

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                              |                                   |                            |
|------------------------------|-----------------------------------|----------------------------|
| <b>Permit No:</b><br>02-0487 | <b>Issue Date:</b><br>JUN 18 2002 | <b>CBL:</b><br>336 L008013 |
|------------------------------|-----------------------------------|----------------------------|

|                                                                                              |                                                         |                                                         |                             |
|----------------------------------------------------------------------------------------------|---------------------------------------------------------|---------------------------------------------------------|-----------------------------|
| <b>Location of Construction:</b><br>13-21<br>Leisure Ln (#13 & #21) <i>(units 1 &amp; 2)</i> | <b>Owner Name:</b><br>Northstar Enterprises Inc         | <b>Owner Address:</b><br>21 Stuart St                   | <b>Phone:</b><br>878-2241   |
| <b>Business Name:</b>                                                                        | <b>Contractor Name:</b><br>North Star Enterprises, Inc. | <b>Contractor Address:</b><br>21 Stuart Street Portland | <b>Phone:</b><br>2078782241 |
| <b>Lessee/Buyer's Name</b>                                                                   | <b>Phone:</b>                                           | <b>Permit Type:</b><br>Single Family                    | <b>Zone:</b><br>R-3         |

|                            |                                                                                                                                                            |                                                                                           |                                                                               |                              |
|----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|------------------------------|
| <b>Past Use:</b><br>Vacant | <b>Proposed Use:</b><br>14 Unit Condominium Project-<br>Preapproved Site Plan # 2000-0087.<br><del>#13 &amp; 21</del> <i>Leisure LN</i><br><i>called →</i> | <b>Permit Fee:</b><br>\$835.00                                                            | <b>Cost of Work:</b><br>\$115,050.00                                          | <b>CEO District:</b><br>PRUD |
|                            |                                                                                                                                                            | <b>FIRE DEPT:</b><br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied | <b>INSPECTION:</b><br>Use Group: <i>R-3</i> Type: <i>5B</i><br><i>6/18/02</i> |                              |

|                                                                                                                          |                   |                   |
|--------------------------------------------------------------------------------------------------------------------------|-------------------|-------------------|
| <b>Proposed Project Description:</b><br>Construct New Condo Unit<br>P.R.U.D. Development                                 | <b>Signature:</b> | <b>Signature:</b> |
| <b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>                                                                           |                   |                   |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied |                   |                   |
| <b>Signature:</b>                                                                                                        | <b>Date:</b>      |                   |

|                                    |                                        |                        |  |  |
|------------------------------------|----------------------------------------|------------------------|--|--|
| <b>Permit Taken By:</b><br>jodinea | <b>Date Applied For:</b><br>05/03/2002 | <b>Zoning Approval</b> |  |  |
|------------------------------------|----------------------------------------|------------------------|--|--|

|                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol> | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland <i>N/A</i><br><input type="checkbox"/> Wetland <i>N/A</i><br><input type="checkbox"/> Flood Zone <i>Panel 16 Zone K</i><br><input type="checkbox"/> Subdivision <i>originally reviewed</i><br><input type="checkbox"/> Site Plan <i>originally #2000-0087</i><br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br><i>ok with conditions</i><br>Date: <i>5/20/02</i> | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: | <b>Historic Preservation</b><br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

|                                             |         |      |       |
|---------------------------------------------|---------|------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE |         | DATE | PHONE |

8/6/02 OK for set backs. Above

8/12/02 - OK to backfill

12/12/02 - Final inspection on unit #1. OK. For c/o JR

1/22/03 - For final on #21 (Unit 2)

Done 8/1/03 ~~(1) Needs guardrail both sides front stairs~~

Done 8/1/03 ~~(2) Vents/wiring not finished above garage~~

Done 8/1/03 ~~(3) No handrails garage stairs to 2nd~~

~~(4) Sliders for kitchen & unfinished deck must be secured or deck finished~~

(5) Top step cellar has 8 1/2 Rise

~~(6) Bulkhead stairs 8 1/2 rise & 10 1/2 wet tread~~

~~(7) Cellar stairs need handrails OK~~

~~(8) No gaps to outlets at counter OK~~

8/5/03 for C/O

(1) Elec penetrations garage ceil to be filled in

(2) Elec cable garage wall to be secured

(3) Needs handrail Rear Deck

8/18/2003 CHECKED LAST 3 REMAINING ISSUES NOTED ABOVE. ALL HAVE BEEN CORRECTED. OK. FOR C/O JR

774-1429



02-0487

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|                                                                                                                                                                                                                                                                                                                       |                                                                                          |                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|-----------------------------------------------|
| Location/Address of Construction: #13 & #21 LEISURE LN. / HOMES AT MEADOW WOODS APPROVED P.R.U.D.                                                                                                                                                                                                                     |                                                                                          |                                               |
| Total Square Footage of Proposed Structure<br>1120 sq. ft.                                                                                                                                                                                                                                                            | Square Footage of Lot<br>3.84 ACRES                                                      |                                               |
| Tax Assessor's Chart, Block & Lot<br>Chart# Block# Lot#<br>336-008 #13 & #21                                                                                                                                                                                                                                          | Owner: NORTH STAR ENTERPRISES, INC.                                                      | Telephone: 907 878-2241                       |
| Lessee/Buyer's Name (If Applicable)                                                                                                                                                                                                                                                                                   | Applicant name, address & telephone: NORTH STAR ENTERPRISES, INC. 21 STUART ST. PORTLAND | Cost Of Work: \$ 115,050.00<br>Fee: \$ 835.00 |
| Current use: RESIDENTIAL NOTE: STRUCTURES ARE 50.00 C/P OF MODULAR NATURE                                                                                                                                                                                                                                             |                                                                                          |                                               |
| If the location is currently vacant, what was prior use: _____                                                                                                                                                                                                                                                        |                                                                                          |                                               |
| Approximately how long has it been vacant: _____ total 985.00                                                                                                                                                                                                                                                         |                                                                                          |                                               |
| Proposed use: RESIDENTIAL                                                                                                                                                                                                                                                                                             |                                                                                          |                                               |
| Project description: APPROVED P.R.U.D. DEVELOPEMENT 2                                                                                                                                                                                                                                                                 |                                                                                          |                                               |
| Contractor's name, address & telephone: NORTH STAR ENTERPRISES, INC. 21 STUART ST., PORTLAND, ME, 04103 TEL.: 878-2241                                                                                                                                                                                                |                                                                                          |                                               |
| Who should we contact when the permit is ready: CONRAD C. CLARK                                                                                                                                                                                                                                                       |                                                                                          |                                               |
| Mailing address: 21 STUART ST. PORTLAND, ME, 04103                                                                                                                                                                                                                                                                    |                                                                                          |                                               |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <del>878-2241</del> 878-8814 |                                                                                          |                                               |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

|                                                                                                             |              |
|-------------------------------------------------------------------------------------------------------------|--------------|
| Signature of applicant:  | Date: 5-3-02 |
|-------------------------------------------------------------------------------------------------------------|--------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

## NEW SINGLE FAMILY HOMES

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed and purchase and sales agreement
- 4 Copies of the site/plot plan to scale, this must be prepared and sealed by a registered land surveyor
- 1 Copy of the building/construction plan
- 1 Copy of the site/plot plan and construction/building plan on 11" x 17" paper, we cannot accept the application without the reduced submissions. Electronic plans may be submitted in place of the 11" x 17" copies

### PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown and to scale. **A photocopy of the plat with hand drawn footprints of buildings if it is not to scale, it will not be accepted**
- Boundary survey to scale showing north arrow; zoning district & setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours
- Silt fence locations
- Location of two proposed trees by Ordinance
- **THE SURVEYORS MONUMENTS MUST BE IN PLACE AND THE LOT STAKED FOR A SETBACK INSPECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.**

### A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THE PERMIT**

**ABSOLUTELY NO SITE WORK MAY BE DONE UNTIL THE PERMIT HAS BEEN ISSUED, THIS WILL INCLUDE:**

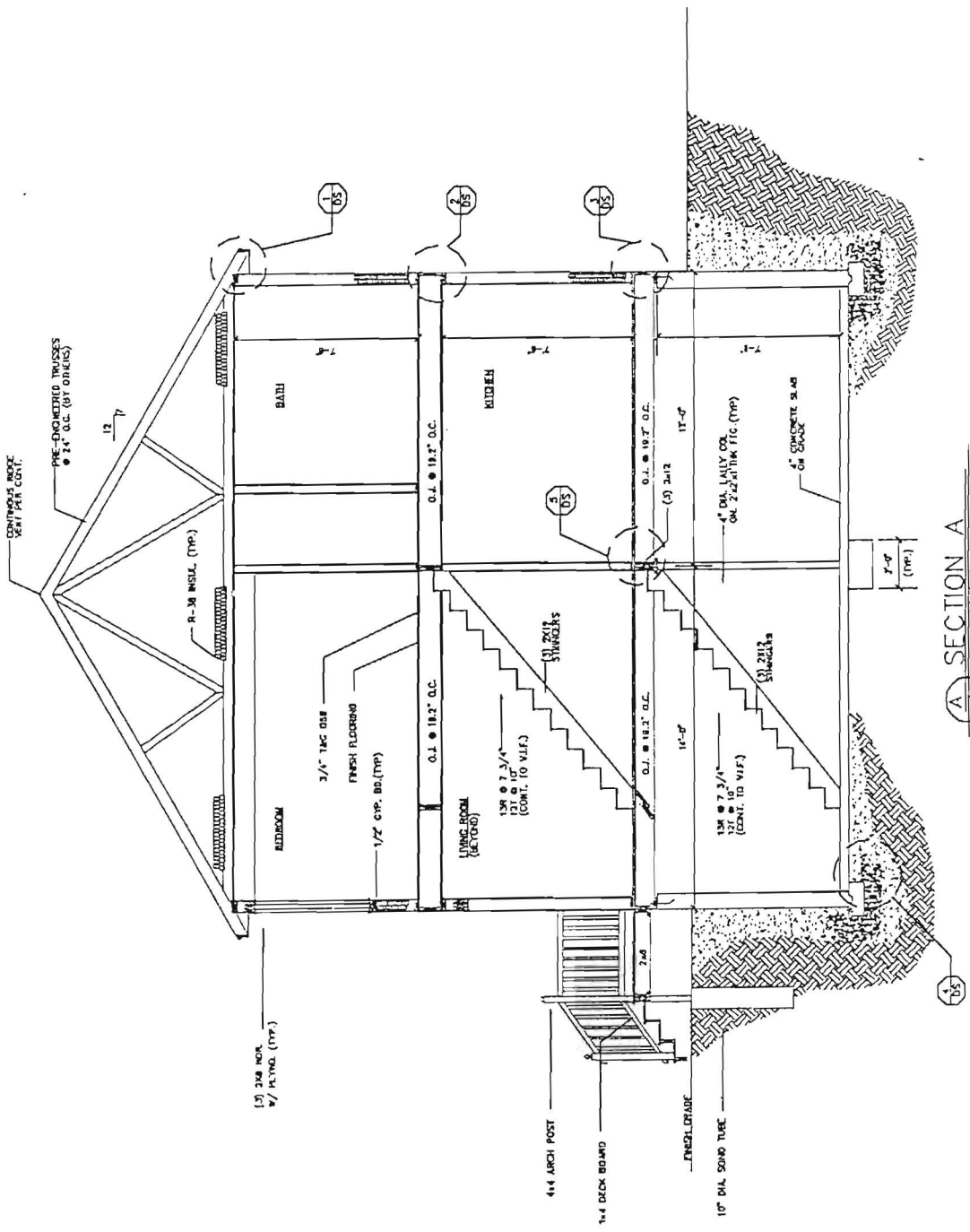
BLASTING  
CLEARING OF TREES  
BRING ANY TYPES OF FILL TO THE SITE FOR STORAGE  
DIGGING FOR UTILITY LINES OF ANY KIND  
CUTTING IN DRIVEWAYS  
ANY TYPE OF GRADING  
DEMOLISHION

**IF THE REQUIRED INFORMATION AS STATED ABOVE IS NOT SUBMITTED WITH THE APPLICATION, THE APPLICATION WILL BE AUTOMATICALLY DENIED**

**The cost of the permit is as follows:**

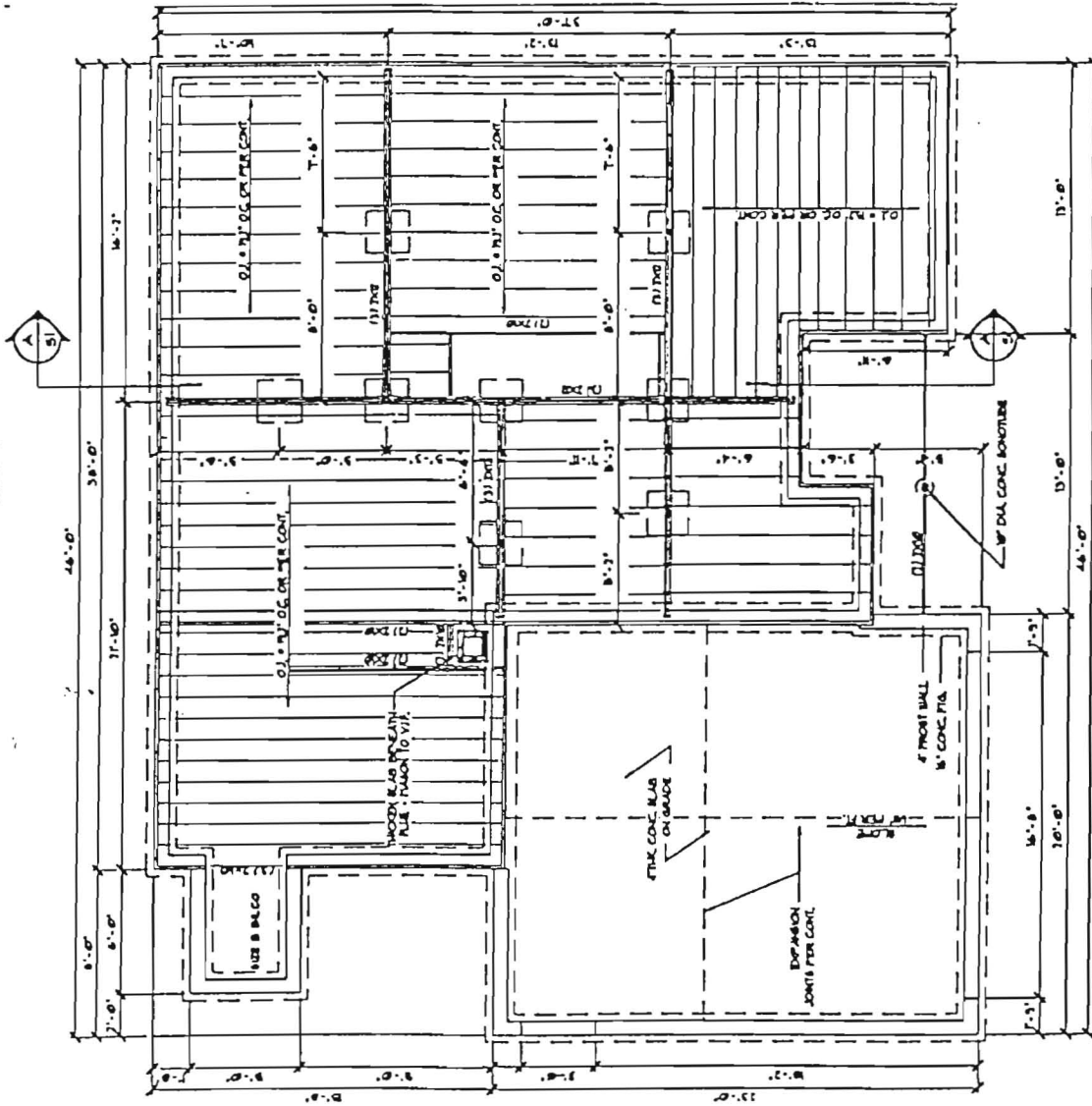
- Site plan review fee: \$300.00
- Basic permit fee: \$30.00
- The first \$1,000.00 worth of construction is covered in the \$30.00 base fee
- Every additional \$1,000.00 of construction will cost \$7.00

***A Certificate of Occupancy must be issued and paid for before the structure may be occupied. The fee is \$75.00***

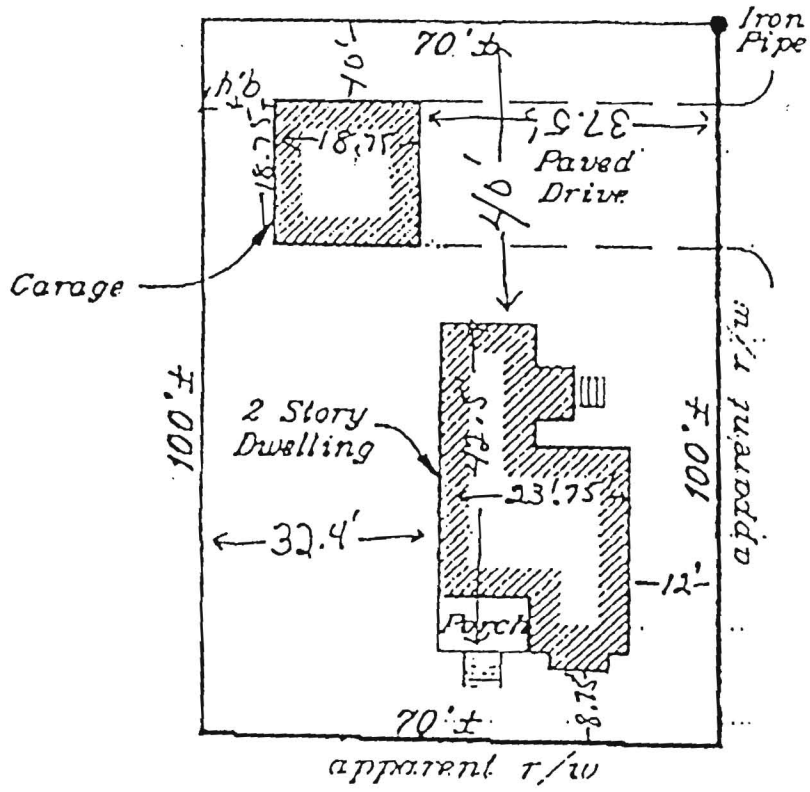


(A) SECTION A  
SCALE 1/8"=1'-0"





FOUNDATION PLAN  
 SCALE: 1/4" = 1'-0"



Lot Front



Application ID Number: 2-0486

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date: 06/18/2002

Given On Date: 05/20/2002

OK to Issue Permit

Name: Mike Nugent

Date: 06/18/2002

Date 2:

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Must provide Certificate of third party inspection and state of Maine Seal on the structure prior to installation.

