

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 73 Buca Run # Lot 121		Owner: <i>Diversified Properties</i> David W. Walton & Mary M. Walton	Phone: <i>David</i> 207-878-0260 H(797-4657)	Permit No: 990878
Owner Address: 120 Dogglass Street Portland ME 04102	Lessee/Buyer's Name:	Phone:	BusinessName:	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: AUG 18 1999 CITY OF PORTLAND </div>
Contractor Name: Scott Proctor	Address: Hollis Maine	Phone: 780-1040		
Past Use: New single family	Proposed Use: same	COST OF WORK: \$ 95,000	PERMIT FEE: \$ 594.00	Zoning: CBL: 336-E-038 Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>A3</i> Type: <i>5B</i> <i>QOCA 90</i>	
Proposed Project Description: New single family home w/attached garage		Signature:	Signature: <i>Asst</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: Approved <input type="checkbox"/>	Approved with Conditions: <input type="checkbox"/>	
		Denied <input type="checkbox"/>		
		Signature:	Date:	
Permit Taken By: <i>K.</i>	Date Applied For: July 30, 1999 <i>K.</i>			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

No missing pieces complete

SCANNED
PERMIT ISSUED
WITH REQUIREMENTS

CERTIFICATION

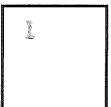
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

July 30, 1999

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

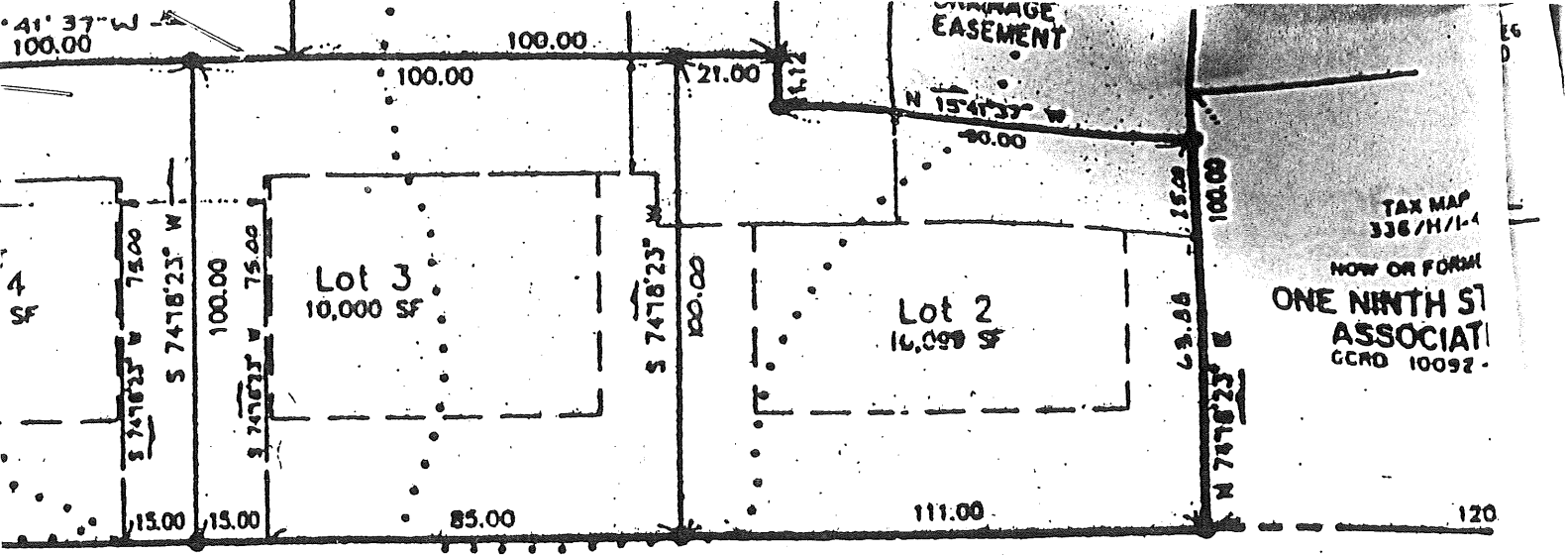


COMMENTS

8/24/99 Pre Construction by phone with David Walton
review required inspections & conditions of approval next call for testing @

