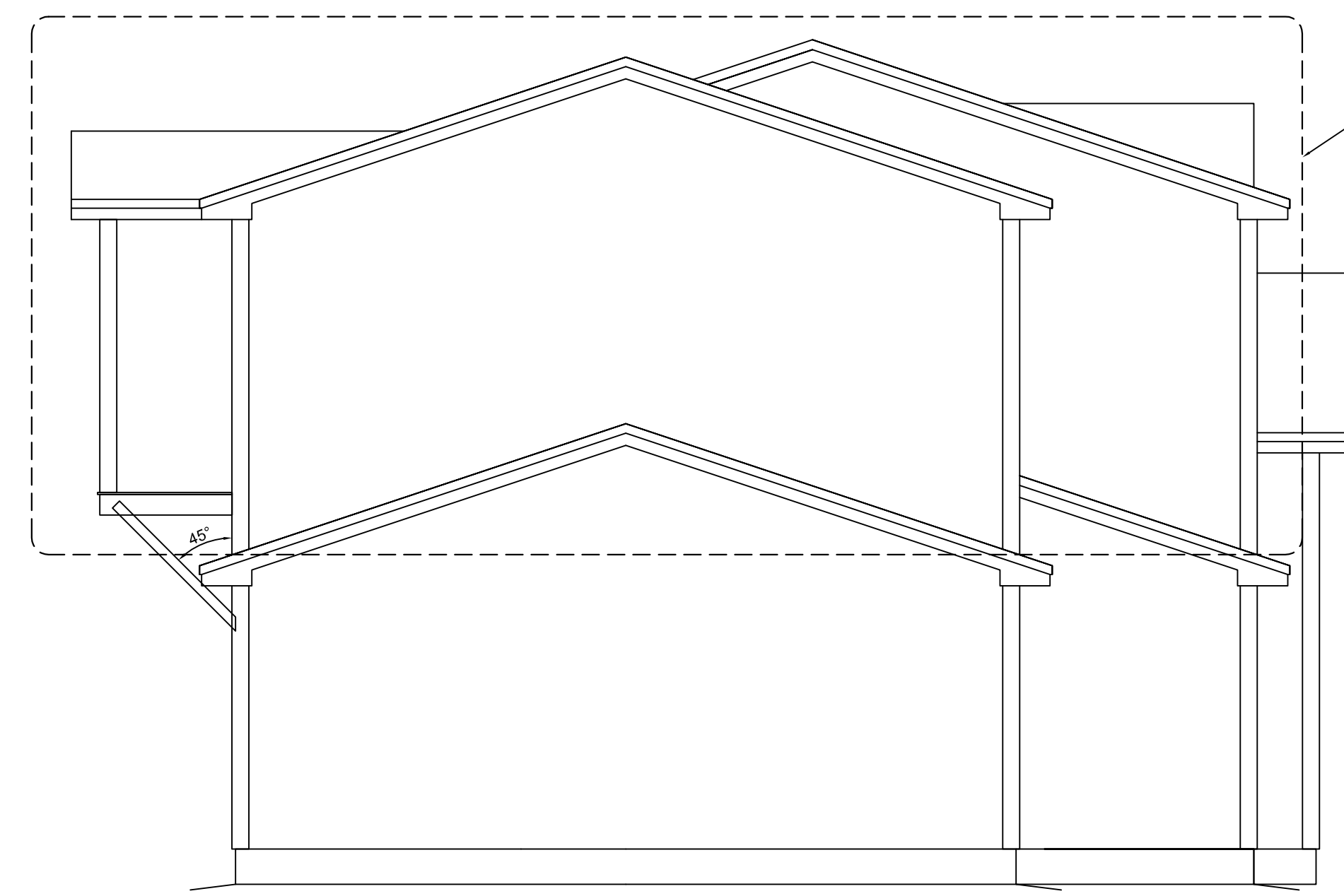
Reviewed for Code Compliance
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11/21/2018