Create Date: 05/09/2002 By: jodinea

Update Date: 06/18/2002 By: mjn

Application ID Number: 2-0487

Delete Review Save Close

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: 13 & 21 Leisure Lane (units#1 & 2)  
Meadow Woods Approval Date: 05/20/2002

Given On Date: 05/09/2002

OK to Issue Permit Name: Marge Schmuckal Date: 05/20/2002 Date 2:

Conditions Section:

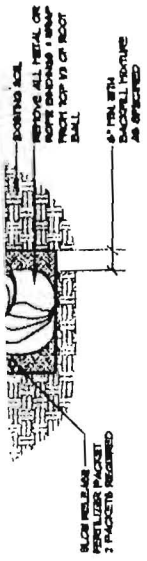
Add New Condition From Default List Add New Condition Delete Condition

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

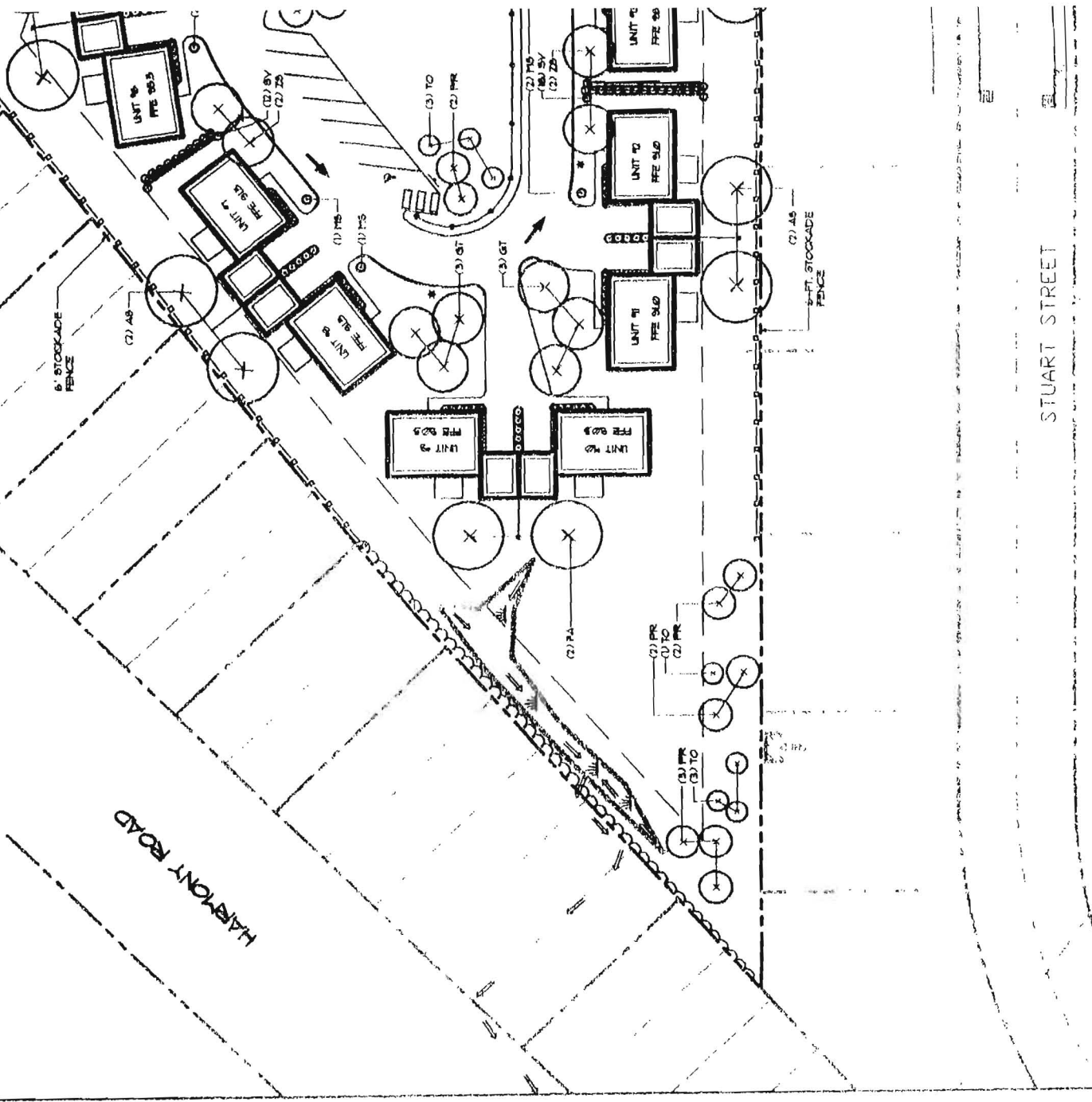
Separate permits shall be required for future decks, sheds, pools, and/or garages. Presently a rear deck is being shown approximately 26 feet (25' min. Required) from the subdivision's external property line.

Create Date: 05/09/2002 By: jodinea Update Date: 05/20/2002 By: mes





**DECIDUOUS & EVERGREEN SHRUBS**  
NOT TO SCALE



# STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

## INSTALLER INFORMATION

Name of Installer \_\_\_\_\_ *N/A*

D.B.A. \_\_\_\_\_

Name of Installer (if incorporated) \_\_\_\_\_

D.B.A. \_\_\_\_\_

Legal Address \_\_\_\_\_ (Street and No.) \_\_\_\_\_ (City or Town) \_\_\_\_\_ (Zip Code)

\_\_\_\_\_ (State) \_\_\_\_\_ Business Telephone \_\_\_\_\_ (County)

Home Telephone \_\_\_\_\_

Years of experience doing fireplace or chimney installations \_\_\_\_\_

## CONSUMER IDENTIFICATION

Consumer's Name \_\_\_\_\_ (City or Town) \_\_\_\_\_

Mailing Address \_\_\_\_\_ (Street and No.) \_\_\_\_\_ (County)

Home Telephone \_\_\_\_\_ Business Telephone \_\_\_\_\_ (State) \_\_\_\_\_

Installer, please give a brief description of installation being offered.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

I, \_\_\_\_\_, the installer, declare that the above information is true to the best of my knowledge. I also understand that if I fail to comply with the requirements of Title 32, Chapter 33, I shall be subject to penalties as outlined under Title 32, Chapter 33, O.D.

Signature \_\_\_\_\_

conditions  
vents and su  
 Masonry C  
Masonry chimney,  
chimneys, fireplaces, vents and  
Metal Chimney.  
Metal chimneys shall be constructed  
for:  
Strength to resist stress  
adequate anchoring and bracing  
ability  
resistance against leakage  
expansions for thermal expansion  
Fireplace.  
Fireplaces shall be listed and shall be installed in accordance with  
NFPA 211.  
shall meet the requirements of NFPA 211 and all other pertinent  
code of paper if making repairs of pr



**STATE OF MAINE  
CHIMNEY OR FIREPLACE DISCLOSURE**

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

**INSTALLER INFORMATION**

Name of Installer \_\_\_\_\_ *N/A*

D.B.A. \_\_\_\_\_

Name of Installer (if incorporated) \_\_\_\_\_

D.B.A. \_\_\_\_\_

Legal Address \_\_\_\_\_

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone \_\_\_\_ / \_\_\_\_ / \_\_\_\_ Business Telephone \_\_\_\_ / \_\_\_\_ / \_\_\_\_

Years of experience doing fireplace or chimney installations \_\_\_\_\_

**CONSUMER IDENTIFICATION**

Consumer's Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone \_\_\_\_ / \_\_\_\_ / \_\_\_\_ Business Telephone \_\_\_\_ / \_\_\_\_ / \_\_\_\_

Installer, please give a brief description of installation being offered.

I, \_\_\_\_\_, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature \_\_\_\_\_ Date \_\_\_\_\_



## INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

- Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 221 for chimneys, fireplaces, vents and solid fuel appliances.

- Masonry Chimney.

Masonry chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

- Metal Chimney.

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

1. Strength to resist stress
2. Adequate anchoring and bracing
3. Durability
4. Security against leakage
5. Allowances for thermal expansion

- Factory Built Fireplace.

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

- Masonry Fireplace.

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

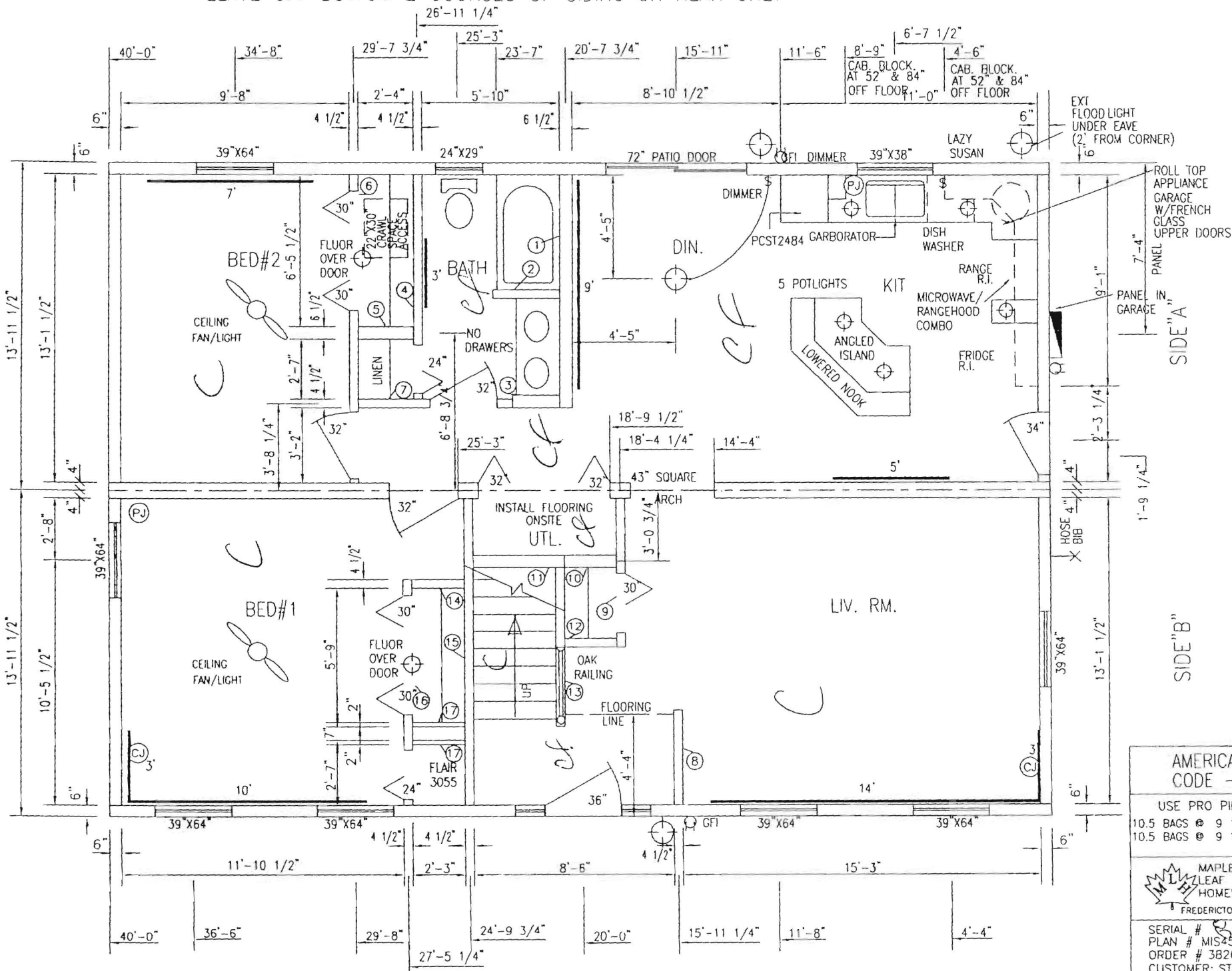
- Other

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

## CONSUMER CHECKLIST

1. Have you asked for references to be provided by the installer?
2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
4. Does the installer provide any type of written guarantee for the product installation being proposed?
5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

LEAVE OFF BOTTOM 2 COURSES OF SIDING ON REAR ONLY



AMERICAN UNIT  
CODE - BOCA

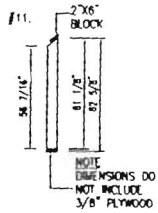
USE PRO PINK INSULATION  
10.5 BAGS @ 9 1/4" DEEP SIDE "A"  
10.5 BAGS @ 9 1/4" DEEP SIDE "B"

**UNIT COPY**

MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

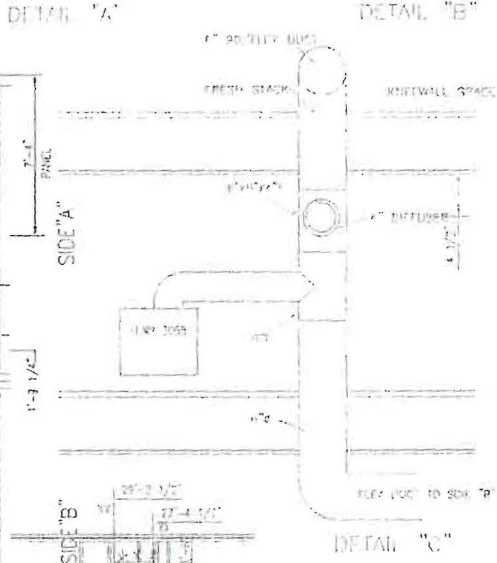
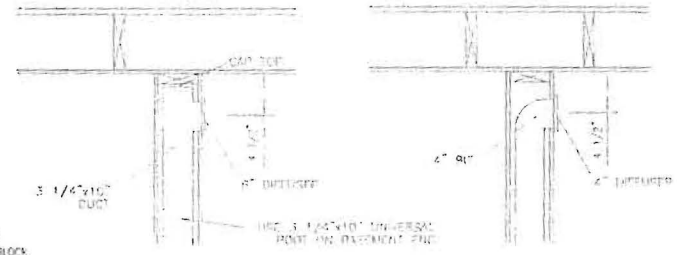
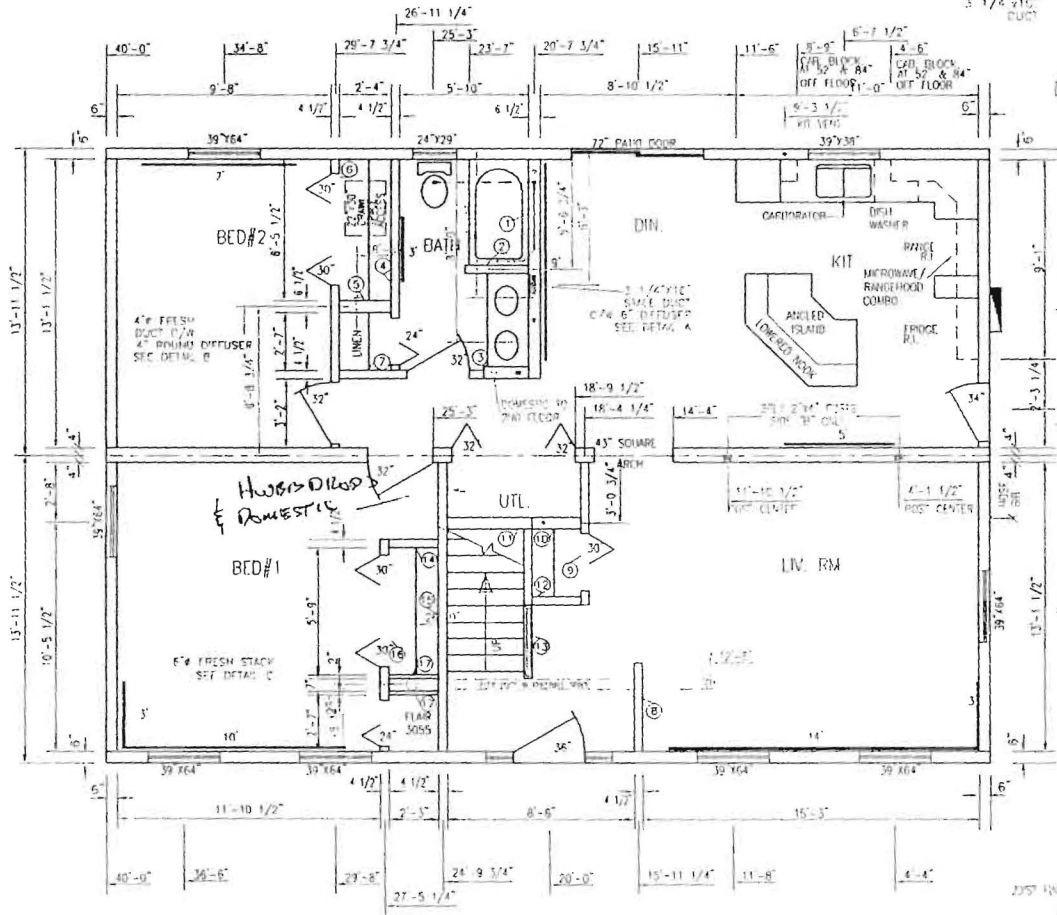
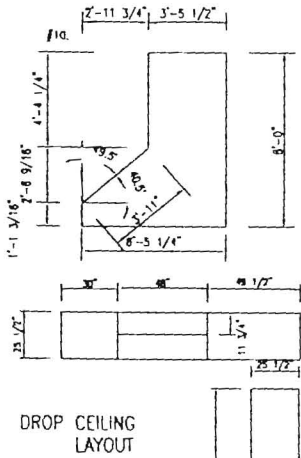
SERIAL # **BATS**  
PLAN # MIS4501  
ORDER # 3826  
CUSTOMER: STOCK #3  
DFAIFR: NORTH STAD





- SIDE "A"**
- #1. 9'-11" 2x6"  
ADD A STUD AT: 5'-0 3/4"  
NO GYPROC, FIRST 59"  
HOLE IN BIM PLATE AT: 5'-0"  
FOR 3 1/4"x10" AIR DUCT
  - #2. 2'-10 1/2"  
ADD A STUD AT: 2'-8"  
NO GYPROC
  - #3. 2'-0" 2x6"
  - #4. 9'-7"  
ADD A STUD AT: 6'-8 1/4"  
25"x81 3/4" OPENING AT: 7'-3"
  - #5. 2'-4" 2x6"  
ADD A STUD AT: 1'-0" LINEN SIDE  
HOLE IN BIM PLATE AT: 1'-8 1/2"  
FOR 4" ROUND AIR DUCT
  - #6. 13'-1 1/2"  
81"x81 3/4" OPENING AT: 7'-4 1/4"  
ADD A STUD AT: 3'-4 1/4", 8'-4 3/4"  
34"x82 1/2" OPENING AT: 0'-2"
  - #7. 6'-8 1/2"  
ADD A STUD AT: 4'-0 1/4", 5'-2 1/2"  
34"x82 1/2" OPENING AT: 0'-9"

- SIDE "B"**
- #8. 4'-0"
  - #9. 6'-5"  
ADD A STUD AT: 2'-8 3/4"  
31"x81 3/4" OPENING AT: 3'-3"
  - #10. 2'-2 1/2" 2x6"
  - #11. 3'-11" 2x6"  
SEE SKETCH
  - #12. 2'-2 1/2"
  - #13. SEE SKETCH
  - #14. 2'-3"
  - #15. 13'-1 1/2"  
ADD A STUD AT: 3'-8 1/4", 9'-8 1/2"  
10'-5 1/2" BED#1 SIDE  
ADD A STUD AT: 2'-8 3/4" UTIL. SIDE
  - #16. 9'-7"  
ADD A STUD AT: 2'-8", 3'-5"  
61"x81 3/4" OPENING AT: 3'-10"  
25"x81 3/4" OPENING AT: 0'-3"
  - #17. 2'-3" 2x3"  
ON FLAT  
NO GYPROC  
2-REOD

