

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 041609

PERMIT ISSUED
NOV 12 2004
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Fiore Joane /Micheal Langel

has permission to add a 8 x 14 mudroom with a 14 attached porch

AT 95 Stuart St

336 L032001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name

[Handwritten Signature]
11/10/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-1609	Issue Date: NOV 12 2004	CBL: 336 L032001
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Location of Construction: 95 Stuart St	Owner Name: Fiore Joane	Owner Address: 95 Stuart St CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: Micheal Langella	Contractor Address: 382 Pleasant Ave Peaks Island Portlan	Phone: 2077663067
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-2

Past Use: Single family	Proposed Use: Single family add a mudroom w/ attatched porch	Permit Fee: \$111.00	Cost of Work: \$10,000.00	CEO District: 5
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FIRE DEPT: <i>N/A</i>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC 2003</i>
Signature:		Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 10/26/2004	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/10/04</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/10/04</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

OCT 2 2004

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>95 Stuart St. Portland</u>		
Total Square Footage of Proposed Structure <u>Mud room 14x8 = 112 ft² Porch = 84 ft²</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>CBL 336 2032 18</u>	Owner: <u>Joanne Fiore</u>	Telephone: <u>878-2319</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Joanne Fiore</u> <u>95 Stuart St.</u> <u>Portland Me 04</u>	cost Of Work: \$ <u>10,000</u> Fee: \$ <u>111.00</u>
Approximately how long has the property been vacant: _____		
Proposed use: <u>see plan</u> w/ Attached 6x14 open Porch		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Michael Langella</u> Mailing address: <u>382 Pleasant</u> <u>Peaks Island Me</u> <u>632-8229 cell</u> We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-3067 (H)</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Michael Langella</u>	Date: <u>10/25/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Date Applied For: 1012612004	CBL: 336 L032001
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Location of Construction: 95 Stuart St	Owner Name: Fiore Joane	Owner Address: 95 Stuart St	Phone:
Business Name:	Contractor Name: Micheal Langella	Contractor Address: 382 Pleasant Ave Peaks Island Portlan	Phone (207) 766-3067
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