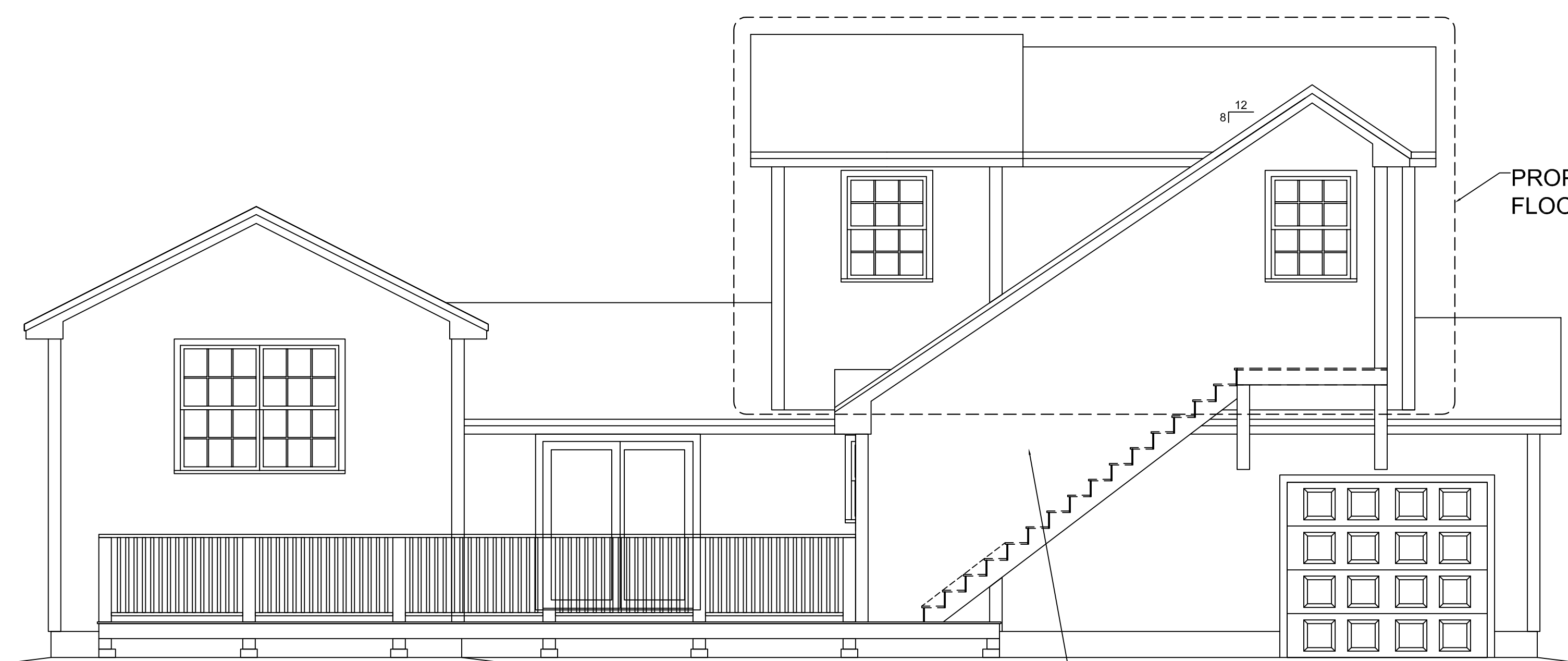
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

ENCLOSE STAIRWAY
Match Existing Siding
& Trim

ISSUED 11/15/18

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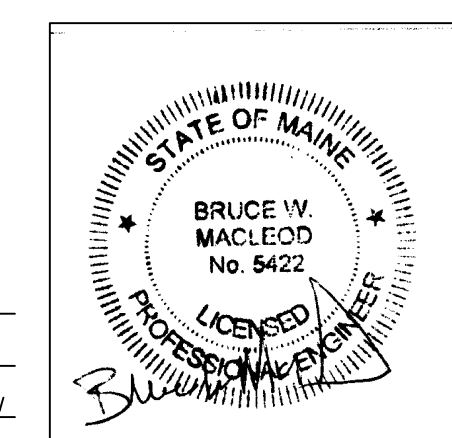
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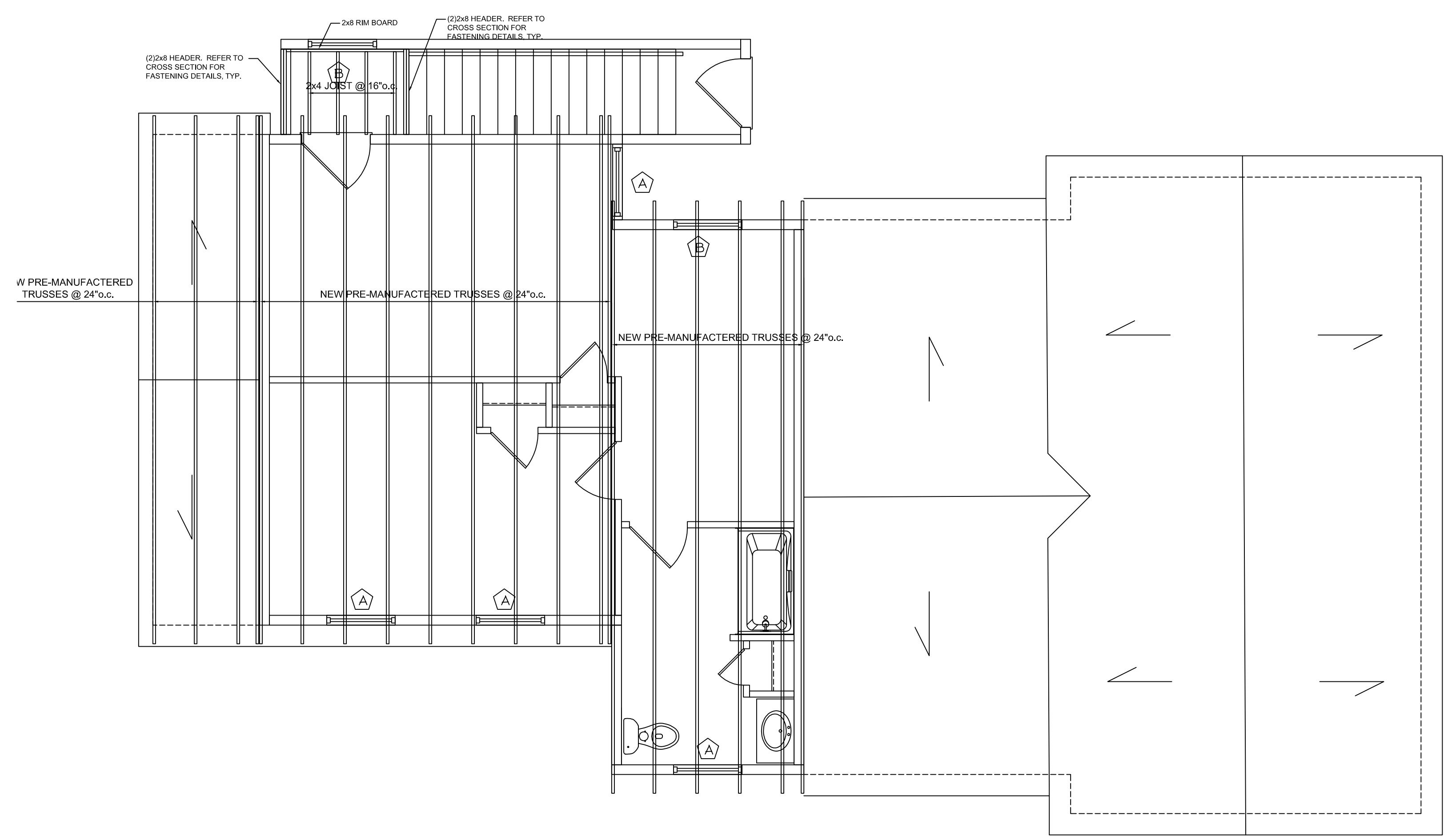
SECOND FLOOR ADDITION
21 STUART STREET
PORTLAND, MAINE