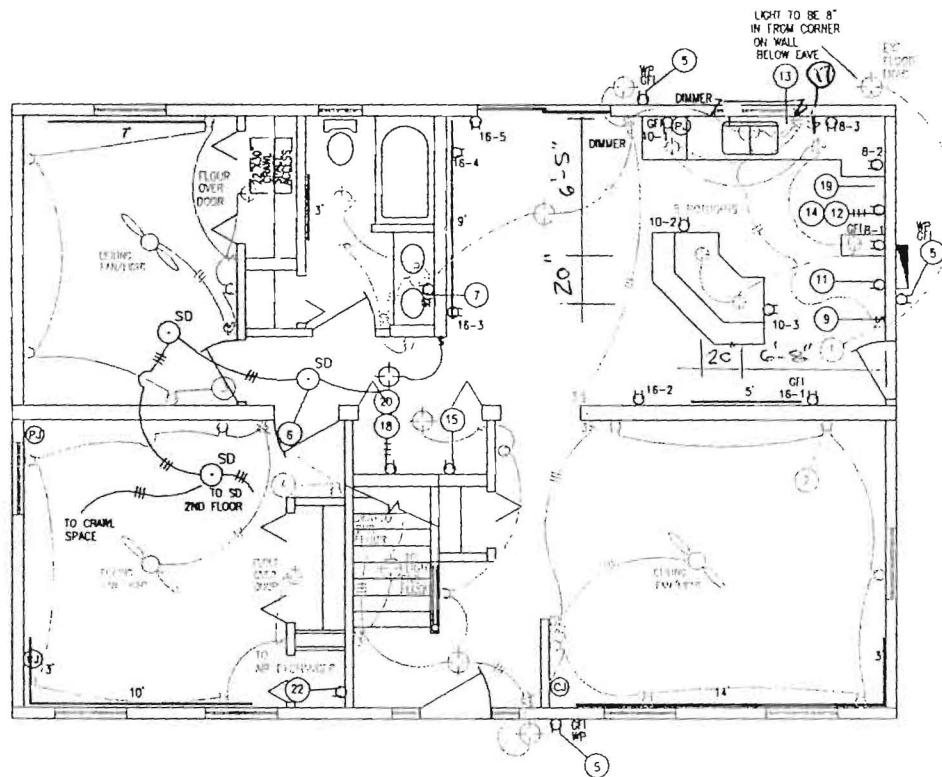


AMERICAN UNIT  
CODE - BOCA  
SERIAL # 8473  
PLAN # UC4501



| CIRCUIT NO. | CIRCUIT DESCRIPTION   | WIRE SIZE | AMP | WIRE SIZE | CIRCUIT DESCRIPTION | WIRE SIZE                  | AMP |
|-------------|-----------------------|-----------|-----|-----------|---------------------|----------------------------|-----|
| 1           | WIRING KIT/DIN        | 14/2      | 15A | 15A       | 14/2                | WIRING KIT/DIN             | 2   |
| 2           | WIRING BED/2          | 14/2      | 15A | 15A       | 14/2                | WIRING BED/2               | 4   |
| 5           | EXTERIOR RECEPTACLE   | 14/2      | 15A | 15A       | 14/2                | SD & HALL LIGHT            | 6   |
| 7           | BATH RECEPTACLE       | 12/2      | 20A | 20A       | 12/2                | KITCHEN COUNTER RECEPTACLE | 8   |
| 9           | FURNACE               | 14/2      | 15A | 20A       | 12/2                | KITCHEN COUNTER RECEPTACLE | 10  |
| 11          | FRODOE                | 12/2      | 20A | 40A       | 8/3                 | RANGE                      | 12  |
| 13          | DISH WASHER           | 12/2      | 20A |           |                     |                            | 14  |
| 15          | WASHER                | 12/2      | 20A | 20A       | 12/2                | DINING RECEPTACLE          | 16  |
| 17          | CARBORATOR            | 12/2      | 20A | 30A       | 10/3                | DRYER                      | 18  |
| 19          | MICROWAVE/RANGE/STOVE | 12/2      | 20A | 20A       | 12/2                | AIR EXCHANGER              | 20  |
| 21          |                       |           |     |           |                     |                            | 22  |
| 23          |                       |           |     |           |                     |                            | 24  |
| 25          |                       |           |     |           |                     |                            | 26  |
| 27          |                       |           |     |           |                     |                            | 28  |
| 29          |                       |           |     |           |                     |                            | 30  |
| 31          |                       |           |     |           |                     |                            | 32  |

PJ'S AND CJ'S TO BE WIRED BACK TO PANEL



AMERICAN PRODUCTS TO BE USED

1. GFI BREAKERS
2. BATH FANS
3. RANGE HOOD
4. ELECTRICAL PANEL AND BREAKERS
5. SMOKE DETECTORS
6. DOOR CHIMES
7. RANGE PLUGS
8. THERMOSTATS MARKED IN FAHRENHEIT

NOTES:

1. USE 100 AMP PANEL (24, 32, 40 CIRCUIT)
2. USE 600 VOLT U.S. WIRE.
3. ALL INTERMODULAR CONNECTIONS TO BE MADE IN JUNCTION BOXES NEAR ATTIC ACCESS.
4. REFER TO PAGE 28 OF MANUAL FOR LOAD CALCULATION DETAILS.
5. TRANSFORMER FOR DOOR CHIME TO BE IN A BOX SCREWED TO PANEL.
6. USE DEEP CEILING BOXES.
7. OFF SET RANGE PLUGS.
8. DEDICATED CIRCUIT MUST HAVE A RECEPTACLE RATED SAME AMPERAGE AS CIRCUIT.
9. TANDEM BREAKERS MAY BE USED TO REPLACE TWO BREAKERS OF THE SAME AMPERAGE WHEN TANDEM BREAKERS ARE USED, THE PANEL BOX AND LEGEND WILL BE RENUMBERED AS REQUIRED.
10. PHONE AND CABLE JACKS WIRED BACK TO PANEL.

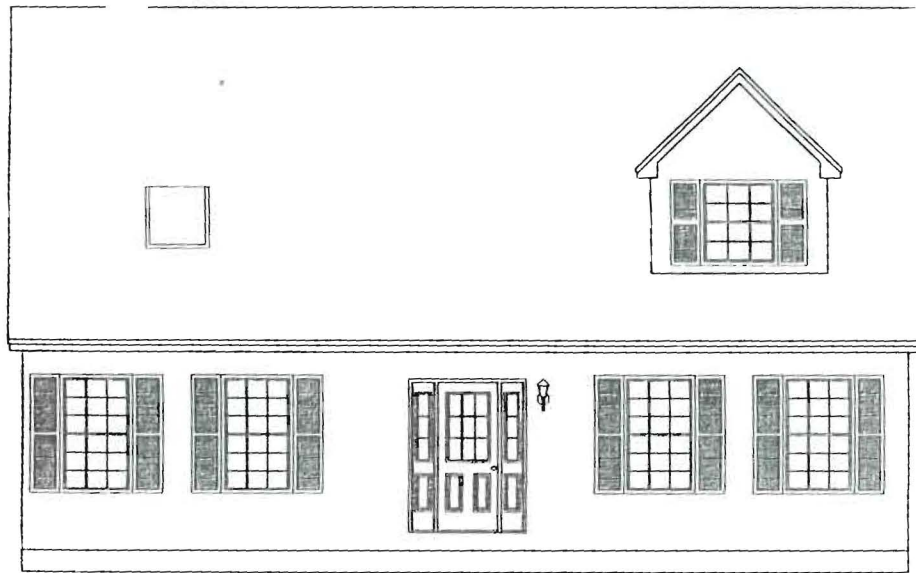
|      |                        |
|------|------------------------|
| ⊖    | RECEPTACLE             |
| S    | SWITCH                 |
| ⊕    | LIGHT FIXTURE          |
| ⊖    | BATH FAN OR RANGE HOOD |
| ⊖ SD | SMOKE DETECTOR         |
| ⊖ PJ | PHONE JACK             |
| ⊖ CJ | CABLE JACK             |
| ⊖ CV | CENTRAL VAC OUTLET     |
| ⊖ T  | THERMOSTAT             |
| ⊖ D  | DEHUMIDISTAT           |

AMERICAN UNIT  
CODE - BOCA

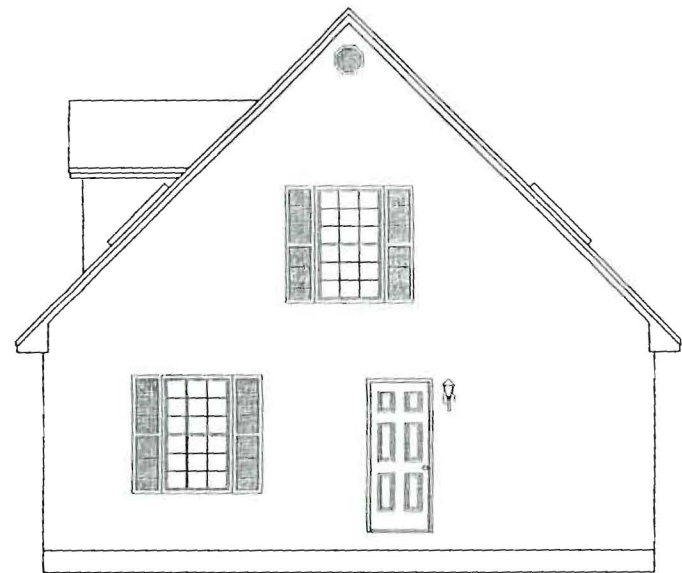
ELECTRICAL PLAN  
SERIAL # 8473  
PLAN # MIS4501  
ORDER # 3826

APPROVED: *[Signature]*

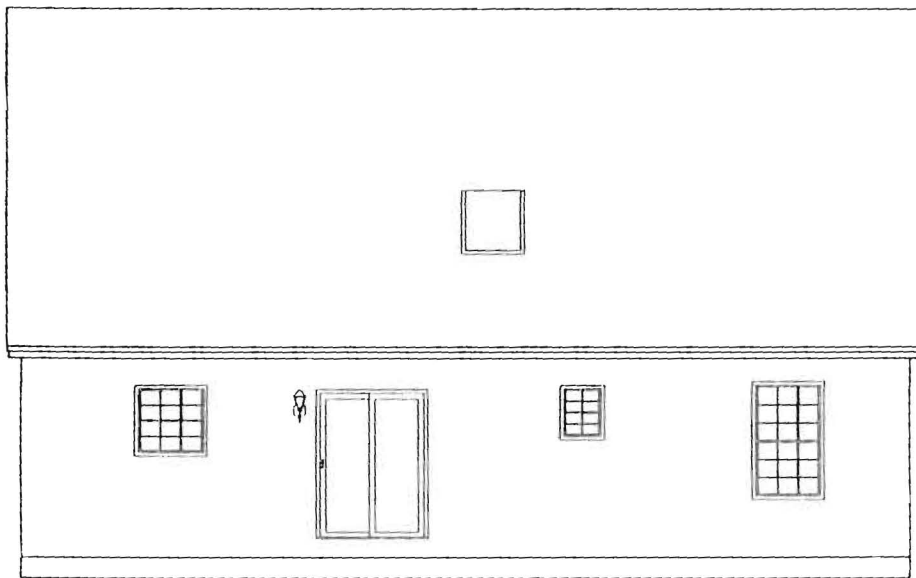
DATE: 05/25/01



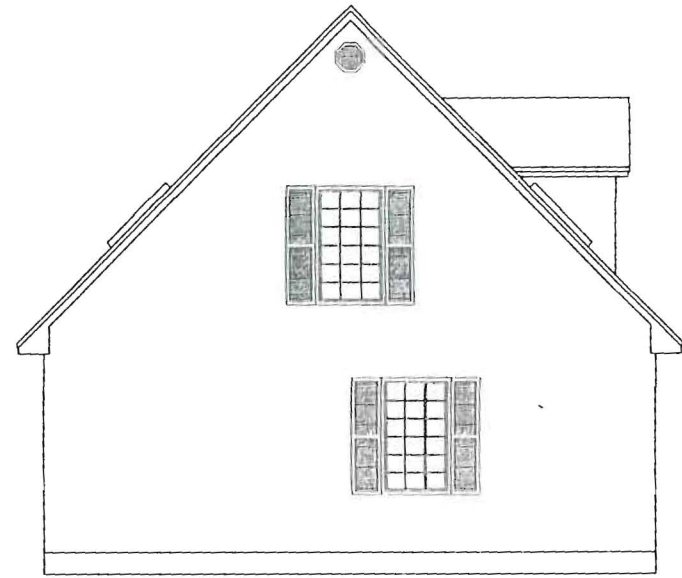
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

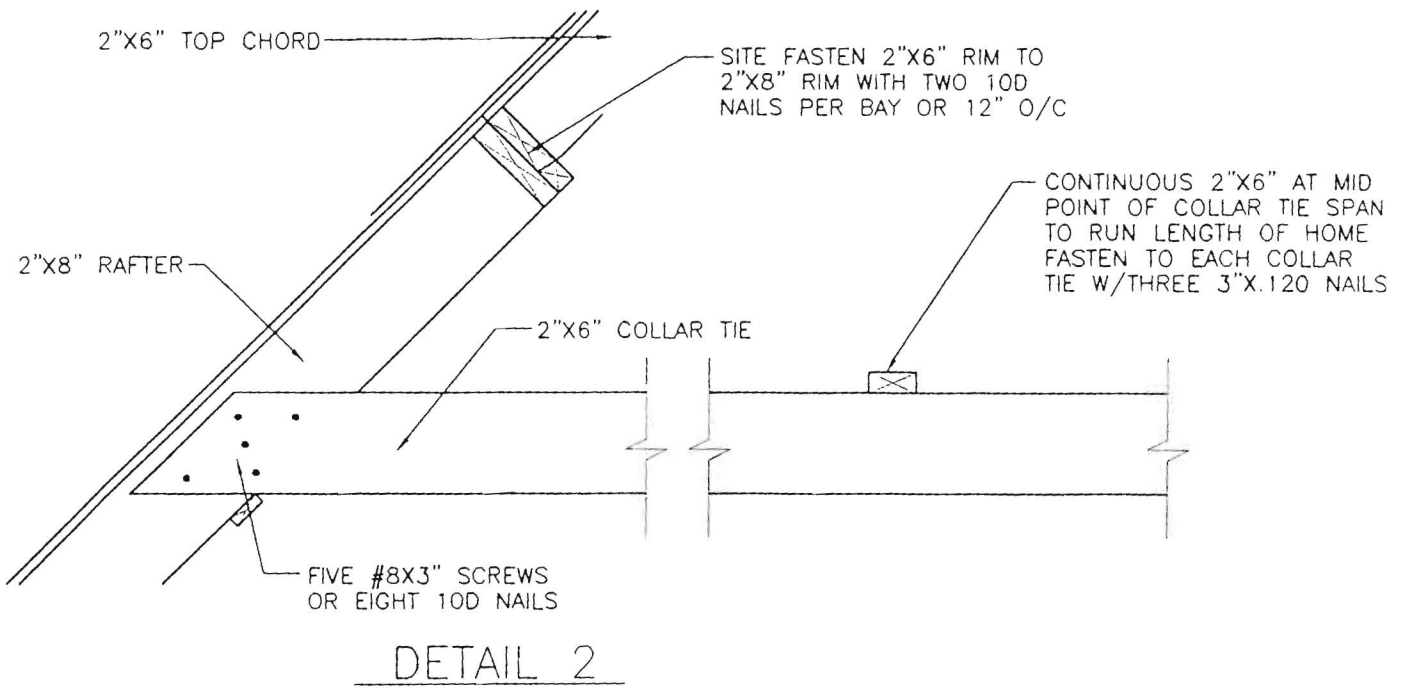
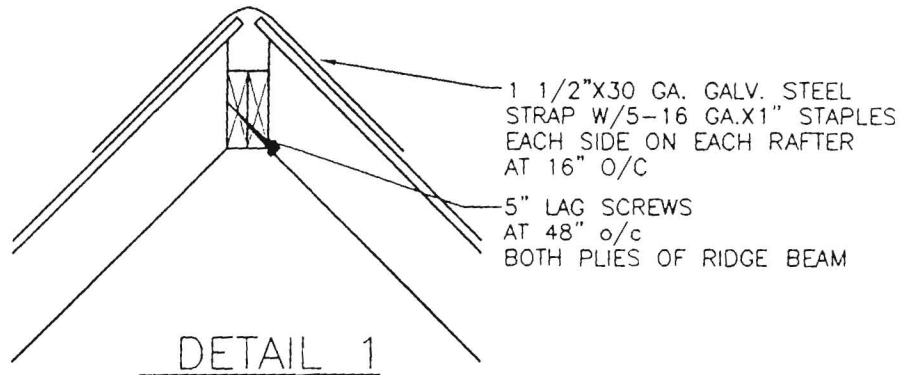


LEFT ELEVATION

| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
 CUSTOMER: STOCK#3  
 DEALER: NORTH STAR  
 FROM: MAPLE LEAF HOMES  
 DATE: AUG 13 2001 (ALB)

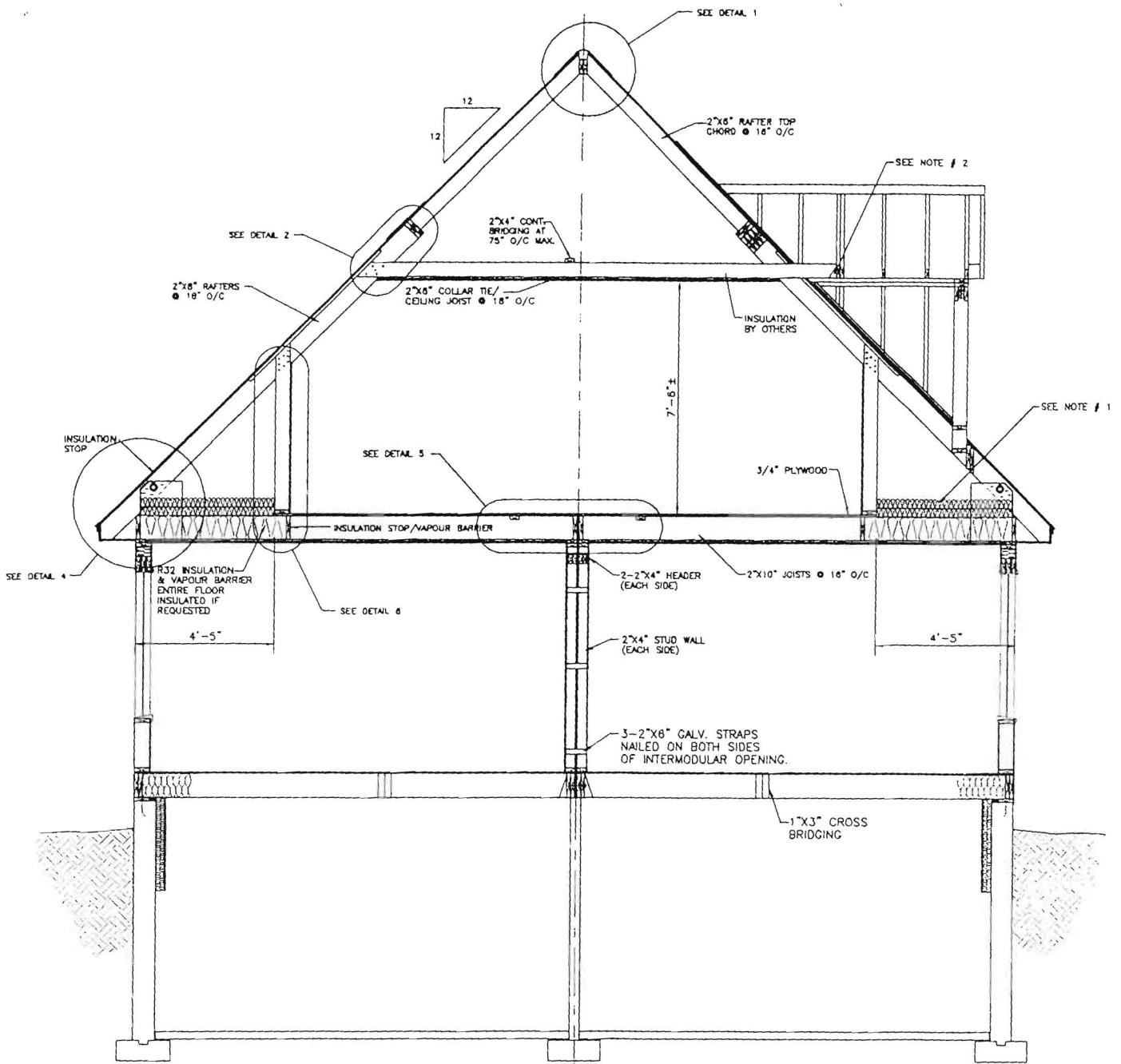
APPROVAL: \_\_\_\_\_  
 NOTE: PLEASE CHECK PLAN AND  
 FAX BACK AFTER SIGNING  
 APPROVAL. THIS PLAN WILL  
 BE USED FOR ORDERING  
 MATERIAL



MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

|                                                           |       |
|-----------------------------------------------------------|-------|
| TITLE: FASTENING DETAILS FOR STANDARD CAPE UP TO 28' WIDE |       |
| REVISION DATE:                                            |       |
| SECTION:                                                  | SM-56 |





SECTION "A-A"

NOTES.