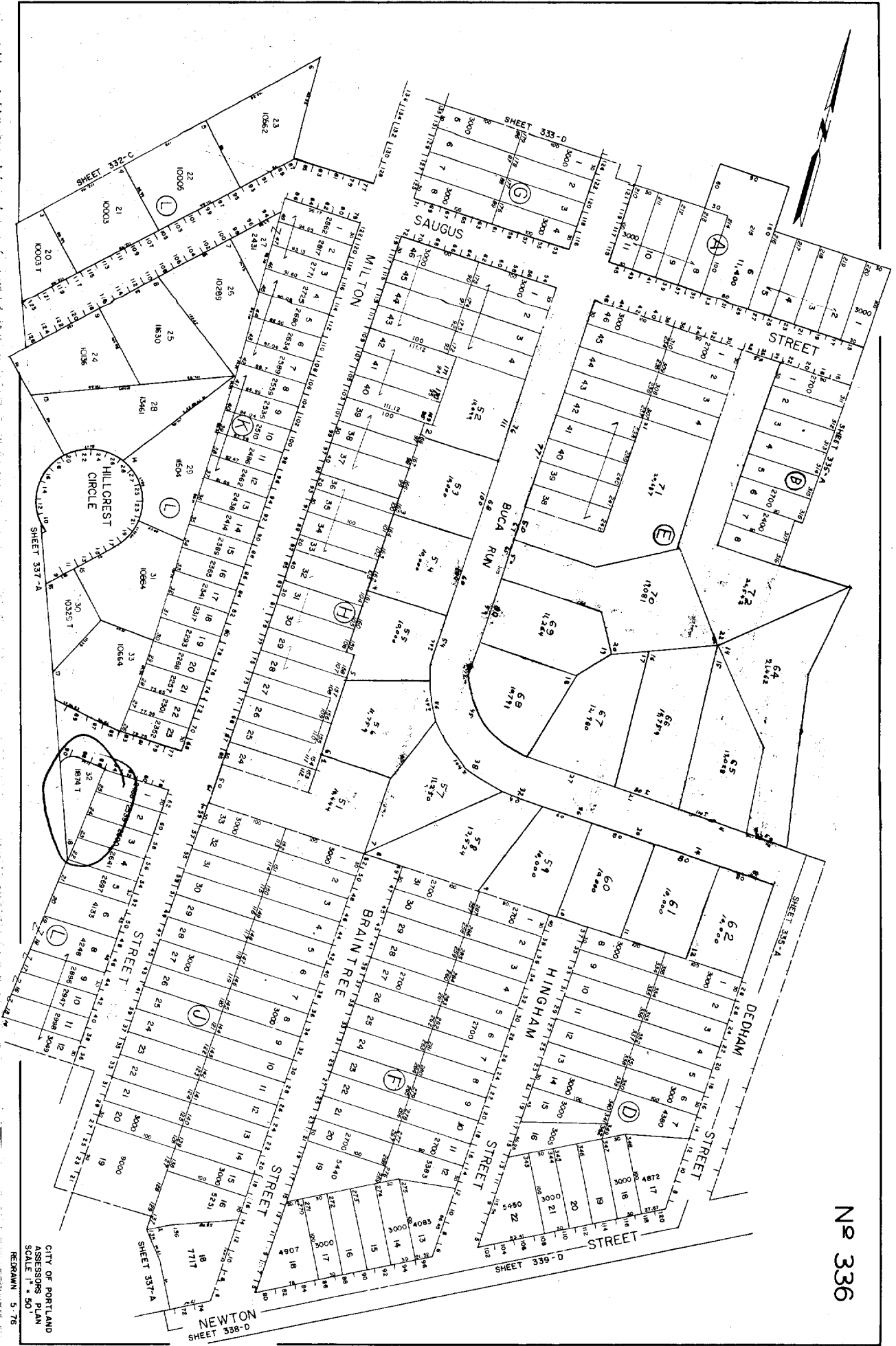
Proposed Use: Single family add a mudroom w/ attached porch	Proposed Project Description: add a 8 x 14 mudroom with a 6 x 14 attached porch
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 1111012004
Note: **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/10/2004
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or heating
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



CITY OF PORTLAND
 ASSESSORS PLAN
 SCALE 1" = 50'
 REBRAM 5 76

NEWTON
 SHEET 338-D

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	336 L032001
Location	95 STUART ST
Land Use	SINGLE FAMILY
Owner Address	FIORE JOANE 95 STUART ST PORTLAND NE 04103
Book/Page	16273/257
Legal	336-L-32 337-C-95 STUART ST LYNN ST 11874 SF

Valuation Information

Land	Building	Total
\$33,600	\$72,870	\$106,470

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1989	Cape	1.5	1344	0.273	
Bedrooms	Pull Baths	Half Baths	Total Rooms	Attic	Basement
4	2		6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
05/07/2001	LAND + BLDING	\$134,000	16273-257
02/01/1995	LAND + BLDING	\$101,400	11808-159

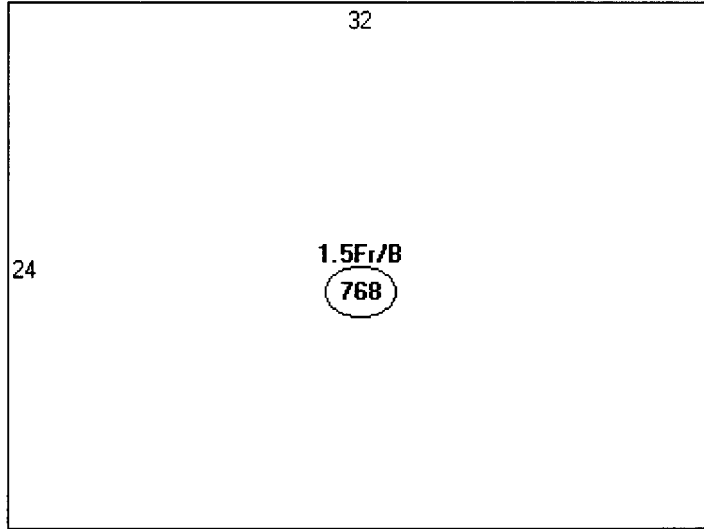
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