TITLE: ELEVATIONS

DATE: 04.25.17 DRAWN BY: JLL DRAWING NUMBER:
SCALE: as noted PROJ NO: 2017-037 A-2

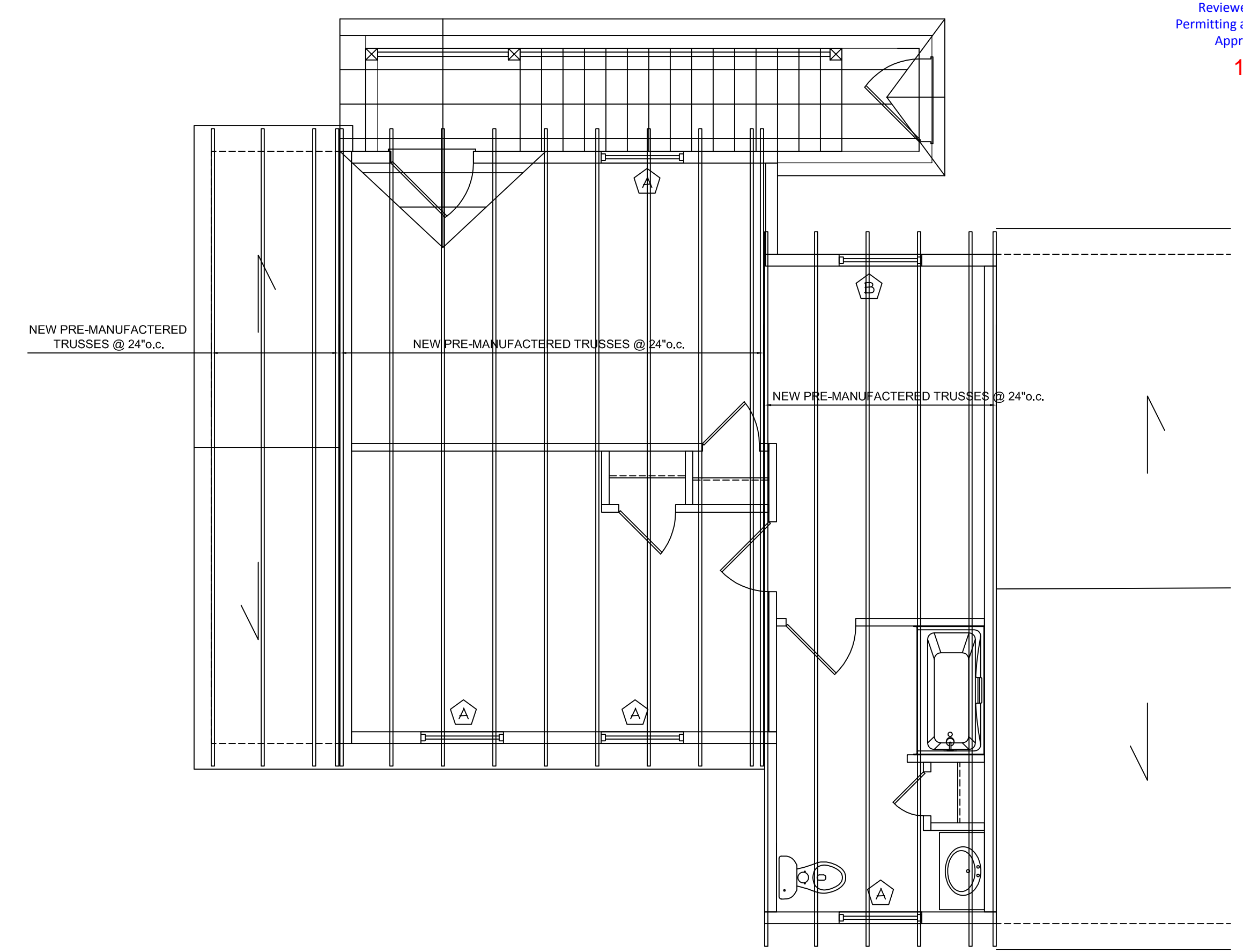


11/15/18 Enclose Stairway



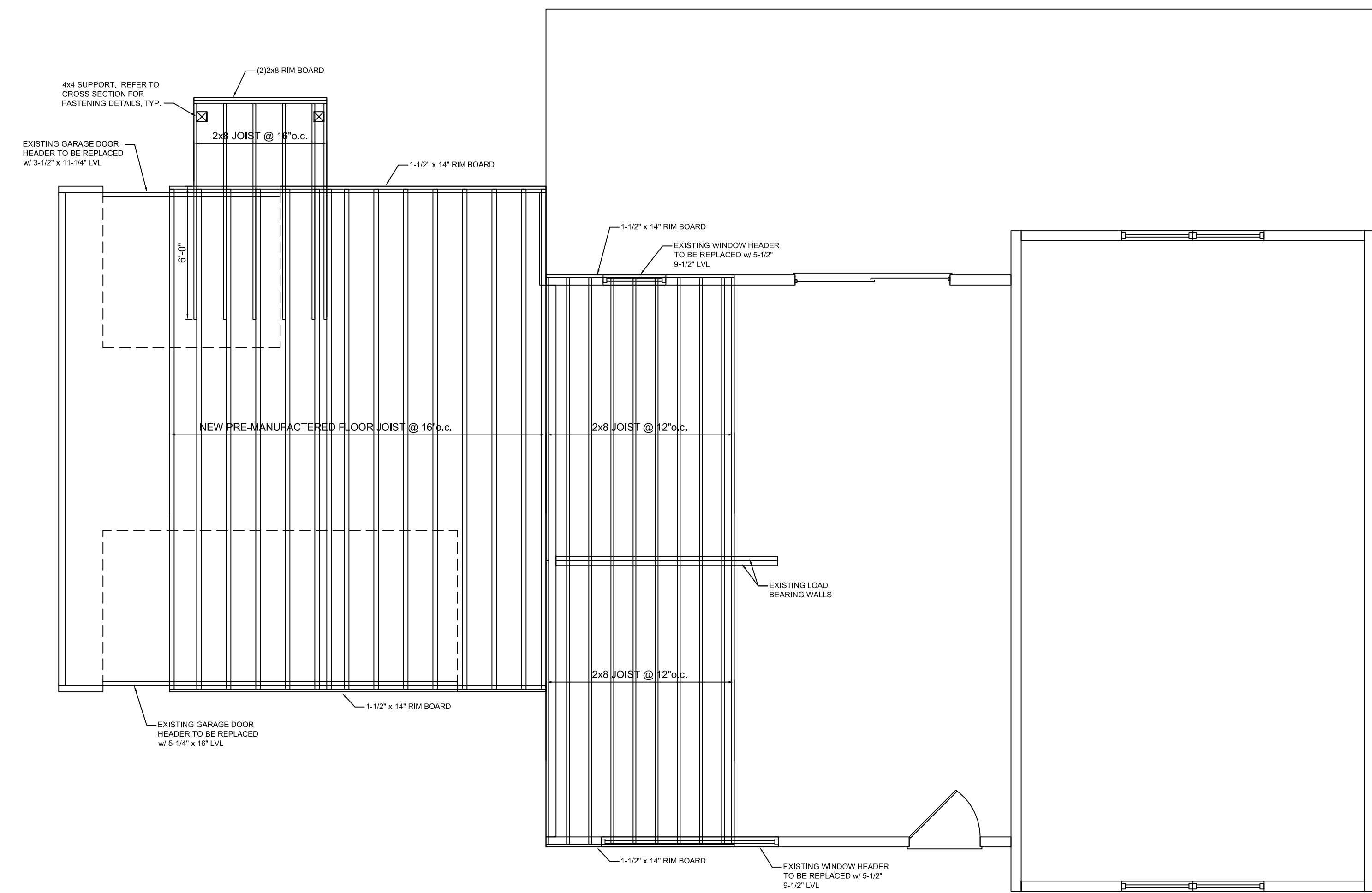
PROPOSED ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