- #1 R12 BATTS OF INSULATION INSTALLED ON SITE OVER FACTORY INSTALLED INSULATION.
- #2 WHEN A-FRAME DORMERS ARE INSTALLED THE COLLAR TIE IS TO BE MOUNTED TO A-FRAME DOUBLE RAFTER WITH JOIST HANGERS



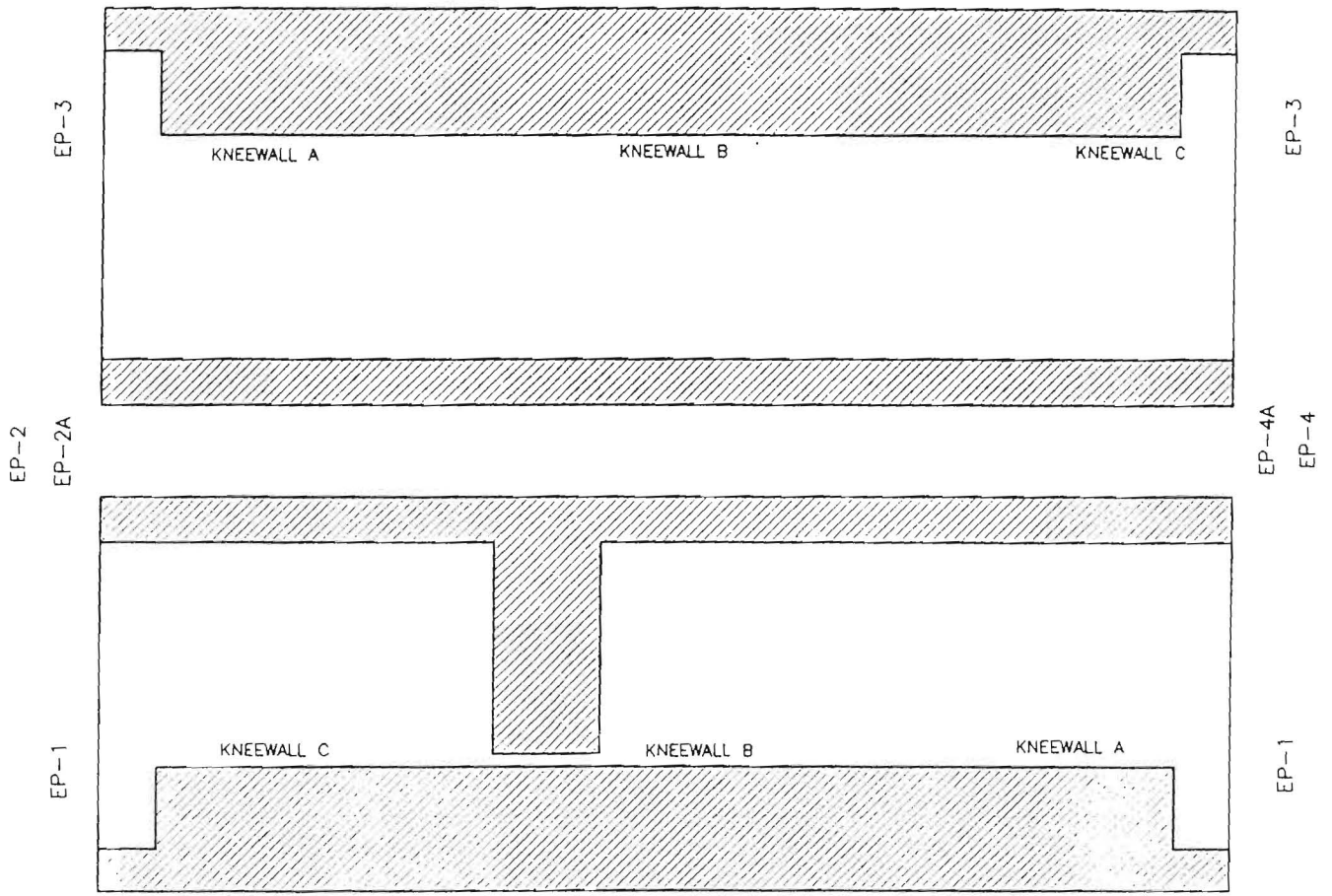
MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

TITLE: TYPICAL SECTION FOR STANDARD CAPE UP TO 28' WIDE

REVISION DATE:

SECTION:

SM-55



### FLOOR DECKING LAYOUT

 AREAS WITH NO PLYWOOD

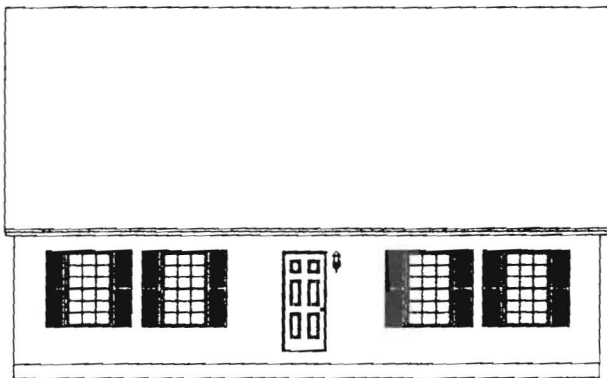
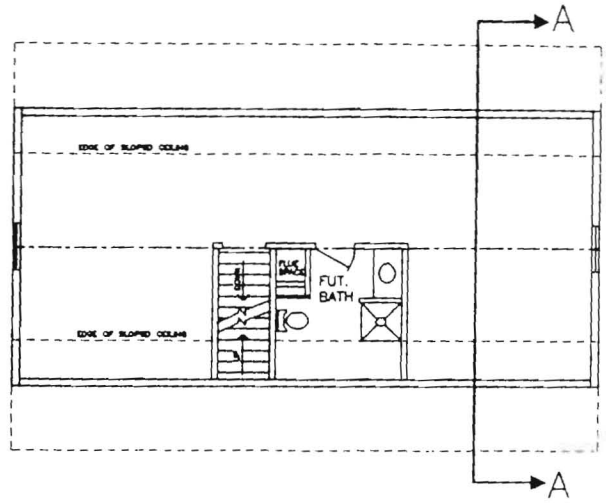
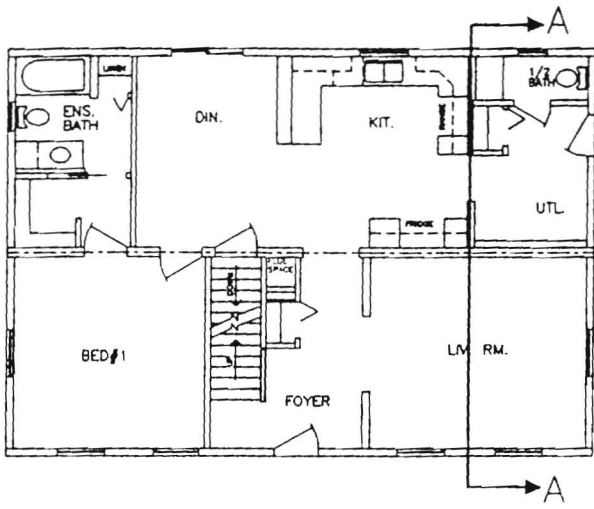
**NOTES:**

1. A UNIT SPECIFIC PLAN WILL BE IN EACH "SET CREW" PACKAGE.
2. THIS PLAN SHOWS THE LOCATION OF KNEEWALLS (KNEEWALL A,B...) AND END PANELS ( EP-1,2,2A...) .EACH PANEL AND KNEEWALL WILL BE MARKED WITH A CORRESPONDING NUMBER.
3. IF MORE THAN ONE PANEL OR KNEEWALL HAS THE SAME MARKING THEIR LOCATIONS WILL BE INTERCHANGEABLE.

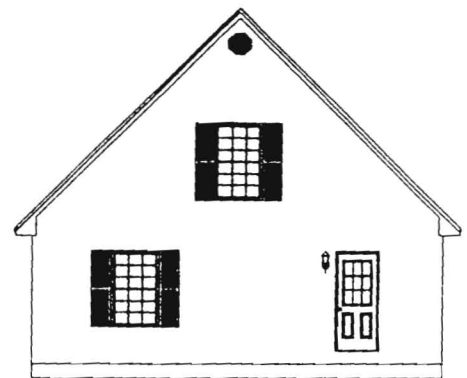


MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

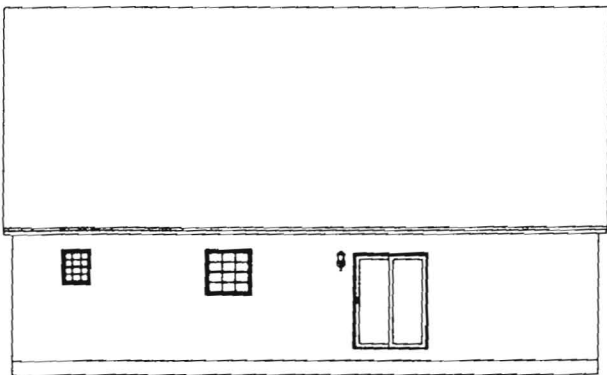
|                                              |       |
|----------------------------------------------|-------|
| TITLE: TYPICAL END PANEL AND KNEEWALL LAYOUT |       |
| REVISION DATE:                               |       |
| SECTION:                                     | SM-54 |



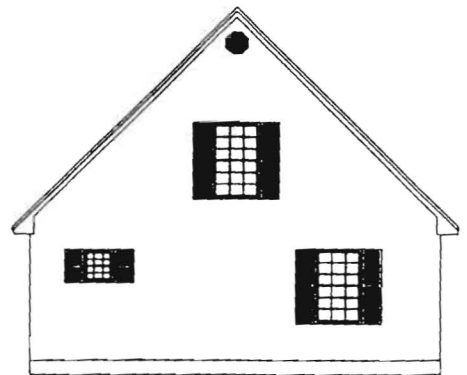
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

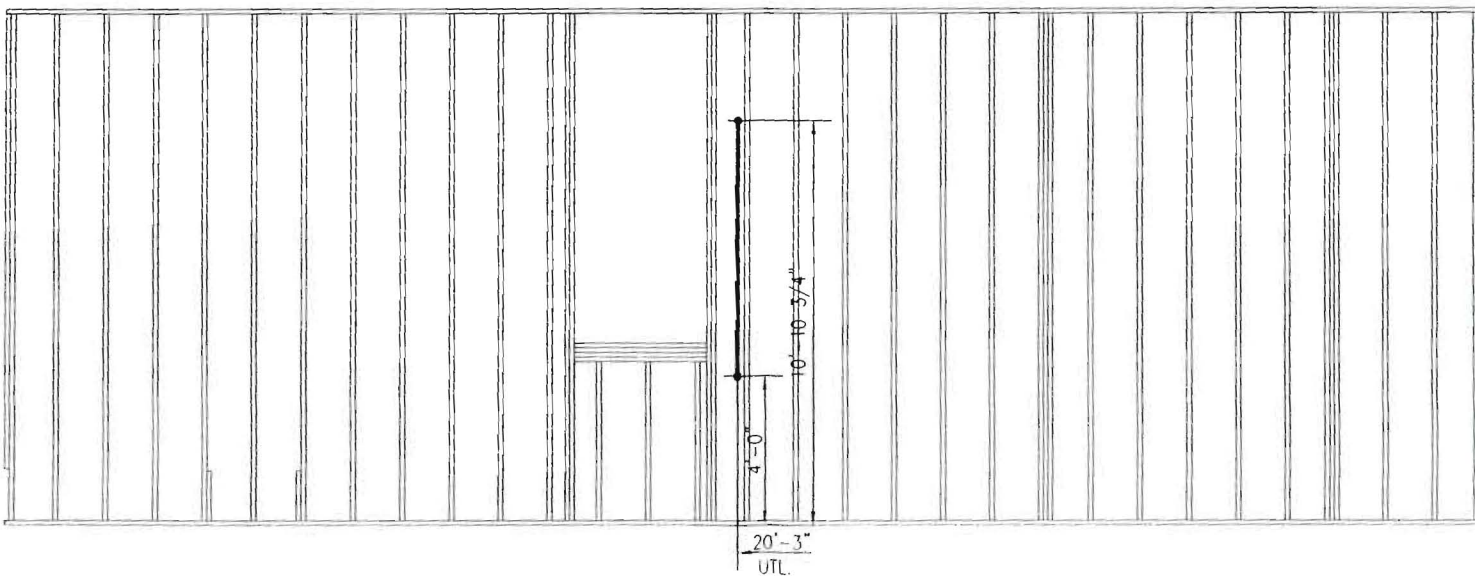
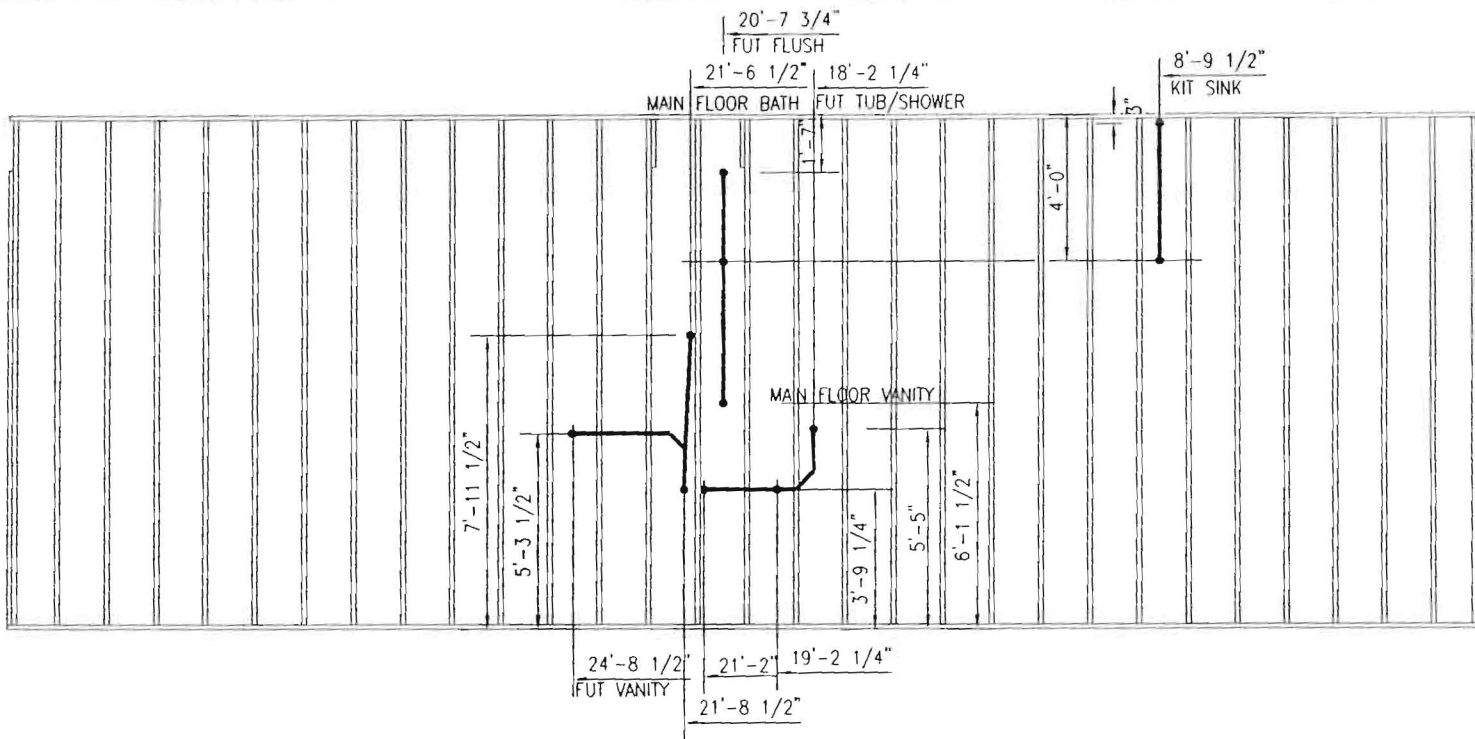
TITLE: TYPICAL FLOOR PLANS & ELEVATIONS  
STANDARD CAPE UP TO 28' WIDE

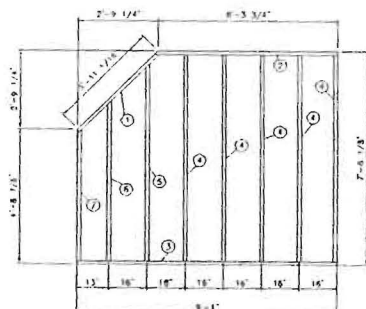
REVISION DATE:

SECTION:

SM-53

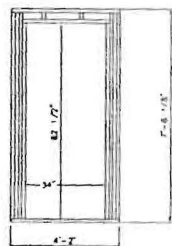






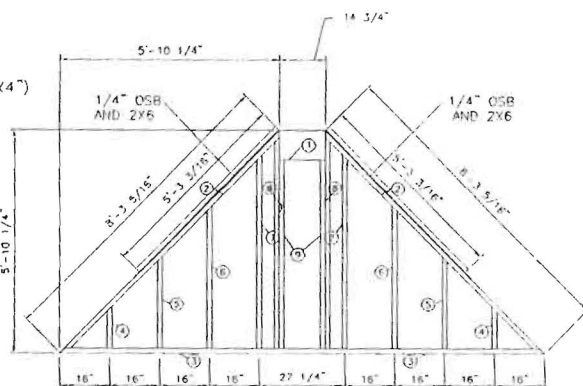
STAIRWELL SIDE WALL (2"x4")  
2 REO'D

| DIMENSIONAL HEADINGS |                     |
|----------------------|---------------------|
| #1                   | 5'-6 1/2" (1-REO'D) |
| #2                   | 4'-5 1/4" (1-REO'D) |
| #3                   | 4'-1" (1-REO'D)     |
| #4                   | 2'-3 1/8" (2-REO'D) |
| #5                   | 5'-6 1/2" (1-REO'D) |
| #6                   | 4'-5 1/4" (1-REO'D) |
| #7                   | 4'-9 3/4" (1-REO'D) |



STAIRWELL FRONT WALL (2"x4")  
1 REO'D

NOTES  
1. FOR USE WITH 1998 DESIGN ONLY.  
2. 1/2" GIBBS ON SILL.