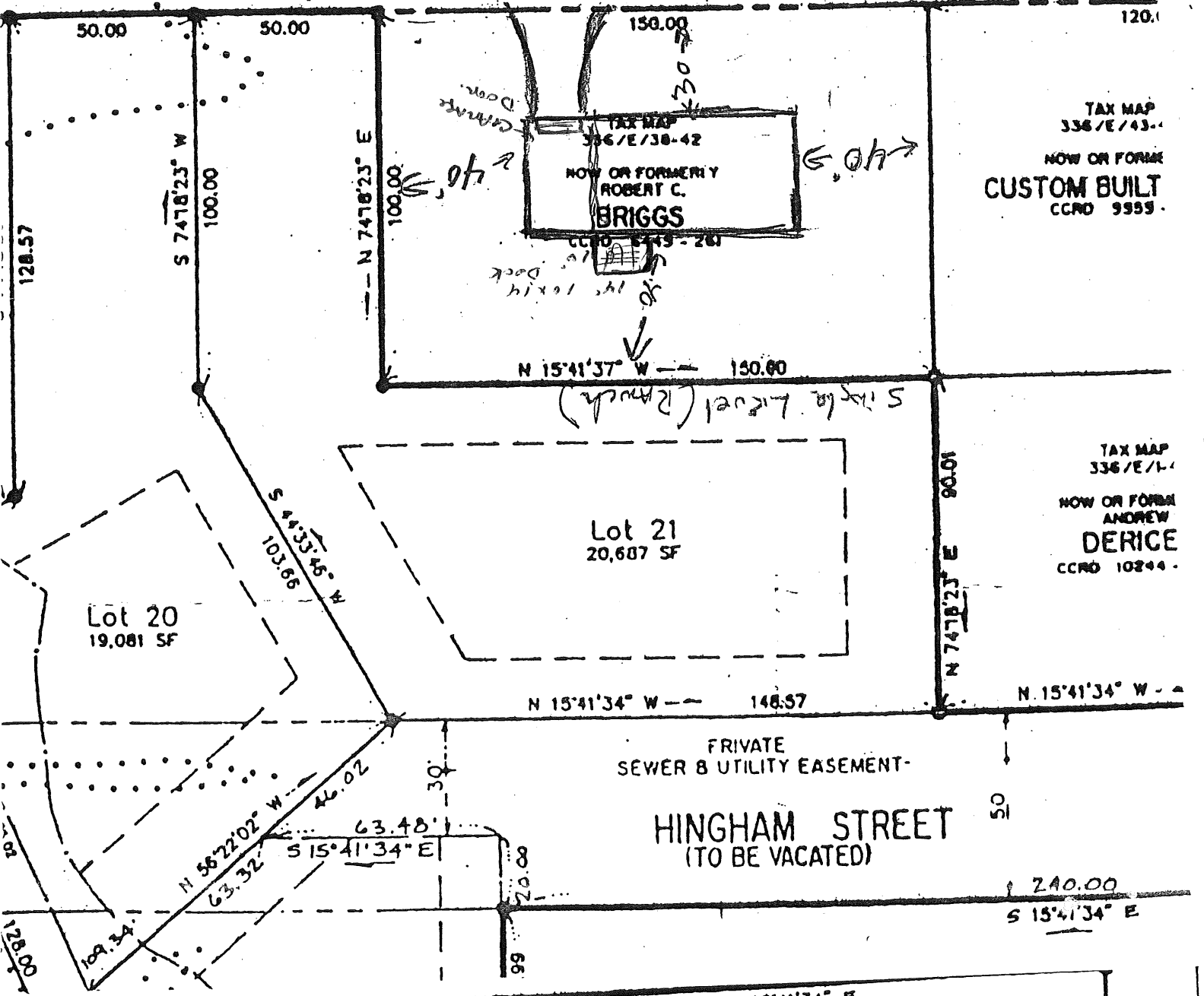
Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