STAIRWAY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 2nd FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

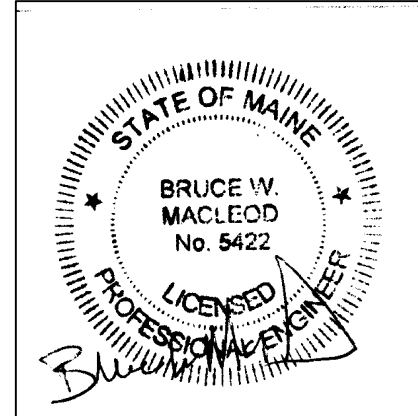
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SECOND FLOOR ADDITION
21 STUART STREET
PORTLAND, MAINE



- △
 - △
 - △
- 11/15/18 Enclose Stairway

TITLE: FRAMING PLANS		
DATE: 04.25.17	DRAWN BY: JLL	DRAWING NUMBER: S-1
SCALE: as noted	PROJ NO: 2017-037	



Reviewed for Code Compliance
Approved with Conditions
11/22/2018

GENERAL NOTES:

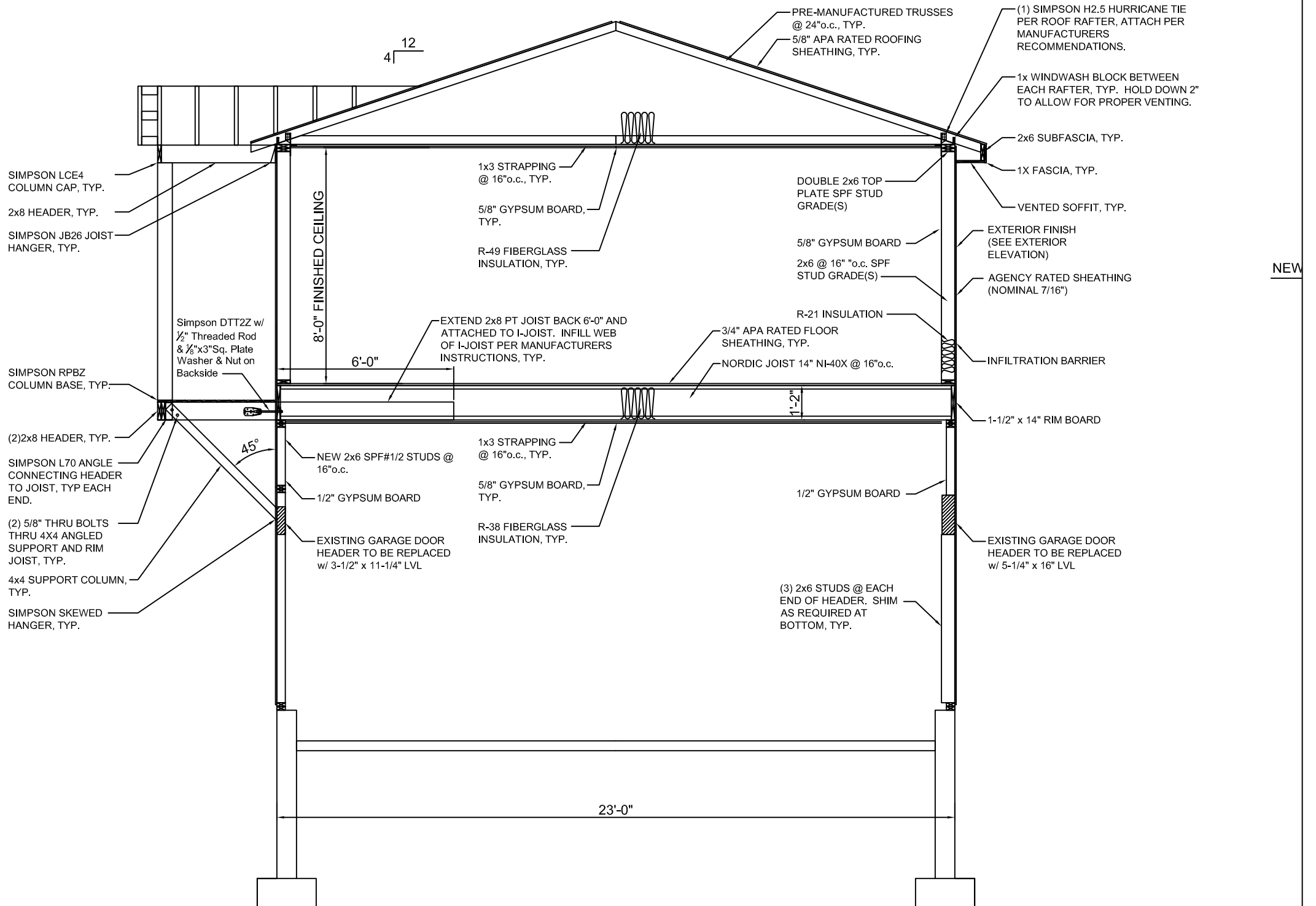
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS (IF REQUIRED) TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2006.