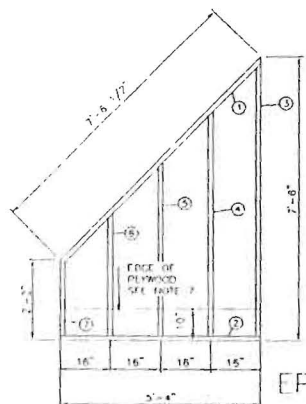


EP-2A

|    |                               |
|----|-------------------------------|
| #1 | 1'-2 3/4" SOLID 2"x10" HEADER |
| #2 | 8'-1 3/16" (2-REO'D)          |
| #3 | 12'-11 1/4" (2-REO'D)         |
| #4 | 1'-1 1/8" (2-REO'D)           |
| #5 | 2'-5 1/8" (2-REO'D)           |
| #6 | 3'-9 1/8" (2-REO'D)           |
| #7 | 5'-1 1/8" (2-REO'D)           |
| #8 | 5'-6 5/8" (2-REO'D)           |
| #9 | 4'-11 1/2" (2-REO'D)          |

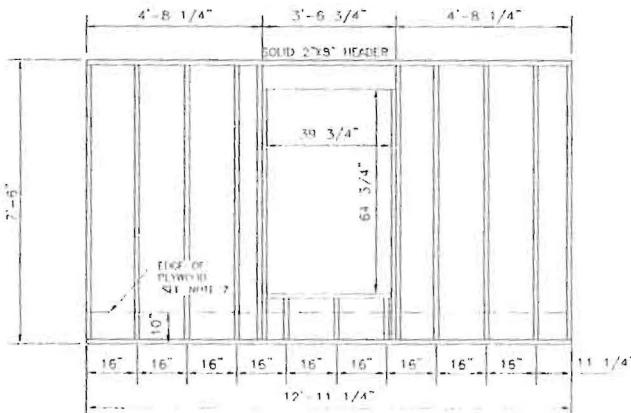
1/2" PLYWOOD & 2"x6"

3/8" PLYWOOD  
WALL SHEATHING



EP-1

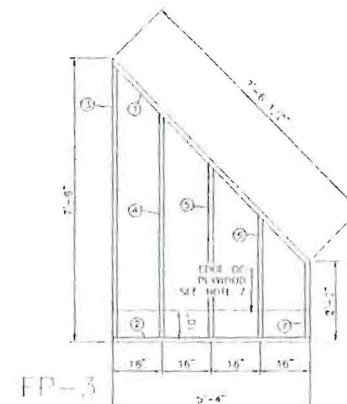
|    |                      |    |                      |
|----|----------------------|----|----------------------|
| #1 | 7'-6 1/2" (1-REO'D)  | #5 | 4'-7 1/8" (1-REO'D)  |
| #2 | 5'-4" (1-REO'D)      | #6 | 3'-3 1/8" (1-REO'D)  |
| #3 | 7'-2 3/8" (1-REO'D)  | #7 | 1'-11 7/8" (1-REO'D) |
| #4 | 5'-11 1/8" (1-REO'D) |    |                      |



EP-2

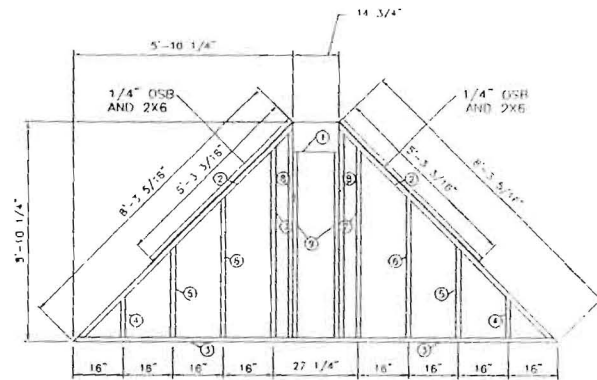
NOTES

1. FOR USE WITH 1998 DESIGN ONLY; 28" WIDE UNITS.
2. PLYWOOD SHEATHING ON THIS FACE OF WALL CLIPPED AND NAILED TO STUDS.
3. LEAVE SHEATHING UP 10" FROM BOTTOM OF WALL.
4. IF 2 WALLS ARE REQUIRED, SHEATH OPPOSITE FACES OF WALLS.
5. WALL IS 2"x6" CONSTRUCTION.
6. SHEATHING TO BE INSTALLED VERTICALLY.
7. INSTALL 2"x3" BLOCKING ON ITS FLAT CENTERED AT LINE OF PLYWOOD WHERE SHOWN.
8. FIRE BLOCKING WHERE SHOWN TO BE 2"x6" ON ITS EDGE.



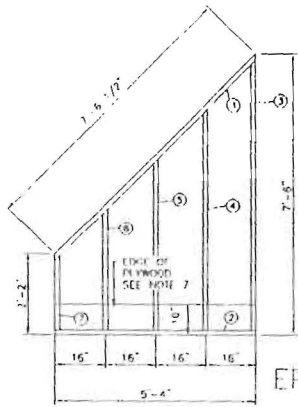
EP-3

|    |                      |    |                      |
|----|----------------------|----|----------------------|
| #1 | 7'-6 1/2" (1-REO'D)  | #5 | 4'-7 1/8" (1-REO'D)  |
| #2 | 5'-4" (1-REO'D)      | #6 | 3'-5 1/8" (1-REO'D)  |
| #3 | 7'-2 3/8" (1-REO'D)  | #7 | 1'-11 7/8" (1-REO'D) |
| #4 | 5'-11 1/8" (1-REO'D) |    |                      |

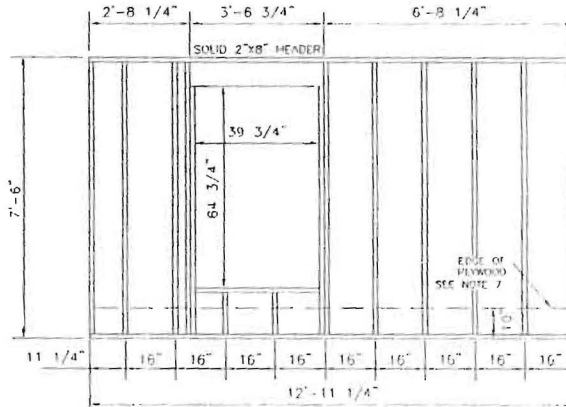


- #1. 1'-2 3/4" SOLID 2"x10" HEADER
  - #2. 8'-1 3/16" (2-REQ'D)
  - #3. 12'-11 1/4" (2-REQ'D)
  - #4. 1'-1 1/8" (2-REQ'D)
  - #5. 2'-5 1/8" (2-REQ'D)
  - #6. 3'-9 1/8" (2-REQ'D)
  - #7. 5'-1 1/8" (2-REQ'D)
  - #8. 5'-6 5/8" (2-REQ'D)
  - #9. 4'-11 1/2" (2-REQ'D)
- 1/2" PLYWOOD @ 2"x6"

3/8" PLYWOOD WALL SHEATHING

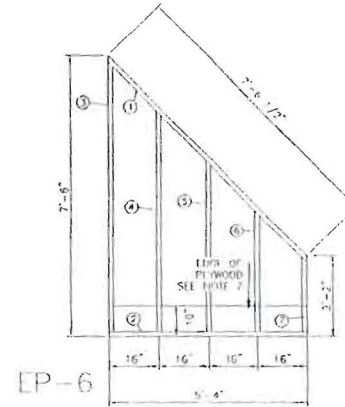


- #1. 7'-6 1/2" (1-REQ'D)
- #2. 5'-4" (1-REQ'D)
- #3. 7'-2 3/8" (1-REQ'D)
- #4. 5'-11 1/8" (1-REQ'D)
- #5. 4'-7 1/8" (1-REQ'D)
- #6. 3'-3 1/8" (1-REQ'D)
- #7. 1'-11 7/8" (1-REQ'D)



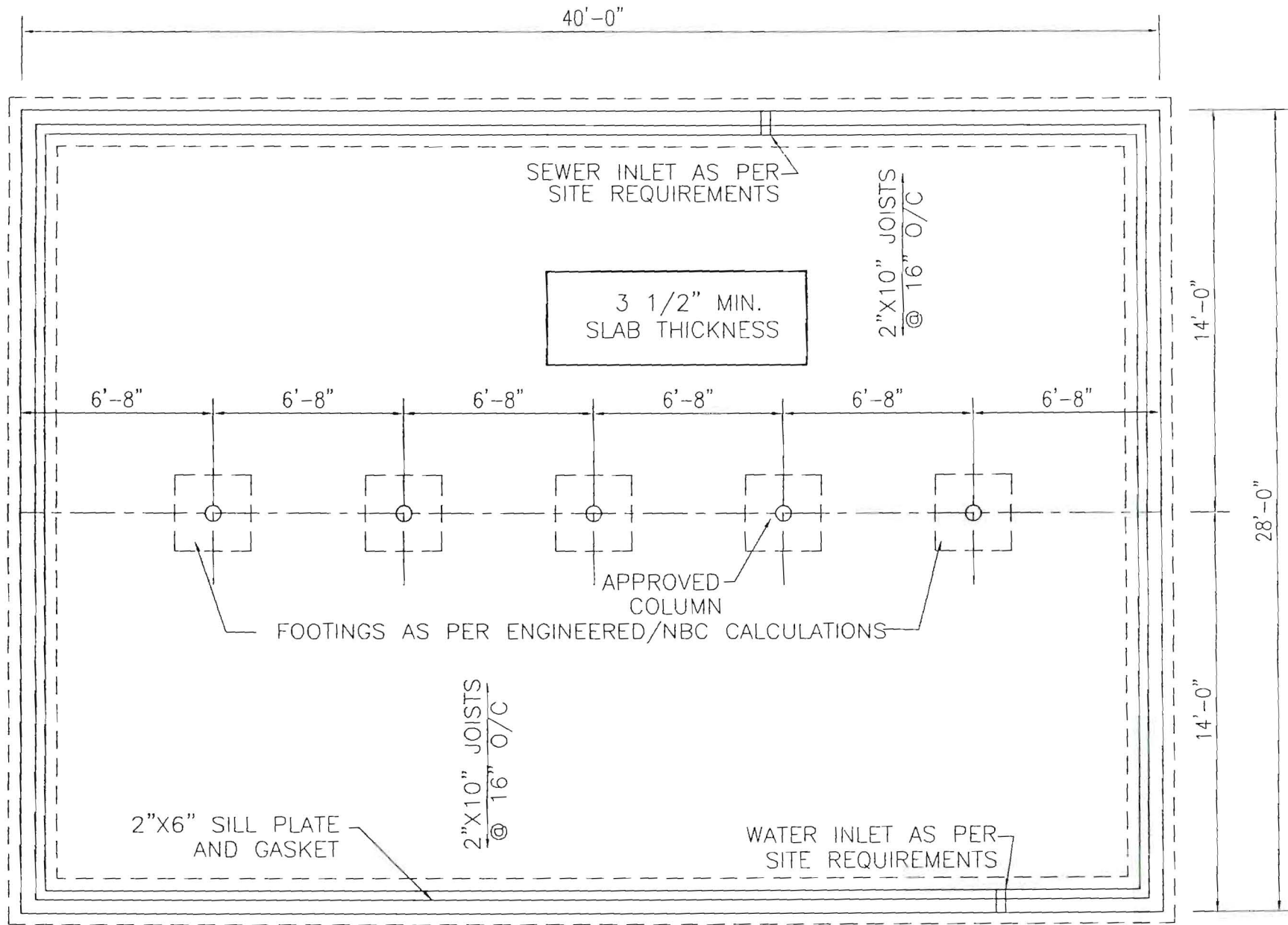
NOTES:

1. FOR USE WITH 1998 DESIGN ONLY; 28" WIDE UNITS.
2. PLYWOOD SHEATHING ON THIS FACE OF WALL CLIED AND NAILLED TO STUDS.
3. LEAVE SHEATHING UP 16" FROM BOTTOM OF WALL.
4. IF 2 WALLS ARE REQUIRED, SHEATH OPPOSITE FACES OF WALLS.
5. WALL IS 2"x6" CONSTRUCTION.
6. SHEATHING TO BE INSTALLED VERTICALLY.
7. INSTALL 2"x6" BLOCKING ON ITS FLAT CENTERED AT EDGE OF PLYWOOD WHERE SHOWN.
8. FIRE BLOCKING WHERE SHOWN TO BE 2"x6" ON ITS EDGE.



- #1. 7'-6 1/2" (1-REQ'D)
- #2. 5'-4" (1-REQ'D)
- #3. 7'-2 3/8" (1-REQ'D)
- #4. 5'-11 1/8" (1-REQ'D)
- #5. 4'-7 1/8" (1-REQ'D)
- #6. 3'-3 1/8" (1-REQ'D)
- #7. 1'-11 7/8" (1-REQ'D)





SHEET 1 OF 2 - REFERENCE SHEET 2 OF 2 FOR NOTES

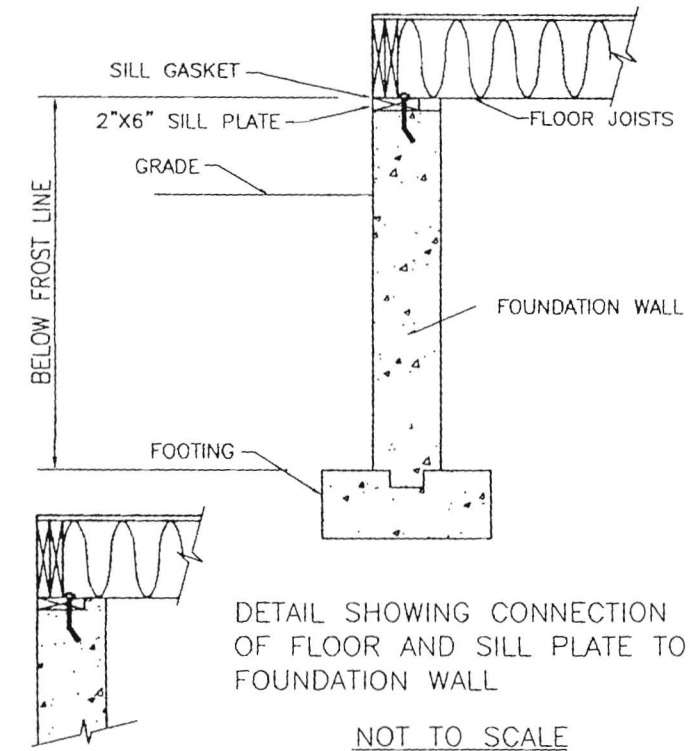
| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
 CUSTOMER: STOCK#3  
 DEALER: NORTH STAR  
 FROM: MAPLE LEAF HOMES  
 DATE: AUG 13 2001 (ALB)

APPROVAL: \_\_\_\_\_  
 NOTE: PLEASE CHECK PLAN AND FAX BACK AFTER SIGNING APPROVAL. THIS PLAN WILL BE USED FOR ORDERING MATERIAL.

NOTES:

- #1. FLOOR DRAIN (IF REQ'D) IS TO RUN TO A SUITABLE SIZE DRAINAGE SYSTEM.
- #2. PVC DRAIN TILE TO BE PLACED AROUND PERIMETER OF FOOTINGS AND BE CONNECTED TO A SUITABLE SIZE DRYWELL OR STORMSEWER.
- #3. THIS PLAN IS INTENDED TO SHOW DIMENSIONS ONLY. IT IS THE DEALER/CONTRACTOR'S RESPONSIBILITY TO DETERMINE THICKNESS & FOOTING SIZES AS PER THE LATEST ADOPTED VERSION OF THE BOCA BUILDING CODE FOR THE AREA CONSTRUCTION IS TO TAKE PLACE.
- #4. WINDOW LOCATIONS OR BASEMENT ENTRANCES AND ROUGH OPENINGS FOR SAME ARE TO BE PROVIDED BY HOMEOWNER OR CONTRACTOR BEFORE CONSTRUCTION IS BEGUN.
- #5. OPENING CENTER LINES SHOWN, IF ANY, MATCH THOSE OF OPENINGS UPSTAIRS.
- #6. ANCHOR BOLTS TO BE 1/2"Ø AND HAVE MIN. PENETRATION OF 8" IN CONCRETE WALL AND 15" INTO MASONRY WALL AND BE SPACED AT 6'-0" O/C MAX.
- #7. THIS FOUNDATION APPLIES TO DRAWING No. MIS4501 DATED AUG 13 2001



ALTERNATIVE PLACEMENT OF SILL PLATE

FOUNDATION PLAN  
NOT TO SCALE

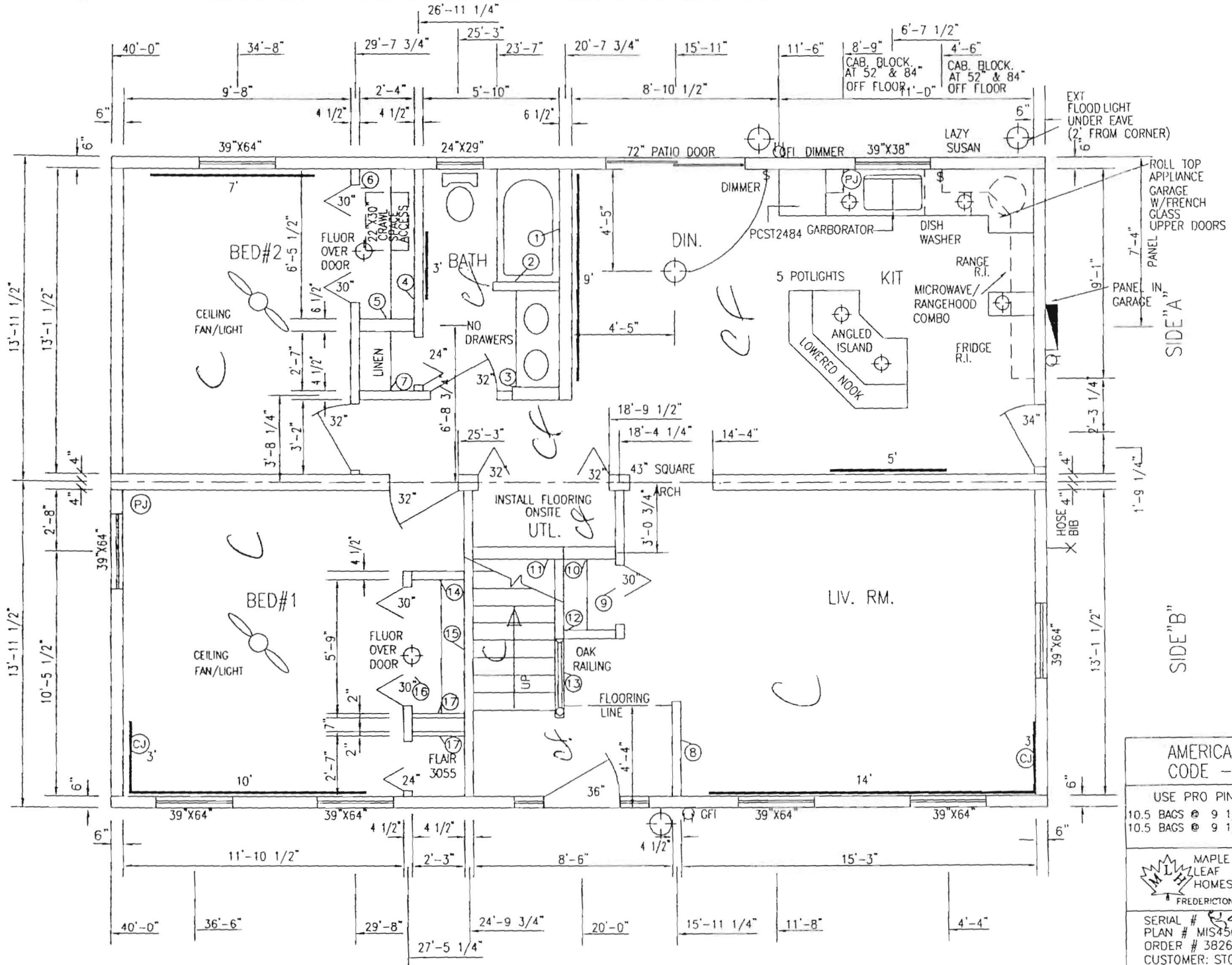
SHEET 2 OF 2 - REFERENCE SHEET 1 OF 2 FOR FOUNDATION PLAN

| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
CUSTOMER: STOCK#3  
DEALER: NORTH STAR  
FROM: MAPLE LEAF HOMES  
DATE: AUG 13 2001 (ALB)

APPROVAL. \_\_\_\_\_  
NOTE: PLEASE CHECK PLAN AND FAX BACK AFTER SIGNING APPROVAL. THIS PLAN WILL BE VOID

LEAVE OFF BOTTOM 2 COURSES OF SIDING ON REAR ONLY



AMERICAN UNIT  
CODE - BOCA

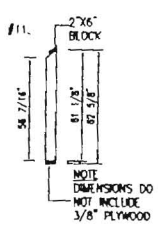
USE PRO PINK INSULATION  
10.5 BAGS @ 9 1/4" DEEP SIDE "A"  
10.5 BAGS @ 9 1/4" DEEP SIDE "B"

MAPLE LEAF  
HOMES INC.  
FREDERICTON, N.B.