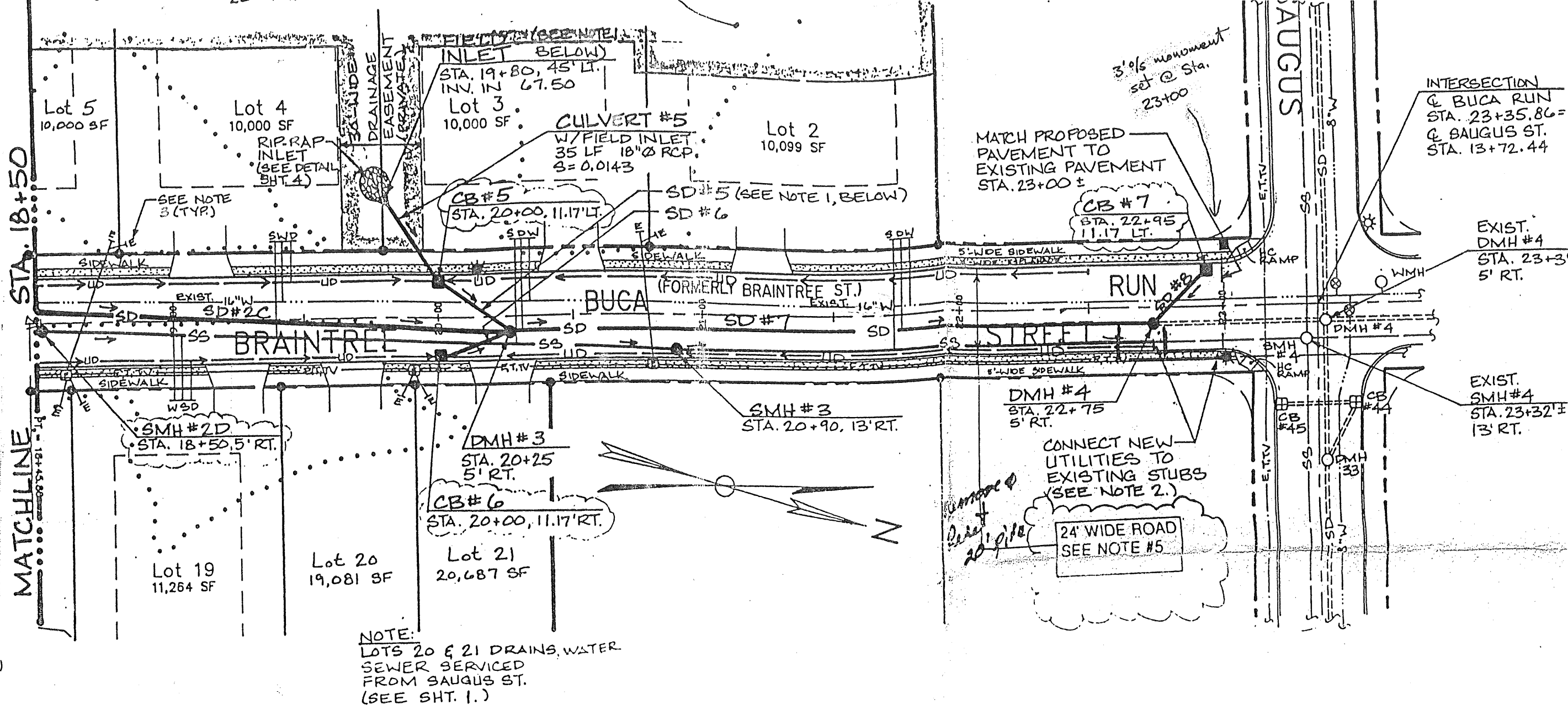


BUCA RUN

(FORMERLY BRAINTREE STREET)
 (EXISTING R.O.W. AREA = 27,122 SF)



CONTOUR
 CONTOUR
 LINE
 WETLAND N.R.P.A. BUFFER LIMIT
 Y SIDELINE
 ANADE, &
 WAY
 Y CENTERLINE
 IE W/PROPERTY
 IE
 IN W/ MANHOLE
 IN W/ MANHOLE
 SEWER MAIN W/
 IN W/HYDRANT &
 GATE VALVE/CURB STOP
 N W/HYDRANT,
 GATE VALVE/CURB STOP
 TELEPHONE, &
 ITS W/POLE
 TELEPHONE, &
 ITS W/POLE (SEE NOTE #3)
 LEADS
 FENCE
 NLET SILTATION BARRIER
 SEWER W/MANHOLE
 /PROP. BUILDING
 TRAVELED WAY
 ND
 /ERT W/FIELD INLET
 OUTLET
 RDRAIN
 EXISTING/PROPOSED