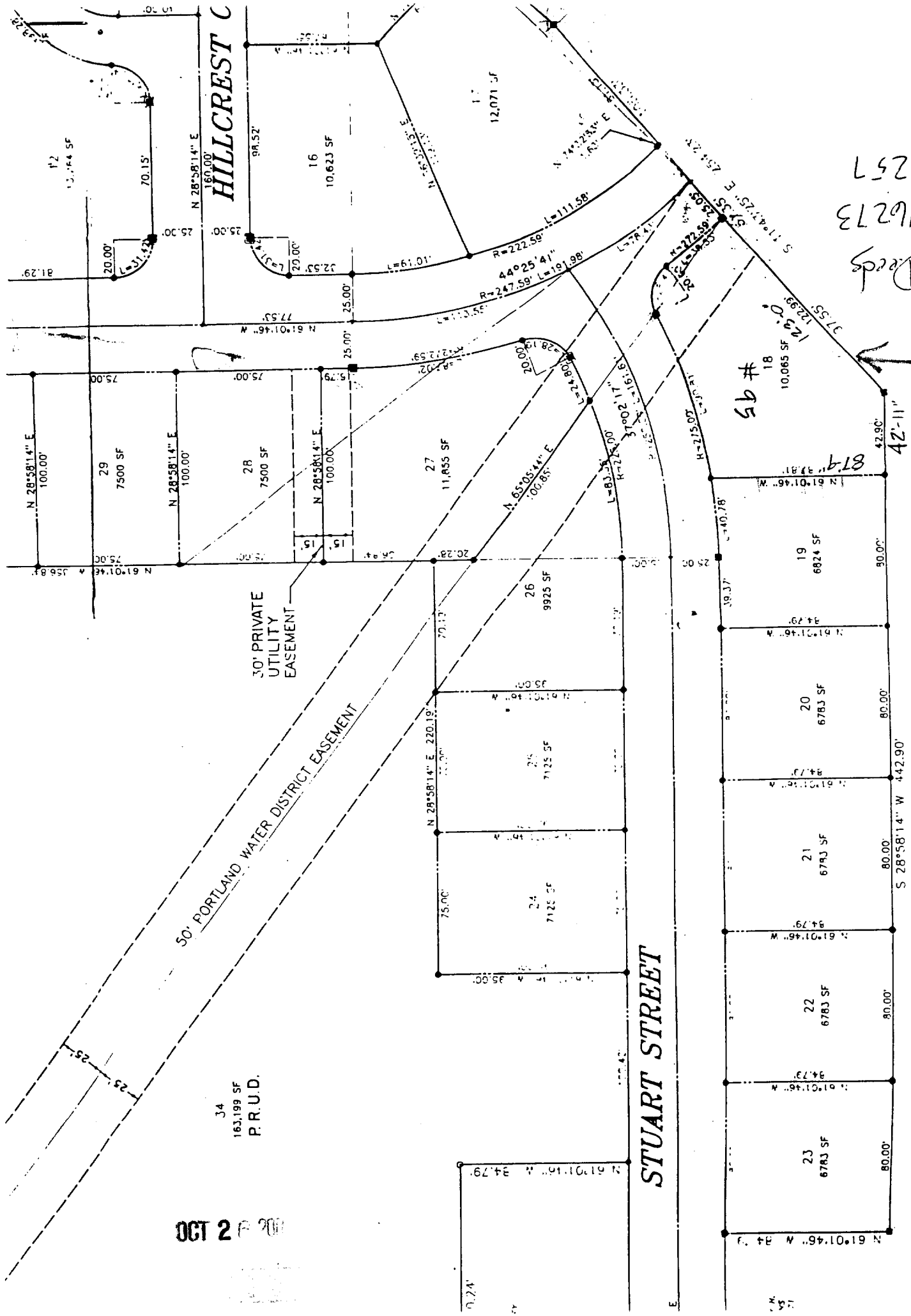
New Search!