WOOD FRAMING NOTES:

- STRUCTURAL LUMBER:
SPRUCE PINE FIR NO1/NO2 OR BETTER
Fb = 875 PSI Fv = 125 PSI E = 1400000 PSI
Fc = 1150 PSI E = 2000000 PSI
- DESIGN CODE:
IBC 2009 / NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- NAILING REQUIREMENTS FOR PLYWOOD SHEATHING:
SEE DETAILS FOR NAILING AND SPACING REQUIREMENTS.
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF RAFTERS OR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE. PROVIDE GALVANIZED METAL CONNECTORS EQUAL TO SIMPSON TC26 TRUSS CONNECTOR BETWEEN ALL ROOF SCISSOR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16 (TRUSSES), 24/12 (JOISTS). INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE 1/2" thru bolts STAGGERED @ 24" O.C. FOR ATTACHMENT OF 2x NAILER AT TOP OR BOTTOM OF WF BEAM (COORDINATE w/ PLANS)
- WALL CONSTRUCTION - FIRST FLOOR
FRAMING AS SHOWN ON PLANS
P.T. 2x6 SILL PLATE
3/4" APA SHEATHING
- ROOF CONSTRUCTION
FRAMING AS SHOWN ON PLANS
3/4" APA RATED PLYWOOD SHEATHING (REFER TO NOTE #7)
PROVIDE 8d NAILS @ 12" O.C. ALONG FRAMING MEMBERS.
- ALL NAILS, SPIKES, BOLTS ETC. FASTENING MEMBERS TO PRESSURE TREATED LUMBER SHALL BE EITHER STAINLESS STEEL OR HEAVY GALVANIZED.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
- ALL CONCRETE EXCEPT INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 3000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". ALL INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 3000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". MAXIMUM SIZE AGGREGATE SHALL BE 3/4" (WALL/FOOTINGS) AND 3/4" (SLABS ON GROUND).
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. NO AIR ENTRAINMENT IN INTERIOR CONCRETE SLABS.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-315 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554-36.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH = 3"
CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"
- PROVIDE CONTROL JOINTS IN STRUCTURAL SLAB AT 12'-0" ON CENTER MAX.
- PROPORTION DESIGN MIXES TO PROVIDE CONCRETE FOR INTERIOR AND EXTERIOR SLABS-ON-GRADE WITH THE FOLLOWING PROPERTIES:
a. STRENGTH: 4000psi @ 28 DAYS, 3/4" AGGREGATE
b. W/C RATIO: 0.46
c. ENTRAINED AIR: 6% ±1%
d. SLUMP: 3" ± 1"