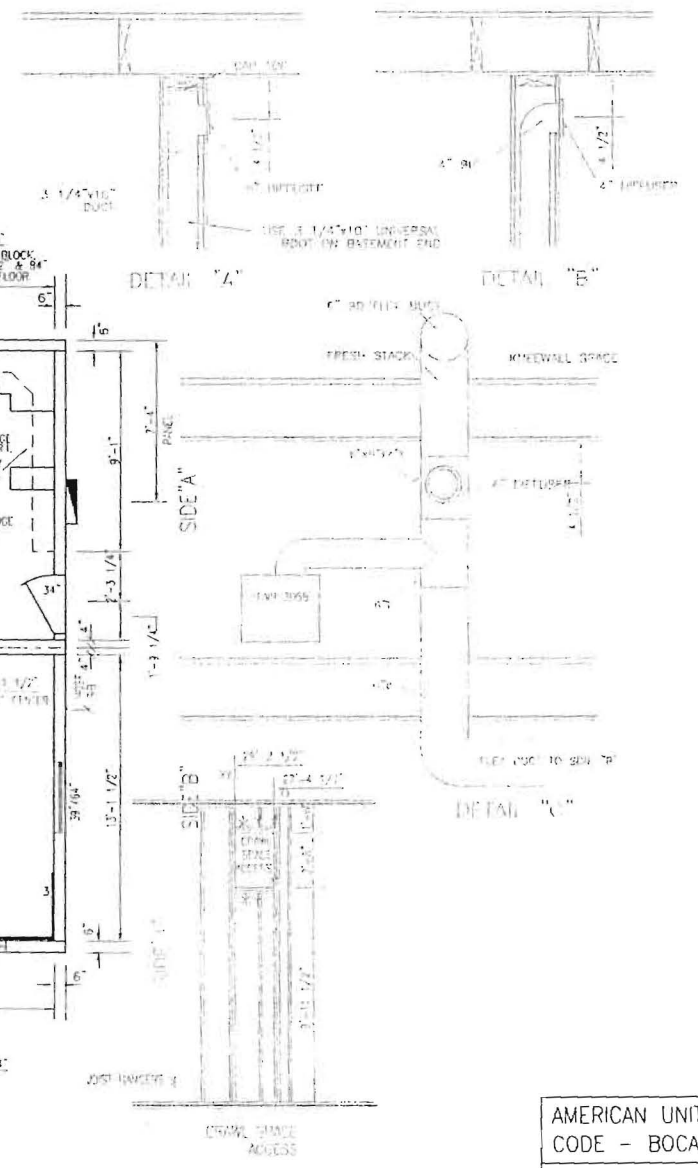
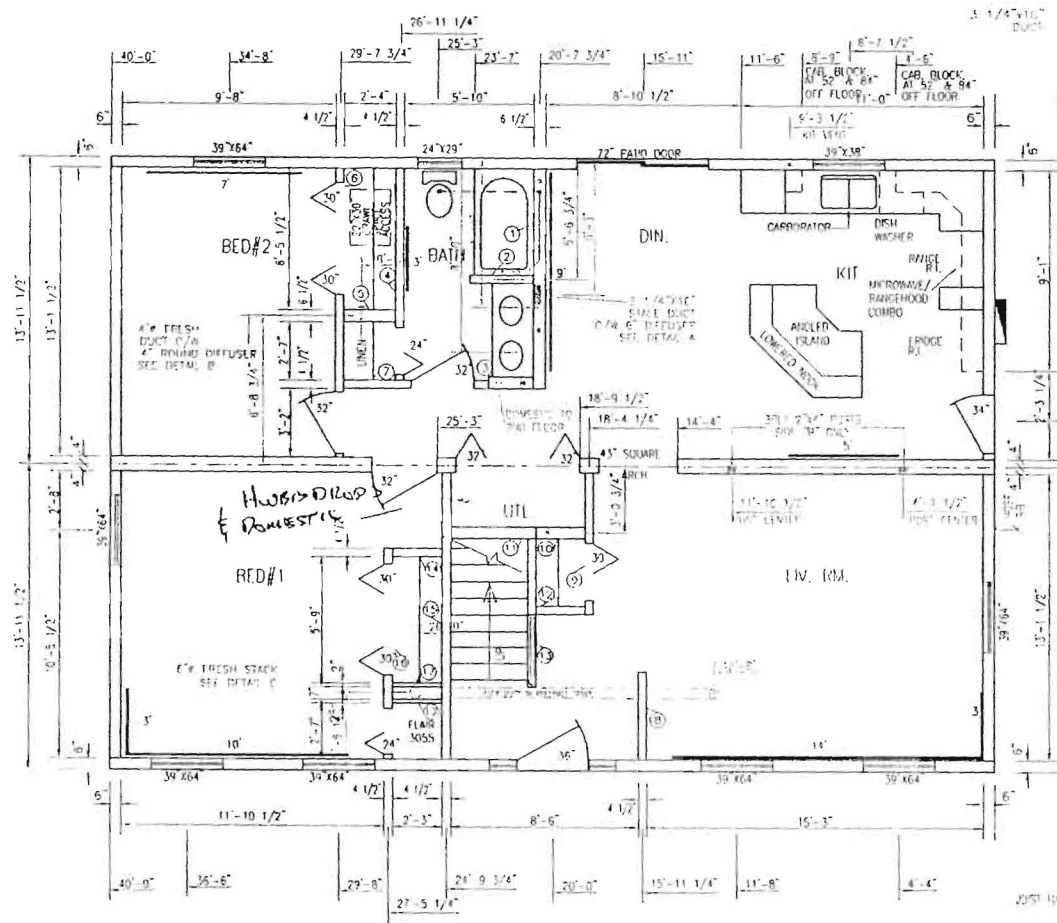
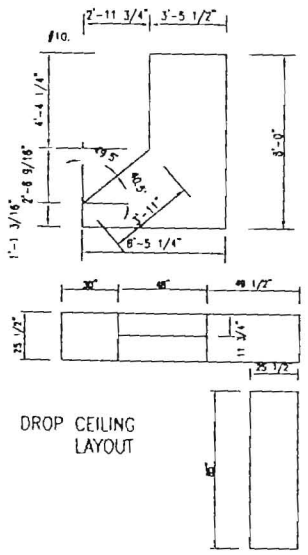
**UNIT COPY**

SERIAL # *845*  
PLAN # MIS4501  
ORDER # 3826  
CUSTOMER: STOCK #3  
DEALER: NORTH STAR





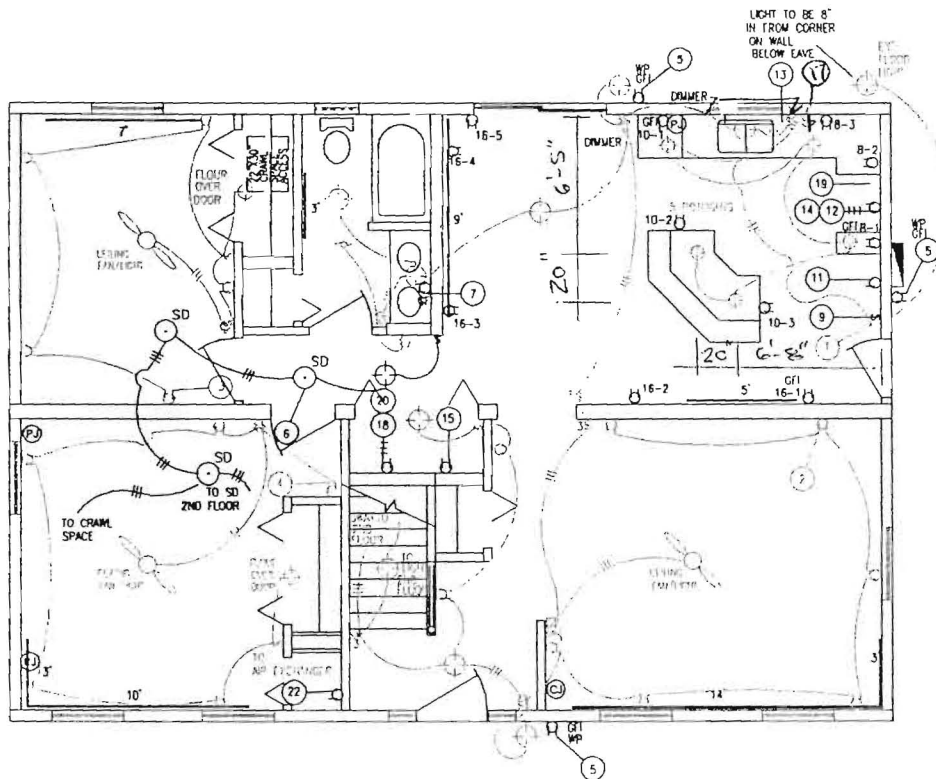
- SIDE "A"**
- #1. 9'-11" 2x6"  
ADD A STUD AT: 5'-0 3/4"  
NO GYPROC FIRST 5'  
HOLE IN BTM PLATE AT: 5'-9"  
FOR 3 1/4"X10" AIR DUCT
  - #2. 2'-10 1/2"  
ADD A STUD AT: 2'-8"  
NO GYPROC
  - #3. 2'-0" 2x6"
  - #4. 9'-7"  
ADD A STUD AT: 6'-8 1/4"  
25x81 3/4" OPENING AT: 7'-3"
  - #5. 2'-4" 2x6"  
ADD A STUD AT: 1'-0" LINEN SIDE  
HOLE IN BTM PLATE AT: 1'-6 1/2"  
FOR 4" ROUND AIR DUCT
  - #6. 13'-1 1/2"  
61x81 3/4" OPENING AT: 7'-4 1/4"  
ADD A STUD AT: 3'-4 1/4", 6'-4 3/4"  
34x82 1/2" OPENING AT: 0'-2"
  - #7. 6'-6 1/2"  
ADD A STUD AT: 4'-0 1/4", 5'-2 1/2"  
34x82 1/2" OPENING AT: 0'-9"
- SIDE "B"**
- #8. 4'-0"
  - #9. 6'-5"  
ADD A STUD AT: 2'-8 3/4"  
31x81 3/4" OPENING AT: 3'-5"
  - #10. 2'-2 1/2" 2x6"
  - #11. 3'-11" 2x6"  
SEE SKETCH
  - #12. 2'-2 1/2"
  - #13. SEE SKETCH
  - #14. 2'-3"
  - #15. 13'-1 1/2"  
ADD A STUD AT: 5'-8 1/4", 9'-8 1/2",  
10'-5 1/2" BED/1 SIDE  
ADD A STUD AT: 2'-8 3/4" UTIL. SIDE
  - #16. 9'-7"  
ADD A STUD AT: 2'-8", 3'-5"  
ON FLAT  
61x81 3/4" OPENING AT: 3'-10"  
25x81 3/4" OPENING AT: 0'-5"  
NO GYPROC  
2-RED'D
  - #17. 2'-3" 2x3"  
NO GYPROC  
2-RED'D



AMERICAN UNIT  
CODE - BOCA  
SERIAL # 8473  
PLAN # MIS4501

| CIRCUIT | CIRCUIT DESCRIPTION | AMP  | TYPE | WPS | WPS  | CIRCUIT DESCRIPTION        | WPS | WPS |
|---------|---------------------|------|------|-----|------|----------------------------|-----|-----|
| 1       | WIRING KIT/DM       | 14/2 | 15A  | 15A | 14/2 | WIRING LIV RM              |     | 2   |
| 3       | WIRING BEDRM        | 14/2 | 15A  | 15A | 14/2 | WIRING BEDRM               |     | 4   |
| 5       | EXTERIOR RECEPTACLE | 14/2 | 15A  | 15A | 14/2 | SD & HALL LIGHT            |     | 6   |
| 7       | BATH RECEPTACLE     | 12/2 | 20A  | 20A | 12/2 | KITCHEN COUNTER RECEPTACLE |     | 8   |
| 9       | FURNACE             | 14/2 | 15A  | 20A | 12/2 | KITCHEN COUNTER RECEPTACLE |     | 10  |
| 11      | FREEZE              | 14/2 | 20A  | 40A | 8/2  | RANGE                      |     | 12  |
| 13      | DISH WASHER         | 12/2 | 20A  |     |      |                            |     | 14  |
| 15      | WASHER              | 12/2 | 20A  | 20A | 12/2 | DINING RECEPTACLE          |     | 16  |
| 17      | CARBORATOR          | 12/2 | 20A  | 30A | 10/3 | DRYER                      |     | 18  |
| 19      | MICROWAVE/RANGEHOOD | 12/2 | 20A  |     |      |                            |     | 20  |
| 21      |                     |      |      | 20A | 12/2 | AIR EXCHANGER              |     | 22  |
| 23      |                     |      |      |     |      |                            |     | 24  |
| 25      |                     |      |      |     |      |                            |     | 26  |
| 27      |                     |      |      |     |      |                            |     | 28  |
| 29      |                     |      |      |     |      |                            |     | 30  |
| 31      |                     |      |      |     |      |                            |     | 32  |

PJ'S AND CJ'S TO BE WIRED BACK TO PANEL



AMERICAN PRODUCTS TO BE USED

1. GFI BREAKERS
2. BATH FANS
3. RANGE HOOD
4. ELECTRICAL PANEL AND BREAKERS
5. SMOKE DETECTORS
6. DOOR CHIMES
7. RANGE PLUGS
8. THERMOSTATS MARKED IN FAHRENHEIT

NOTES:

1. USE 100 AMP PANEL (24, 32, 40 CIRCUIT)
2. USE 600 VOLT U.S. WIRE.
3. ALL INTERMODULAR CONNECTIONS TO BE MADE IN JUNCTION BOXES NEAR ATTIC ACCESS.
4. REFER TO PAGE 28 OF MANUAL FOR LOAD CALCULATION DETAILS.
5. TRANSFORMER FOR DOOR CHIME TO BE IN A BOX SCREWED TO PANEL.
6. USE DEEP CEILING BOXES.
7. GFI SET RANGE PLUGS.
8. DEDICATED CIRCUIT MUST HAVE A RECEPTACLE RATED SAME AMPERAGE AS CIRCUIT.
9. TANDEM BREAKERS MAY BE USED TO REPLACE TWO BREAKERS OF THE SAME AMPERAGE WHEN TANDEM BREAKERS ARE USED. THE PANEL BOY AND LEGEND WILL BE RENUMBERED AS REQUIRED.
10. PHONE AND CABLE JACKS WIRED BACK TO PANEL.

|    |                        |
|----|------------------------|
| R  | RECEPTACLE             |
| S  | SWITCH                 |
| L  | LIGHT FIXTURE          |
| B  | BATH FAN OR RANGE HOOD |
| SD | SMOKE DETECTOR         |
| PJ | PHONE JACK             |
| CJ | CABLE JACK             |
| C  | CENTRAL VAC OUTLET     |
| T  | THERMOSTAT             |
| D  | DEHUMIDISTAT           |