Descriptor/Area

A: 1.5Fr/B
768 sqft





Reg. of Deeds
Book 16273
Pg 257

Sb # 95
18
10,065 SF
123.0'

Joanne Fiore
95 Stuart St.

LAWRENCE E. & ARLINE B.
BRYDON

OCT 2 2000

34
163,199 SF
P.R.U.D.

STUART STREET

HILLCREST C

30' PRIVATE
UTILITY
EASEMENT

50' PORTLAND WATER DISTRICT EASEMENT

87.4

42'-11"

N 61°01'46" E 34.79'
N 61°01'46" W 44.90'
S 28°58'14" W 44.90'
N 61°01'46" W 44.90'
N 61°01'46" W 44.90'
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19
6824 SF

20
6783 SF

21
6793 SF

22
6783 SF

23
6783 SF

26
9925 SF

24
7125 SF

25
7125 SF

27
11,855 SF

28
7500 SF

29
7500 SF

16
10,623 SF

N 61°01'46" E 34.79'
N 61°01'46" W 44.90'
N 61°01'46" W 44.90'
N 61°01'46" W 44.90'

17
12,071 SF

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10,000 SF

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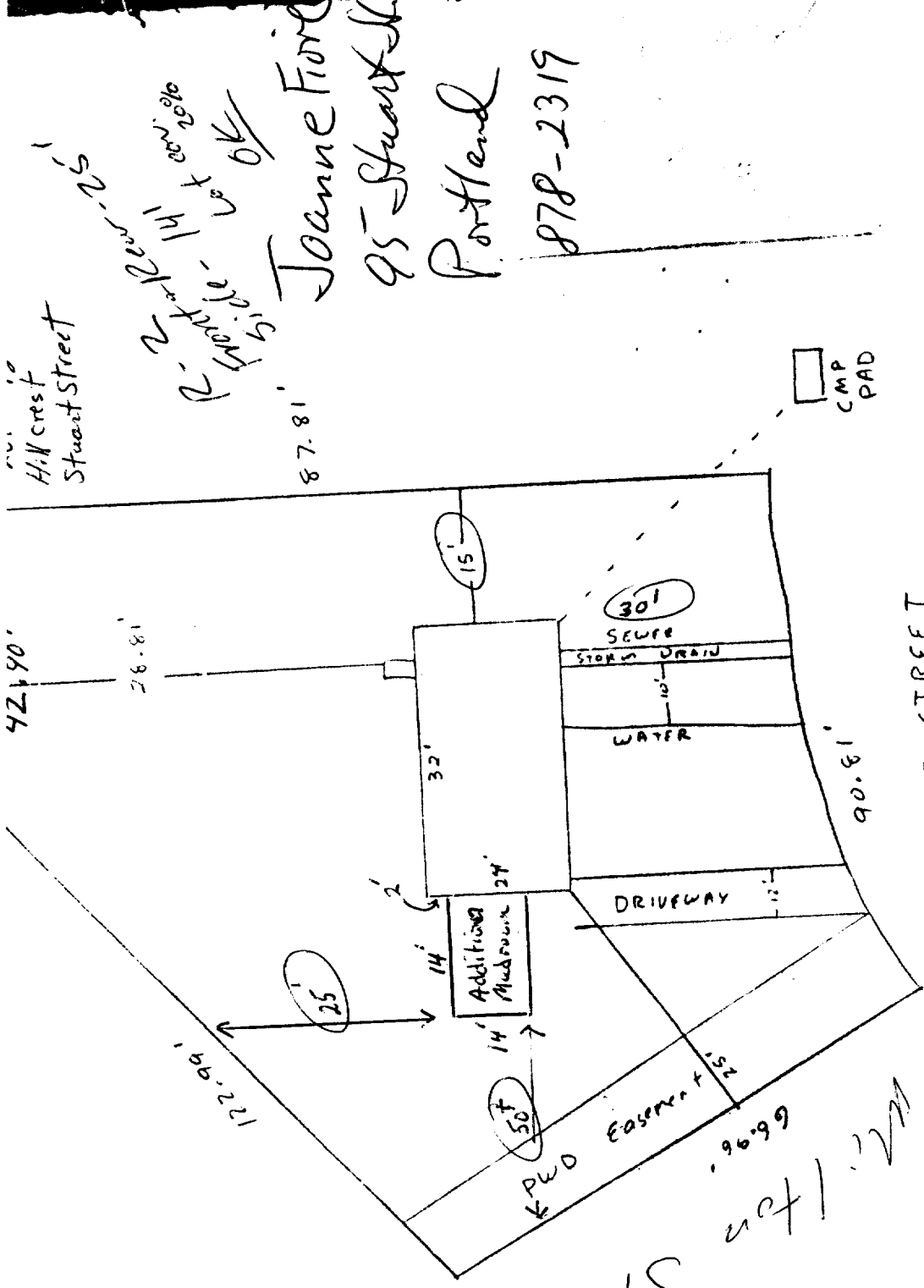
40
10,000 SF