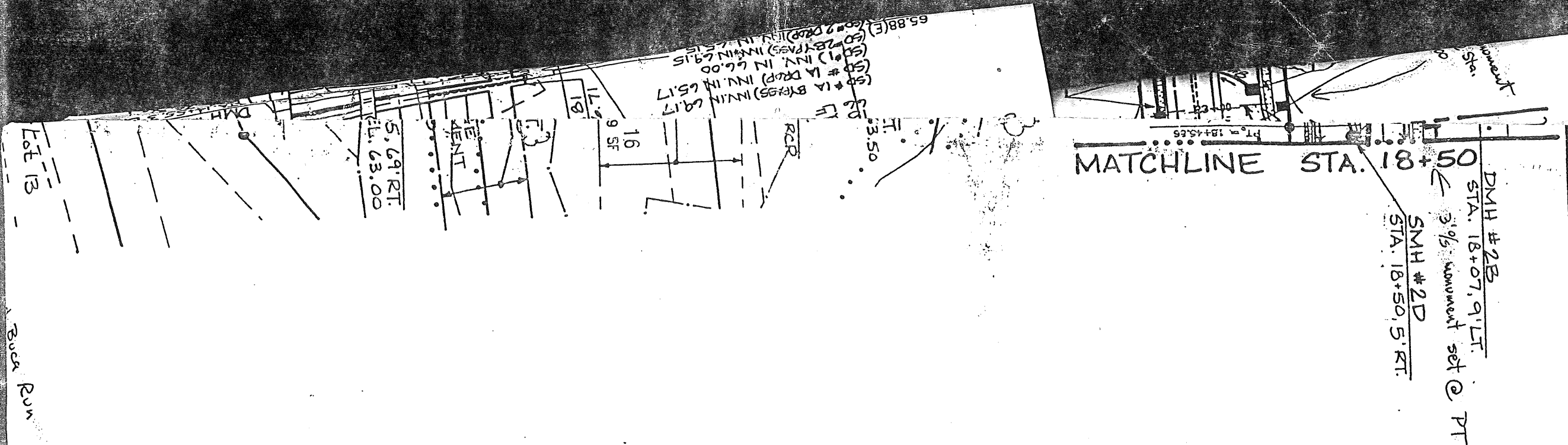


NOTE:
 LOTS 20 & 21 DRAINS WATER
 SEWER SERVICED
 FROM SAUGUS ST.
 (SEE SHT. 1.)