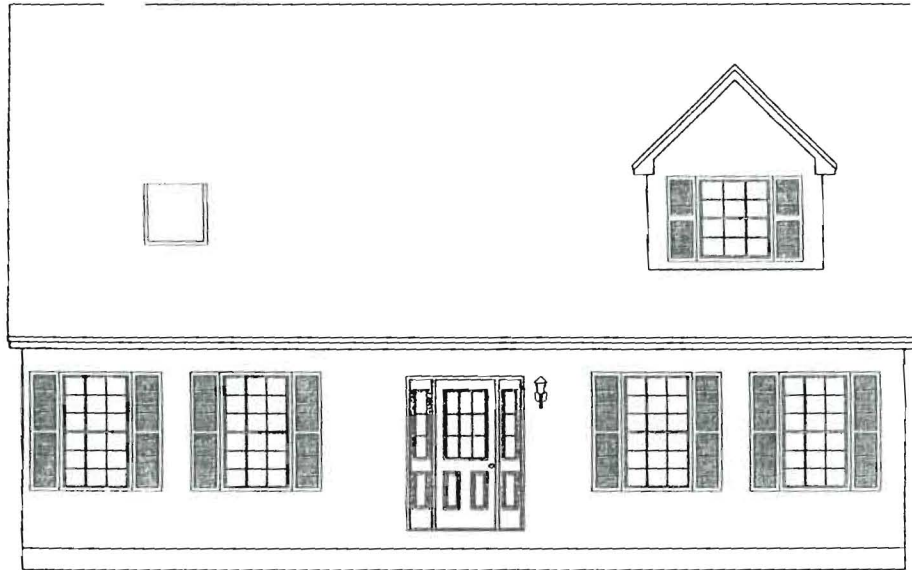
AMERICAN UNIT  
CODE - BOCA

ELECTRICAL PLAN  
SERIAL # 8473  
PLAN # MIS4501  
ORDER # 3826

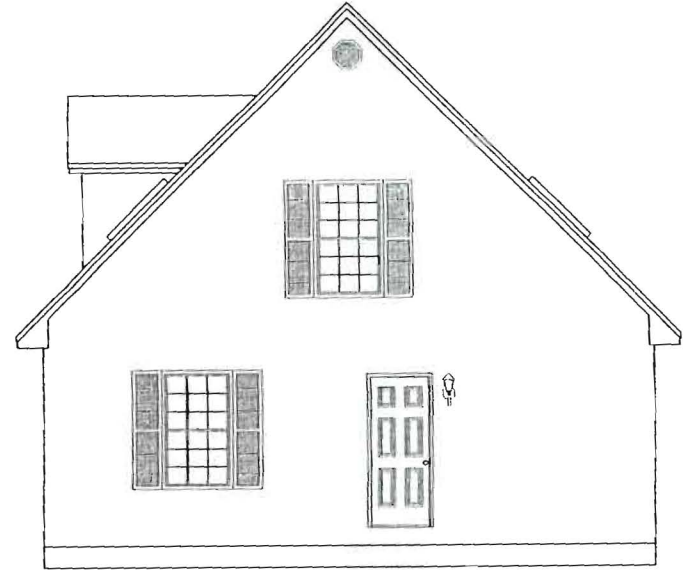
APPROVED: *[Signature]*

DATE: OCT 25/01

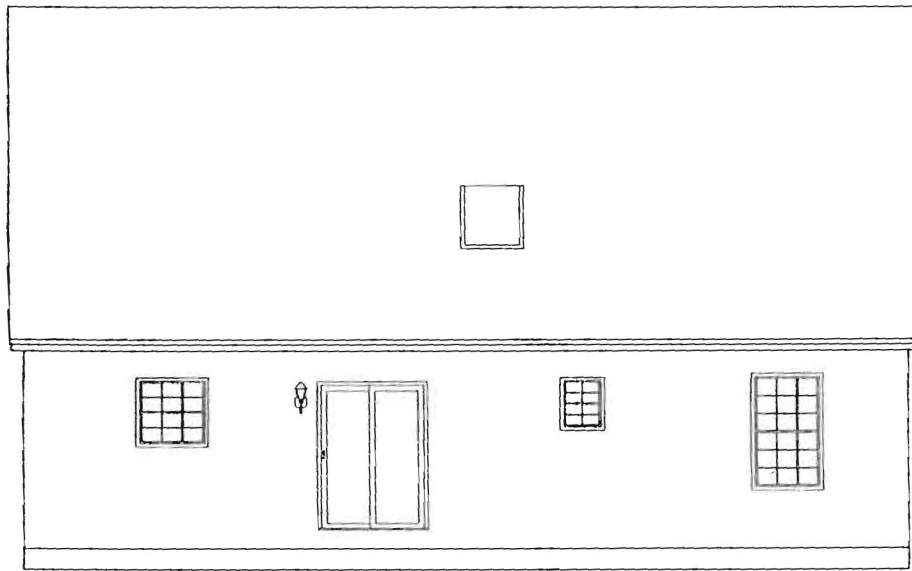
0012 15/01



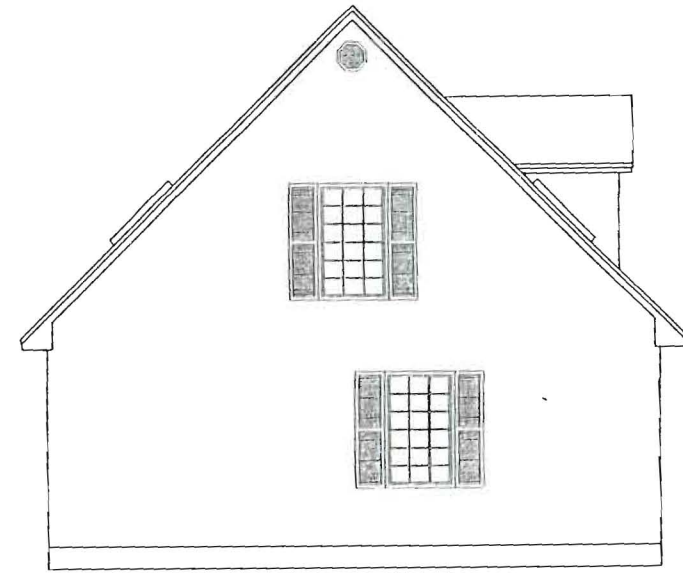
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
 CUSTOMER: STOCK#3  
 DEALER: NORTH STAR  
 FROM: MAPLE LEAF HOMES  
 DATE: AUG 13 2001

(ALB)

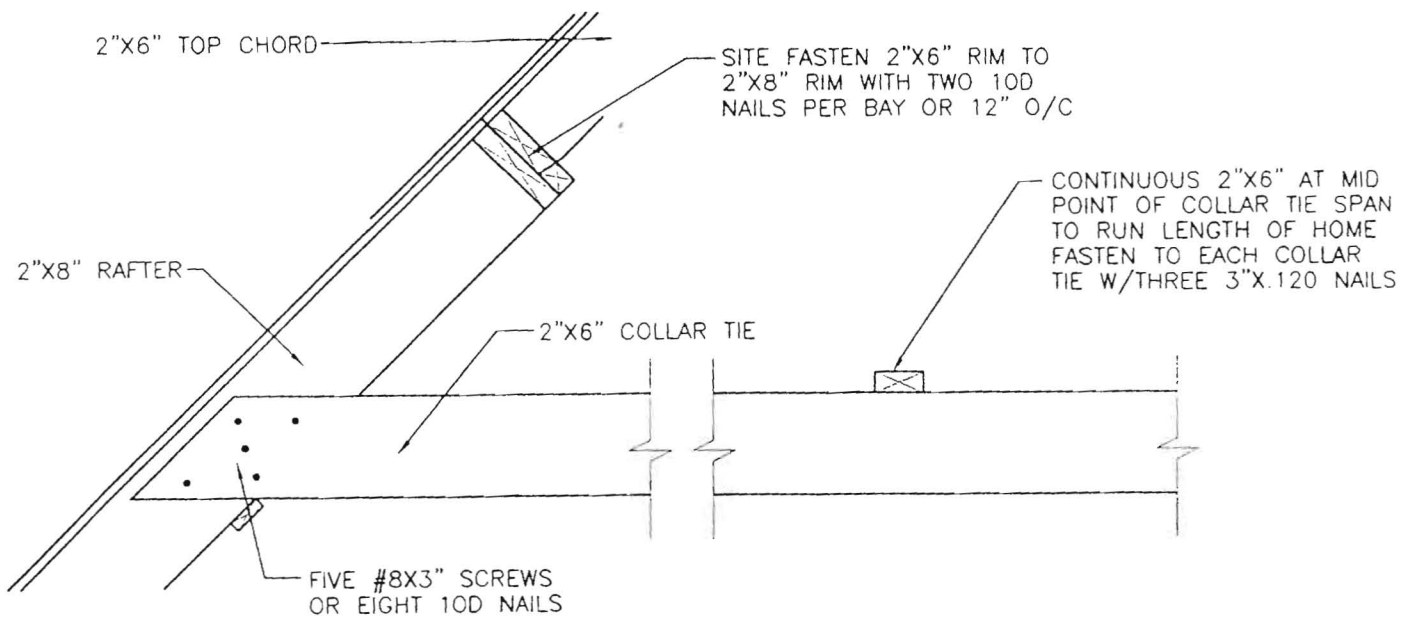
APPROVAL: \_\_\_\_\_  
 NOTE: PLEASE CHECK PLAN AND  
 FAX BACK AFTER SIGNING  
 APPROVAL. THIS PLAN WILL  
 BE USED FOR ORDERING  
 MATERIAL.





1 1/2"X30 GA. GALV. STEEL STRAP W/5-16 GA.X1" STAPLES EACH SIDE ON EACH RAFTER AT 16" O/C  
 5" LAG SCREWS AT 48" o/c BOTH PLIES OF RIDGE BEAM

DETAIL 1



2"X6" TOP CHORD

2"X8" RAFTER

2"X6" COLLAR TIE

FIVE #8X3" SCREWS OR EIGHT 10D NAILS

SITE FASTEN 2"X6" RIM TO 2"X8" RIM WITH TWO 10D NAILS PER BAY OR 12" O/C

CONTINUOUS 2"X6" AT MID POINT OF COLLAR TIE SPAN TO RUN LENGTH OF HOME FASTEN TO EACH COLLAR TIE W/THREE 3"X.120 NAILS

DETAIL 2



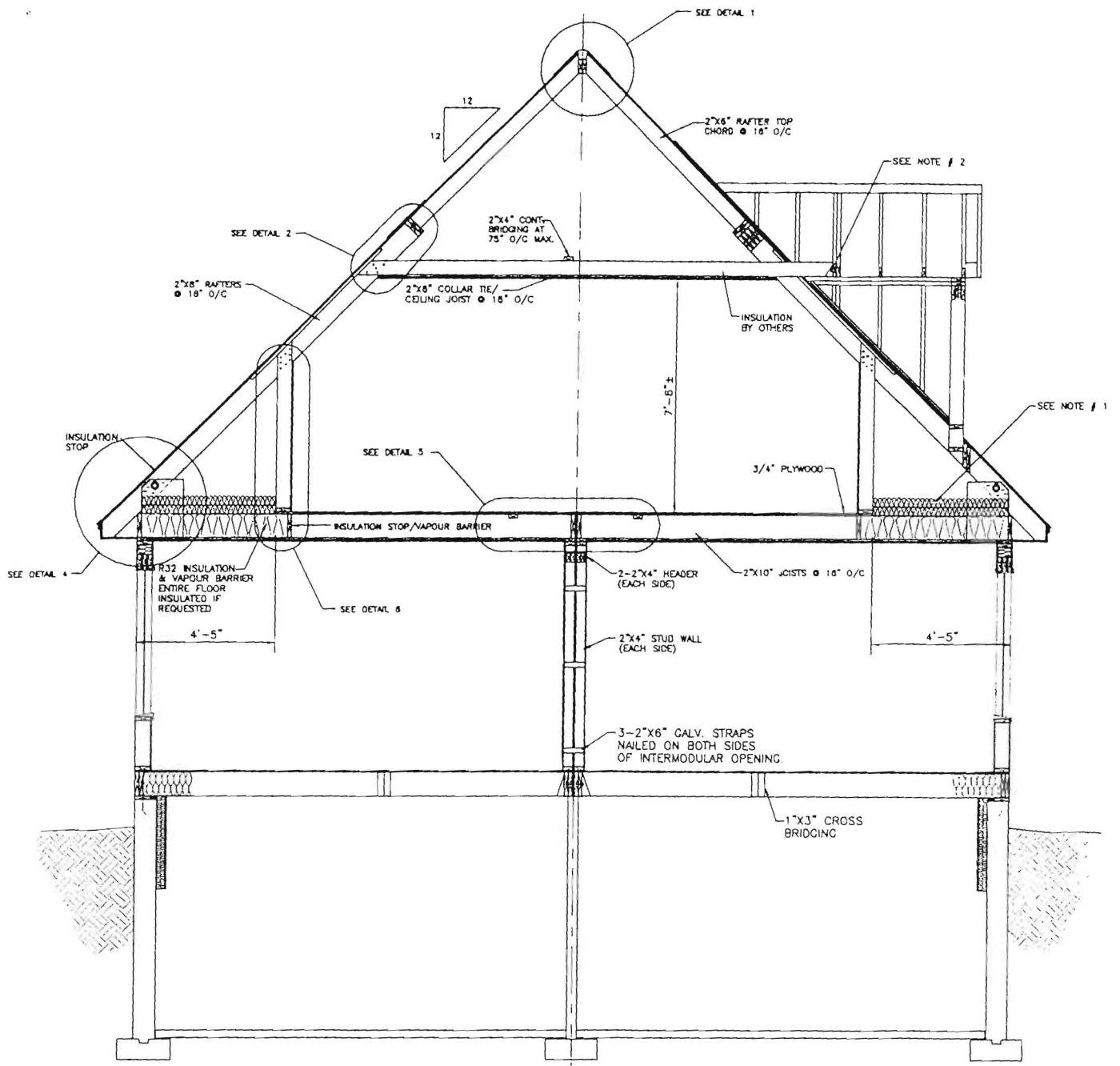
MAPLE LEAF HOMES INC.  
 FREDERICTON, N.B.

TITLE: FASTENING DETAILS FOR STANDARD CAPE UP TO 28' WIDE

REVISION DATE:

SECTION:

SM-56



SECTION "A-A"

NOTES:

- #1 R12 BATTS OF INSULATION INSTALLED ON SITE OVER FACTORY INSTALLED INSULATION.
- #2 WHEN A-FRAME DORMERS ARE INSTALLED THE COLLAR TIE IS TO BE MOUNTED TO A-FRAME DOUBLE RAFTER WITH JOIST HANGERS



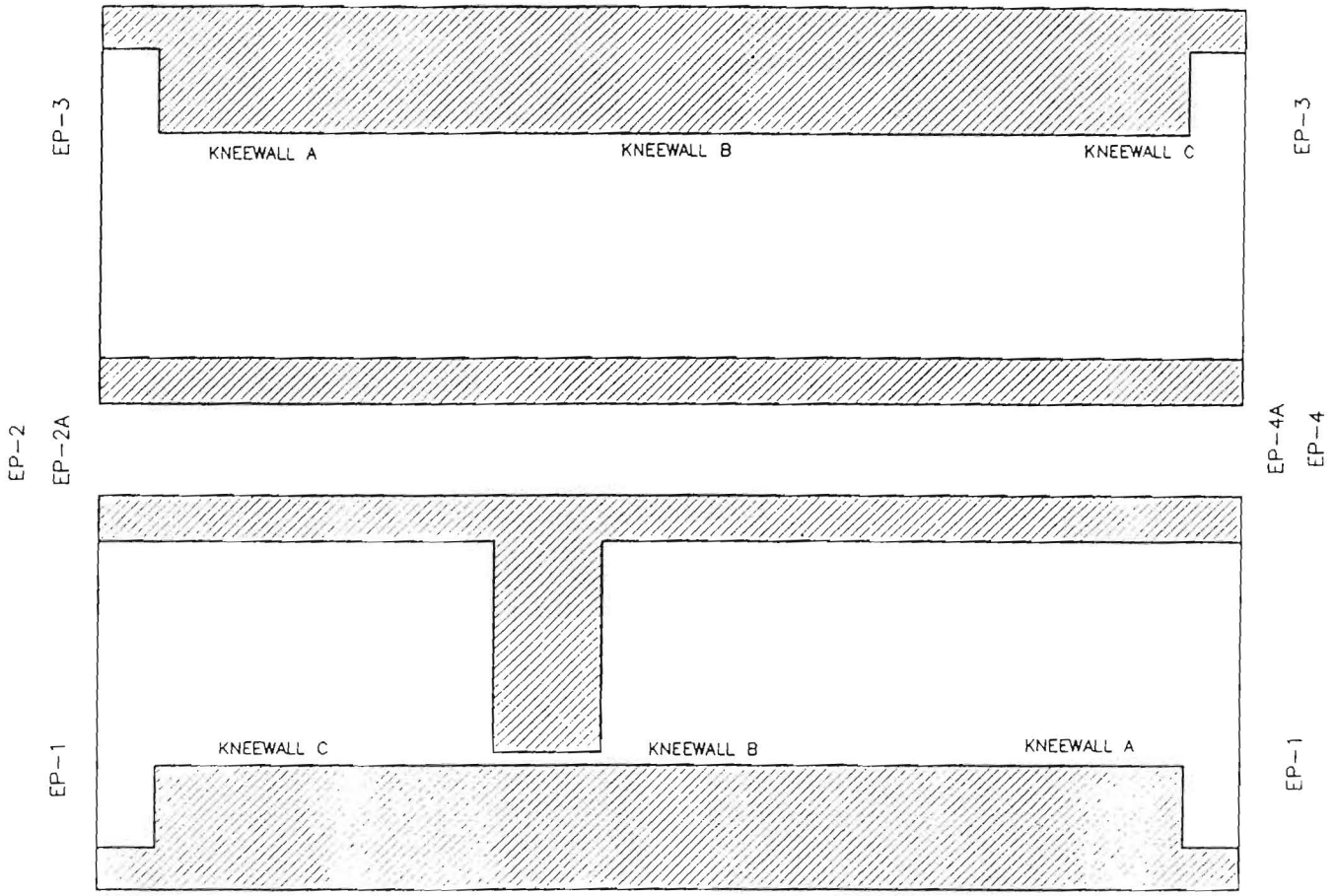
MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

TITLE: TYPICAL SECTION FOR STANDARD CAPE UP TO 28' WIDE

REVISION DATE:

SECTION:

SM-55



### FLOOR DECKING LAYOUT

 AREAS WITH NO PLYWOOD

**NOTES:**

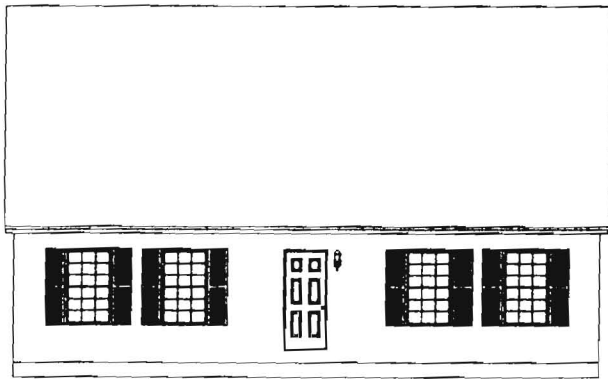
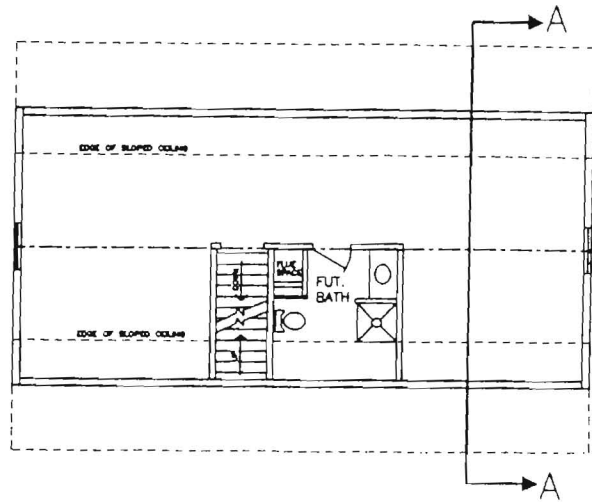
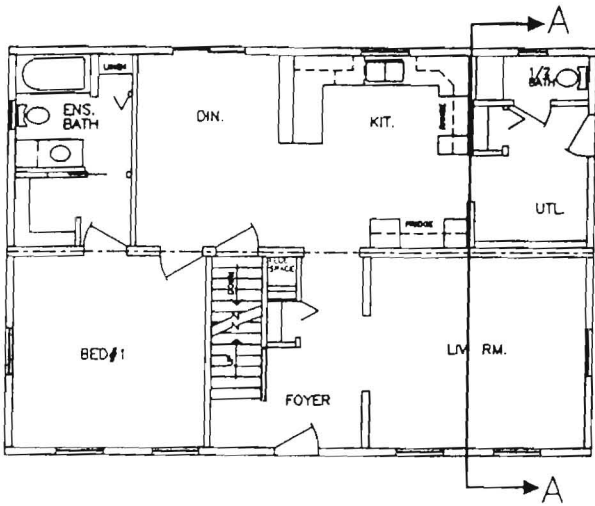
1. A UNIT SPECIFIC PLAN WILL BE IN EACH "SET CREW" PACKAGE.
2. THIS PLAN SHOWS THE LOCATION OF KNEEWALLS (KNEEWALL A,B...) AND END PANELS ( EP-1,2,2A...) .EACH PANEL AND KNEEWALL WILL BE MARKED WITH A CORRESPONDING NUMBER.
3. IF MORE THAN ONE PANEL OR KNEEWALL HAS THE SAME MARKING THEIR LOCATIONS WILL BE INTERCHANGEABLE.