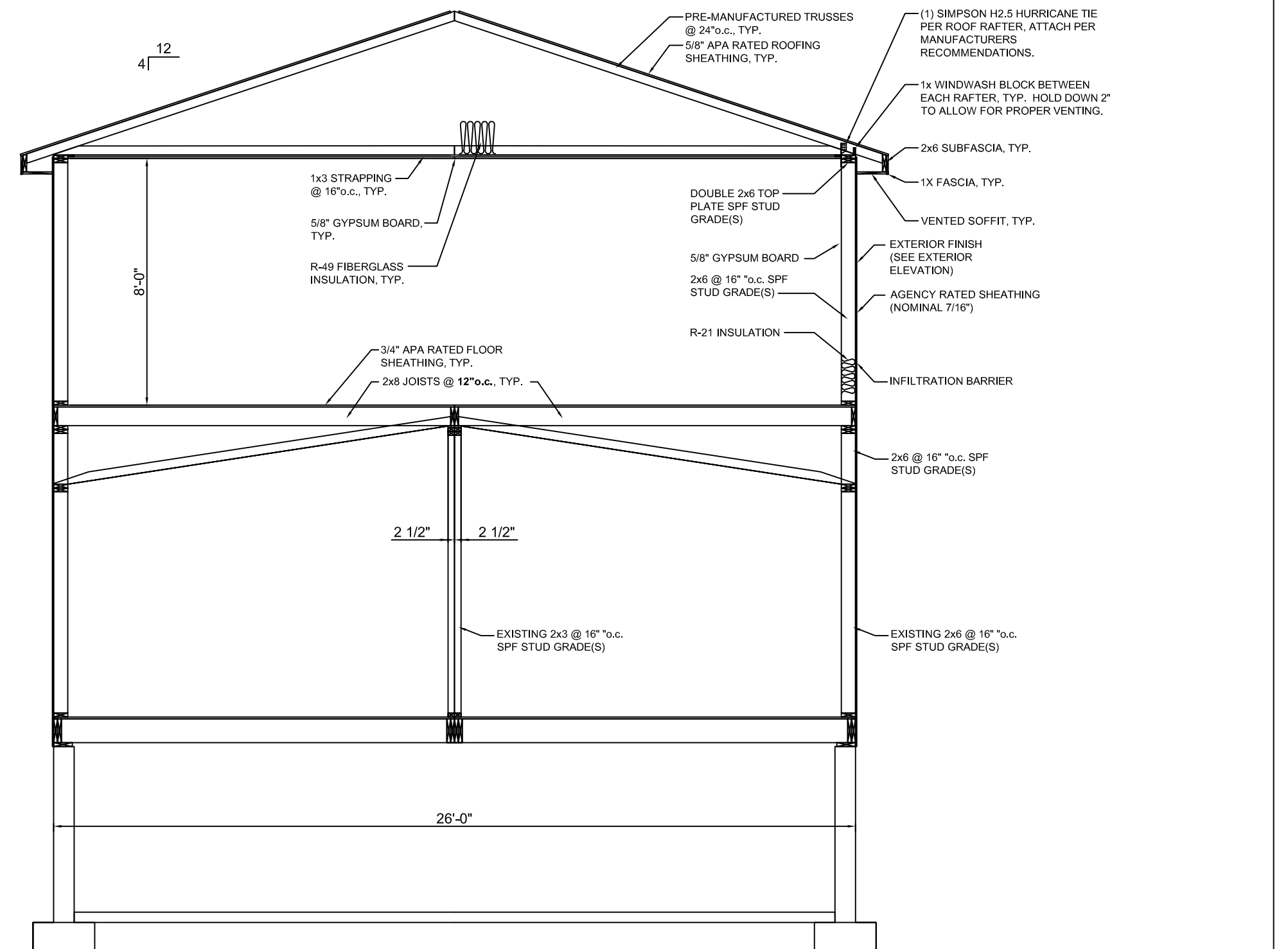
PROPOSED GARAGE SECTION 1

SCALE: 1/4" = 1'-0"

OPENING HEADER SCHEDULE			
SPAN	DESCRIPTION	JACK STUDS (NUMBER)	KING STUDS (NUMBER)
3FT	(3) 2x8's	(1) Stud	(1) Studs
4FT	(3) 2x12's	(1) Stud	(1) Studs