41
10,000 SF

42
10,000 SF

43
10,000 SF

44
10,000 SF



Hillcrest
Stuart Street

42.90'

2-2-2000-25
Hillcrest
Stuart Street
OK

Joanne Fione
95 Stuart
Portland
878-2319

87.81'

CAMP
PAD

STUART STREET
77.33'

90.61'

122.99'
156.22'

25'

32'

15'

DRIVEWAY

WATER

SEWER STORM DRAIN

10'

30'

Additional
Mudroom
24'

14'

14'

50'

Easement
152'

96.99'

FS

12/2/20

Lot 18
Hillcrest

RECEIVED

AUG 25 1989

DEPT OF PUBLIC UTILITIES
CITY OF PORTLAND

SILL
70.33

not to scale

Joanne Fiore
95 Stuart St.
Portland, Maine
878-2319
Permit Application
House Addition: Mudroom

Construction specifications:

The addition is a **14' x 8'** mudroom with a **14' x 6'** covered porch attached to the existing home. See plan.
The mudroom will be supported by four 10" concrete tubes buried at least **40"** below grade. *Need 48"*
The mudroom porch will be supported by four 10' concrete tubes buried at least **40"** below grade.
The mudroom and porch will be attached to the house with a ledger bolted to the existing house sill.
The mudroom will be supported by four 6" x 6" pressure treated posts anchored with ties to the concrete tubes.
The porch will be supported by four 4" x 4" pressure treated posts anchored with ties to the concrete tubes.
The porch roof will be supported with four turned 4" x 4" posts.
The mudroom floor will be constructed using 2" x 10" joists tied with 2" x 10" joist hangers. ✓
The mudroom floor will be insulated with fiberglass insulation.
The porch floor will be constructed using 2" x 6" joists tied with 2" x 6" joist hangers. ✓
The sub floor of the mudroom will be constructed using 3/4" plywood. ✓
The walls will be constructed using 2" x 6" lumber **and** sheathed with 1/2" plywood. ✓
The roof will be constructed with 2" x 8" rafters and insulated with fiberglass insulation. ✓
The roof will be sheathed with 5/8" plywood and 25 year shingles. ✓
The exterior walls will be covered with vinyl siding.
The mudroom will be heated with electric heat.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Call Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- Call **Foundation** Inspection: Prior to placing **ANY** backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee Date

Signature of Inspections Official Date

CBL: 336 1032 Building Permit #: 041609