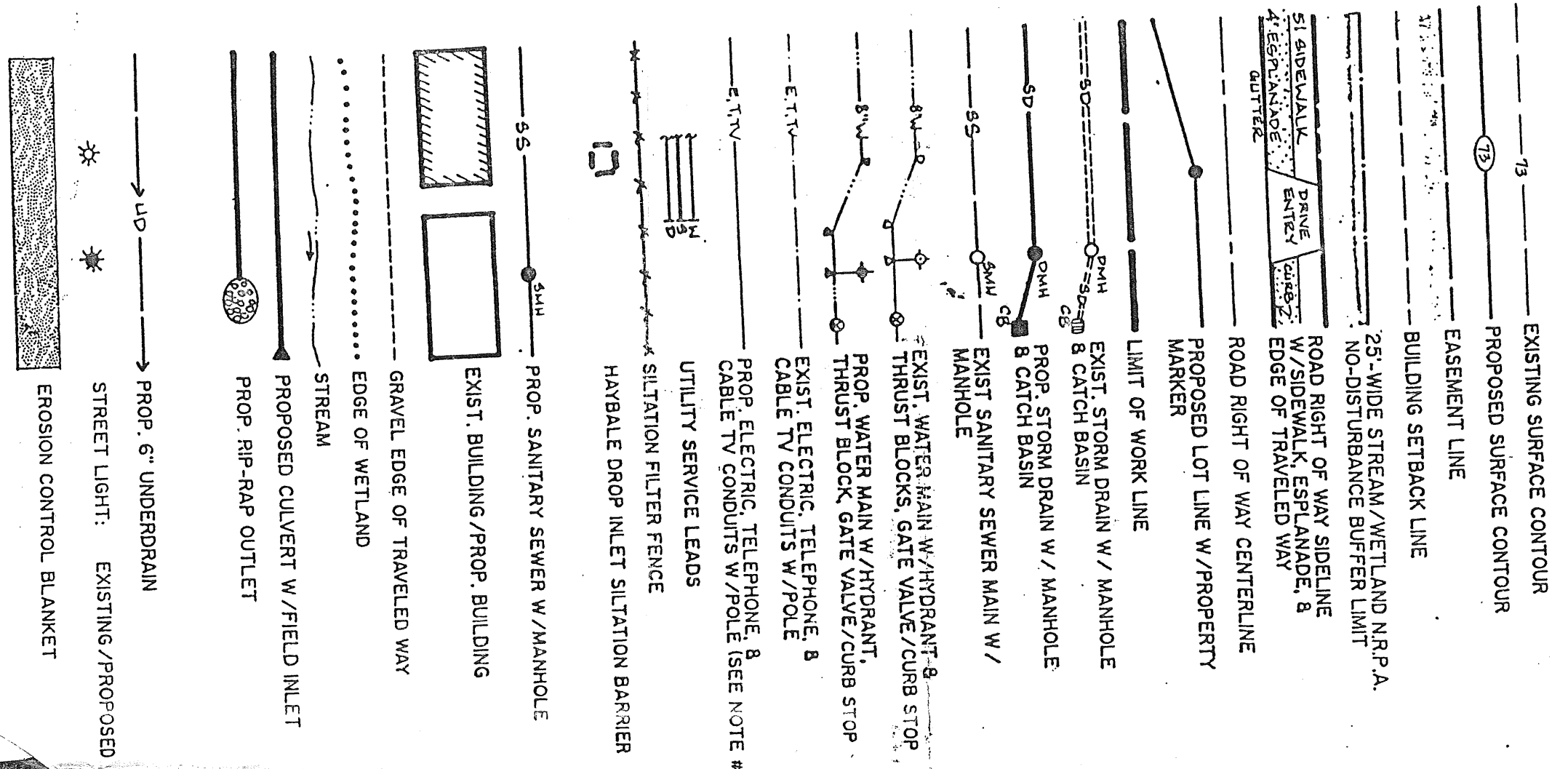
NOTES

- Determine actual location of 16" ϕ water main in field. Adjust field inlet, culvert #5, and SD #5 as required, maintaining a 1% minimum slope, to allow crossing of storm drainage over verified existing 16" water main, allowing minimum clearance at 6" at crossing.
- Provide a 40' long slope transition to existing sewer stub now at sta. 22+74, as follows:
 - Remove 20' length of pipe from existing stub at sta. 22+74, and re-lay pipe with +0.14' of pitch ($S=0.0070\pm$) to a new invert of 62.07 at sta. 22+74;
 - Install new 20' length of pipe, with +0.12' pitch ($S=0.0060\pm$) from sta. 22+74 (Inv.=62.07) to sta. 22+54 (Inv.=62.20);
 - Install 162' length of new pipe at slope 0.0050 from sta. 22+54 to new manhole (SMH #3) at sta. 20+90, Inv.=63.01.
- Transformer pads shall be located each on one lot entirely, on private property, outside of the public right-of-way. Installations of transformer pads shall be as shown on Detail Sheet 4, at locations as recommended per CMP Co. and utility companies. As a condition for approval of this subdivision, prior to construction, the developer shall coordinate with the utility companies the exact location of transformer pads.

SEE SHEET 1 FOR
 UTILITY SERVICE
 LEADS FOR LOTS
 22, 23, & 24, OFF
 SAUGUS STREET.



LEGEND



SEE SHEET 1 FOR GENERAL NOTES

Lot 13

Good Run

MATCHLINE STA. 18+50