6FT	3 1/2" x 9 1/4" LVL	(2) Stud	(2) Studs
8FT	5 1/4" x 11 1/4" LVL	(2) Stud	(2) Studs
10FT	5 1/4" x 14" LVL	(3) Stud	(2) Studs
12FT	5 1/4" x 16" LVL	(3) Stud	(2) Studs

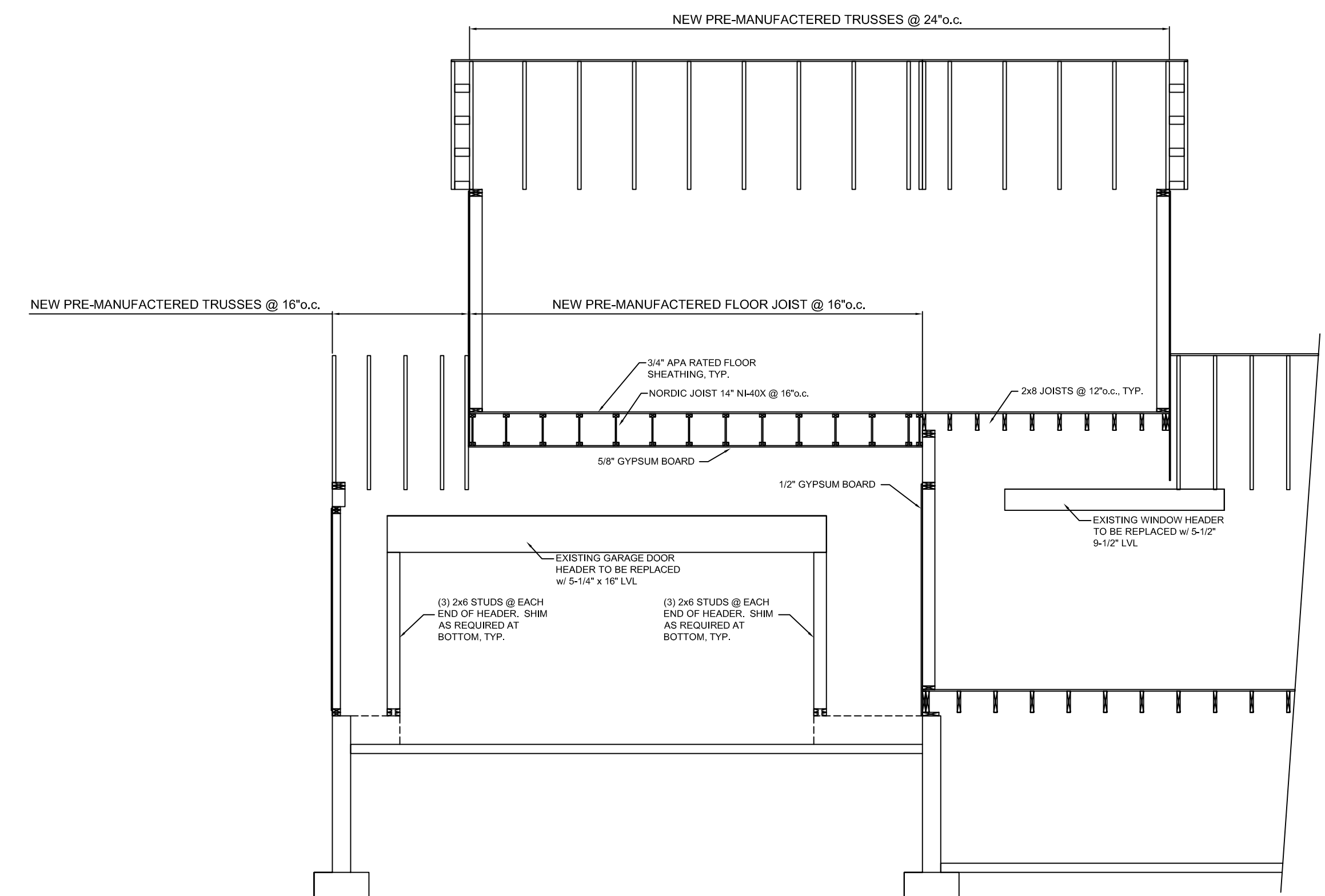
DESIGN NOTES:

- THIS BUILDING IS DESIGNED TO COMPLY WITH THE 2009 EDITION OF THE INTERNATIONAL IRC CODE.
- SNOW LOAD
a. GROUND SNOW LOAD = 60 PSF
b. FLAT ROOF SNOW LOAD = 42 PSF
c. SNOW LOAD IMPORTANCE FACTOR I = 1.0
d. SNOW EXPOSURE FACTOR Ce = 1.0
e. SNOW THERMAL FACTOR Ct = 1.0
f. BALANCE AND UNBALANCED SNOW LOADS IN ACCORDANCE WITH ASCE 7/05
- WIND LOADS:
a. BASIC WIND SPEED V = 100 MPH
b. WIND LOAD IMPORTANCE FACTOR I = 1.0
c. WIND INTERNAL PRESSURE COEFFICIENT GCPI = ±.18
d. Wind Exposure = B
- ROOF DEAD LOAD
a. TOP CHORD = 10.0 PSF
b. BOTTOM CHORD = 15.0 PSF
c. HVAC UNIT(S) = TO BE DETERMINED
- ROOF LIVE LOAD
a. TOP CHORD = 20.0 PSF
b. BOTTOM CHORD = 10.0 PSF
- EARTHQUAKE LOAD:
a. DESIGN OF EARTHQUAKE LOAD IN ACCORDANCE WITH ASCE 7/05
b. SEISMIC IMPORTANCE FACTOR I = 1.0
c. 0.2s MAPPED SPECTRAL RESPONSE ACCELERATION Sa = 0.316
d. 1.0s MAPPED SPECTRAL RESPONSE ACCELERATION S1 = 0.077
e. SITE CLASS = CLASS D
f. SPECTRAL RESPONSE COEFFICIENT SDS = 0.326
g. SPECTRAL RESPONSE COEFFICIENT SDI = 0.124
h. SEISMIC DESIGN CATEGORY = CATEGORY B
i. BASIC SEISMIC FORCE RESISTING SYSTEM: BEARING WALL SYSTEM = LIGHT FRAMED WALL SYSTEMS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
j. RESPONSE MODIFICATION FACTOR R = 6
k. DEFLECTION AMPLIFICATION FACTOR CD = 4
l. ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE
- DEFLECTION CRITERIA
a. ROOF (LIVE) = L/360
b. ROOF (TOTAL) = L/240
- FLOOR LIVE LOAD
a. 1st FLOOR = 40 PSF
b. SLEEPING ROOMS ON 2ND FLR = 30 PSF



PROPOSED BATH SECTION 3

SCALE: 1/4" = 1'-0"



PROPOSED LONGITUDINAL SECTION 2

SCALE: 1/4" = 1'-0"

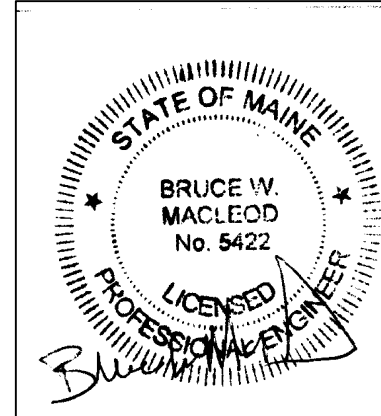
ISSUED 11/15/18

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SECOND FLOOR ADDITION
21 STUART STREET
PORTLAND, MAINE

TITLE: SECTIONS & NOTES
DATE: 04.25.17 DRAWN BY: JLL DRAWING NUMBER:
SCALE: as noted PROJ NO: 2017-037 S-2



11/15/18 Enclose Stairway