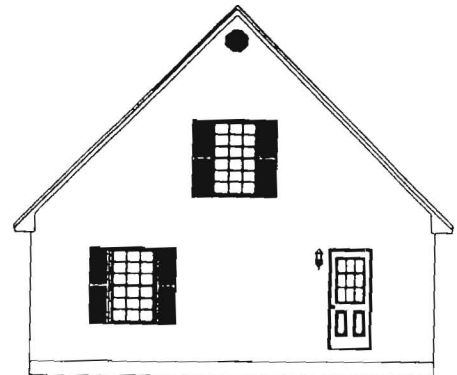
**MAPLE LEAF HOMES INC.**  
 FREDERICTON, N.B.

|                |                                       |       |
|----------------|---------------------------------------|-------|
| TITLE:         | TYPICAL END PANEL AND KNEEWALL LAYOUT |       |
| REVISION DATE: |                                       |       |
| SECTION:       |                                       | SM-54 |

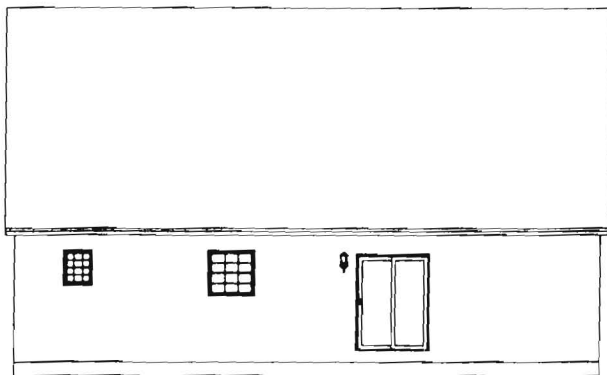




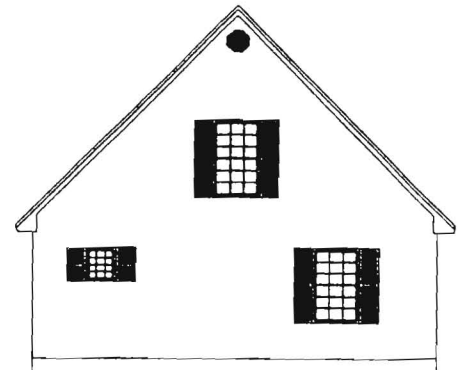
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



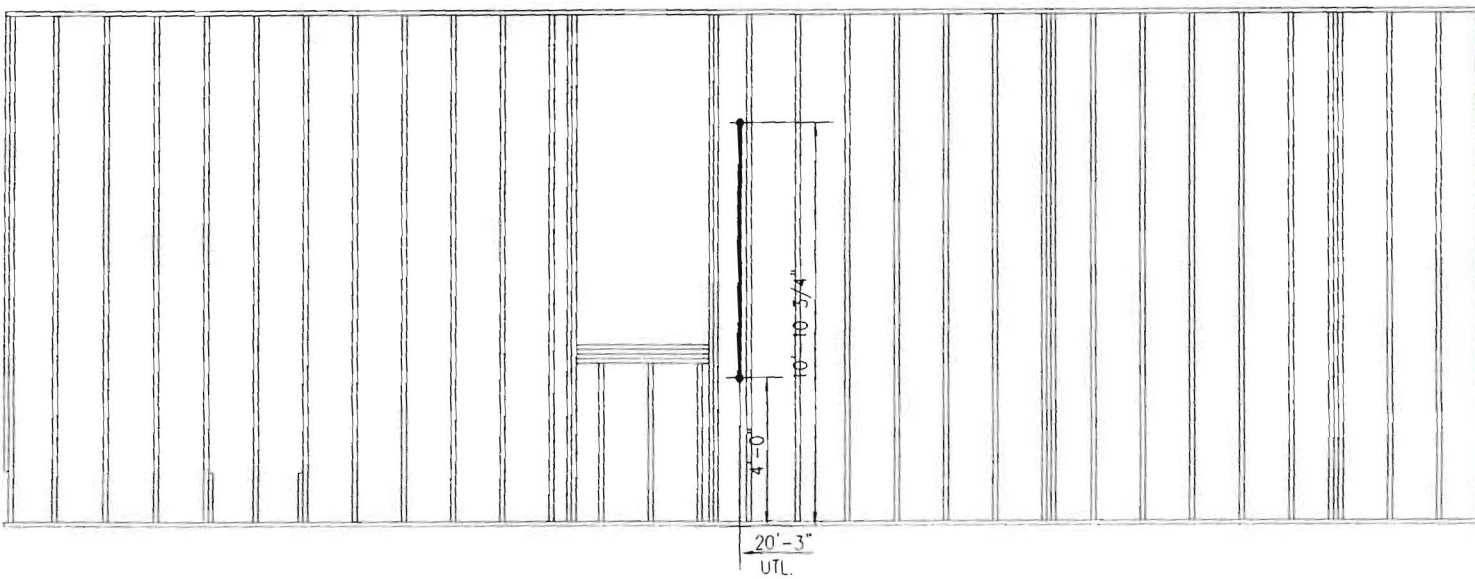
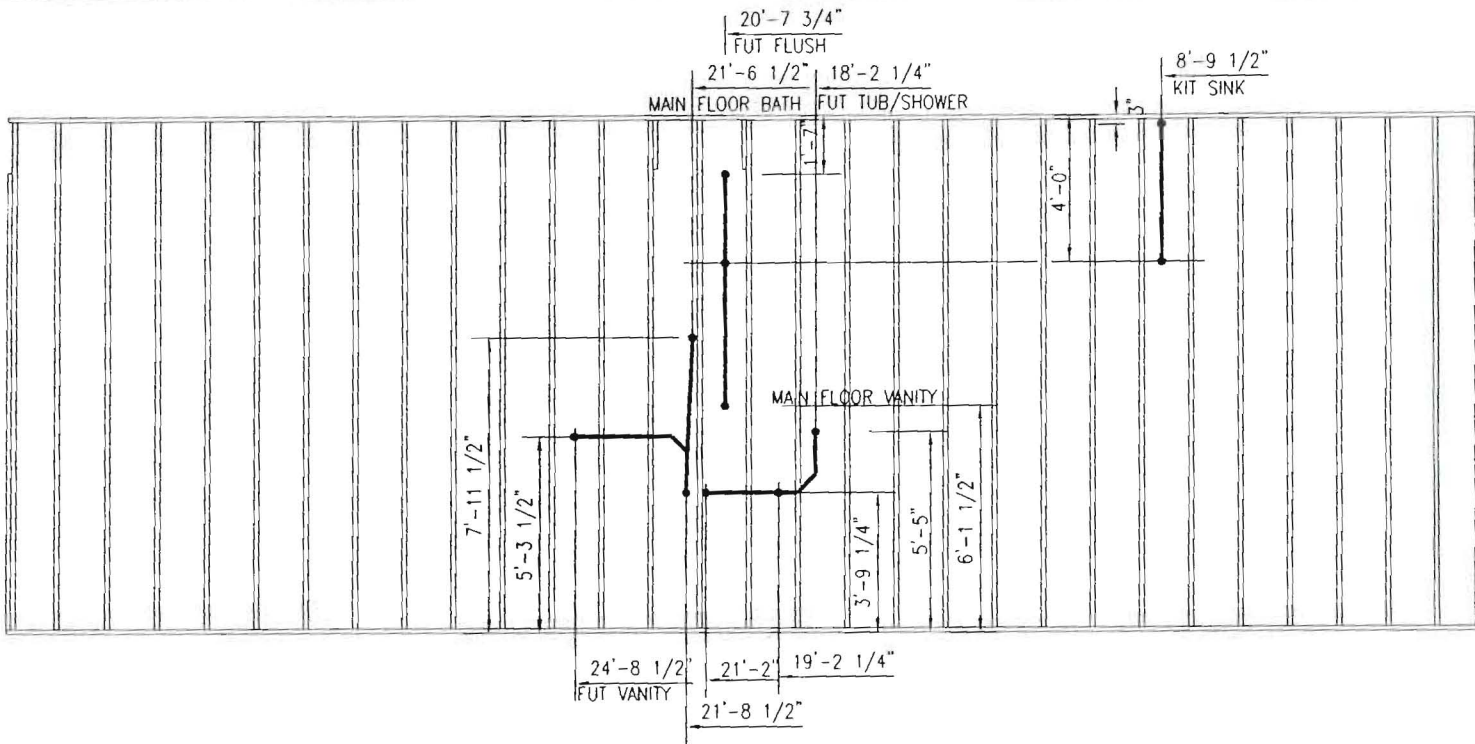
MAPLE LEAF HOMES INC.  
FREDERICTON, N.B.

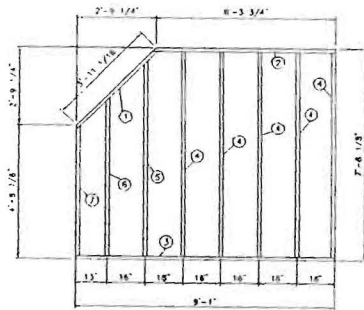
TITLE: TYPICAL FLOOR PLANS & ELEVATIONS  
STANDARD CAPE UP TO 28' WIDE

REVISION DATE:

SECTION:

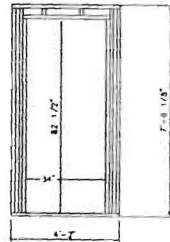
SM-53





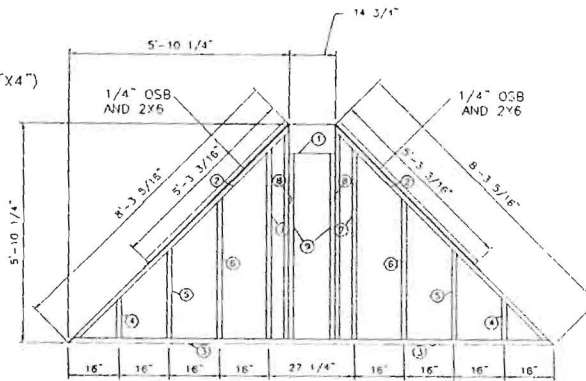
STAIRWELL SIDE WALL (2"x4")  
2 REOD

| DIMENSIONS, MATERIALS |          |
|-----------------------|----------|
| 1. 2'-11 3/4"         | (1-REOD) |
| 2. 2'-2 1/4"          | (1-REOD) |
| 3. 6'-1"              | (1-REOD) |
| 4. 7'-1 1/8"          | (1-REOD) |
| 5. 6'-11"             | (1-REOD) |
| 6. 5'-2"              | (1-REOD) |
| 7. 4'-6 3/4"          | (1-REOD) |



STAIRWELL FRONT WALL (2"x4")  
1 REOD

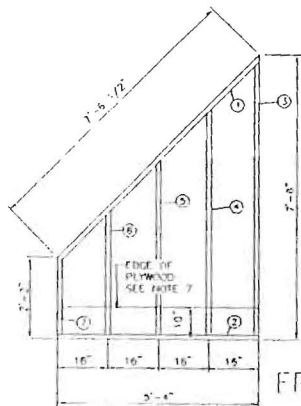
NOTES:  
1. FOR USE WITH 1988 DESIGN ONLY.  
2. 1/2" GAP ON WALL.



EP-2A

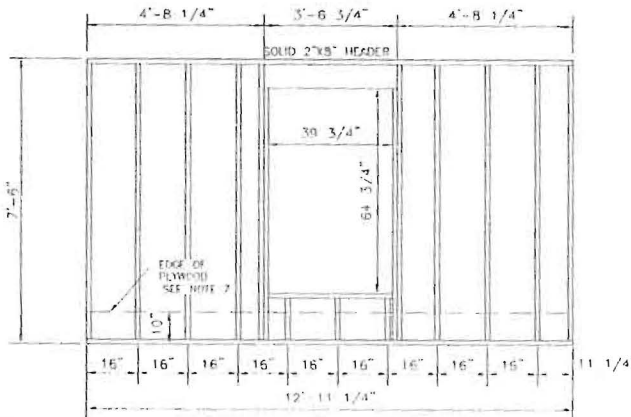
- #1. 1'-2 3/4" SOLID 2"x10" HEADER
  - #2. 8'-1 3/16" (2-REOD)
  - #3. 12'-11 1/4" (2-REOD)
  - #4. 1'-1 1/8" (2-REOD)
  - #5. 2'-5 1/8" (2-REOD)
  - #6. 3'-9 1/8" (2-REOD)
  - #7. 5'-1 1/8" (2-REOD)
  - #8. 5'-6 5/8" (2-REOD)
  - #9. 4'-11 1/2" (2-REOD)
- 1/2" PLYWOOD & 2"x6"

3/8" PLYWOOD  
WALL SHEATHING



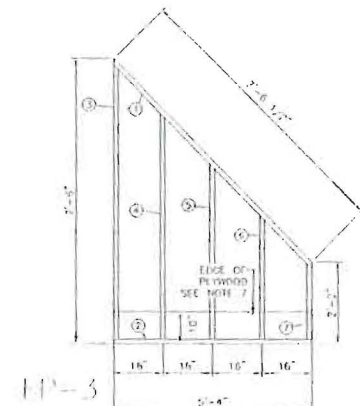
FP-1

- |                         |                         |
|-------------------------|-------------------------|
| #1. 7'-6 1/2" (1-REOD)  | #5. 4'-7 1/8" (1-REOD)  |
| #2. 5'-4" (1-REOD)      | #6. 3'-3 1/8" (1-REOD)  |
| #3. 2'-2 3/8" (1-REOD)  | #7. 1'-11 7/8" (1-REOD) |
| #4. 5'-11 1/8" (1-REOD) |                         |



EP-2

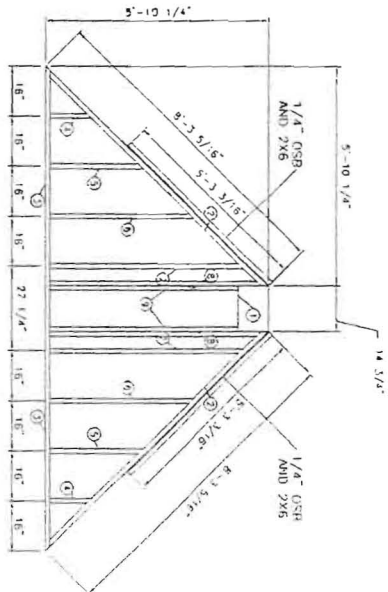
- NOTES:
- FOR USE WITH 1988 DESIGN ONLY; 24" WIDE UNITS.
  - PLYWOOD SHEATHING ON THIS FACE OF WALL GLUED AND NAIL TO STUDS.
  - LEAVE SHEATHING UP 10" FROM BOTTOM OF WALL.
  - IF 2 WALLS ARE REQUIRED, SHEATH OPPOSITE FACES OF WALLS.
  - WALL IS 2"x6" CONSTRUCTION.
  - SHEATHING TO BE INSTALLED VERTICALLY.
  - INSTALL 2"x3" BLOCKING ON ITS FLAT CENTERED AT EDGE OF PLYWOOD WHERE SHOWN.
  - FIRE BLOCKING WHERE SHOWN TO BE 2"x6" ON ITS EDGE.



FP-3

- |                         |                         |
|-------------------------|-------------------------|
| #1. 7'-6 1/2" (1-REOD)  | #5. 4'-7 1/8" (1-REOD)  |
| #2. 5'-4" (1-REOD)      | #6. 3'-3 1/8" (1-REOD)  |
| #3. 2'-2 3/8" (1-REOD)  | #7. 1'-11 7/8" (1-REOD) |
| #4. 5'-11 1/8" (1-REOD) |                         |

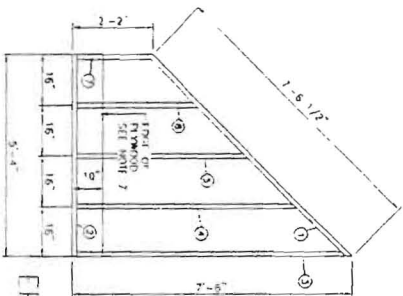




- #1. 1'-2 3/4" SOLID 2"x110" HEADER
  - #2. 6'-1 3/16" (2-PCED)
  - #3. 1'-1 1/8" (2-PCED)
  - #4. 1'-1 1/8" (2-PCED)
  - #5. 2'-5 1/8" (2-PCED)
  - #6. 3'-9 1/8" (2-PCED)
  - #7. 5'-1 1/8" (2-PCED)
  - #8. 5'-6 5/8" (2-PCED)
  - #9. 4'-11 1/2" (2-PCED)
- 1/2" PLYWOOD @ 2X6

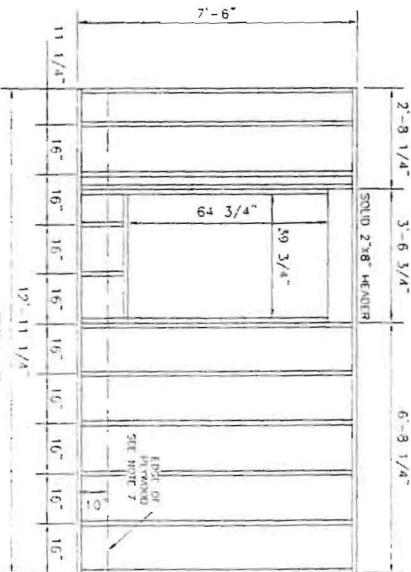
EP-5A

3/8" PLYWOOD  
WALL SHEATHING

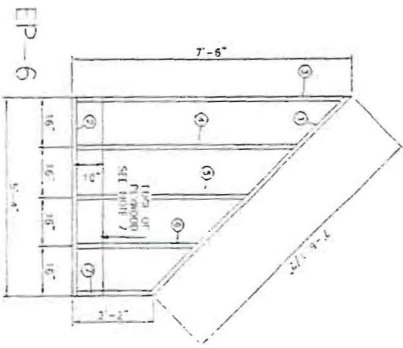


- #1. 2'-6 1/2" (1-PCED)
- #2. 3'-4 3/8" (1-PCED)
- #3. 1'-2 3/8" (1-PCED)
- #4. 5'-11 1/8" (1-PCED)
- #5. 4'-7 1/8" (1-PCED)
- #6. 3'-3 1/8" (1-PCED)
- #7. 1'-11 7/8" (1-PCED)

EP-4



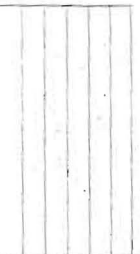
EP-5

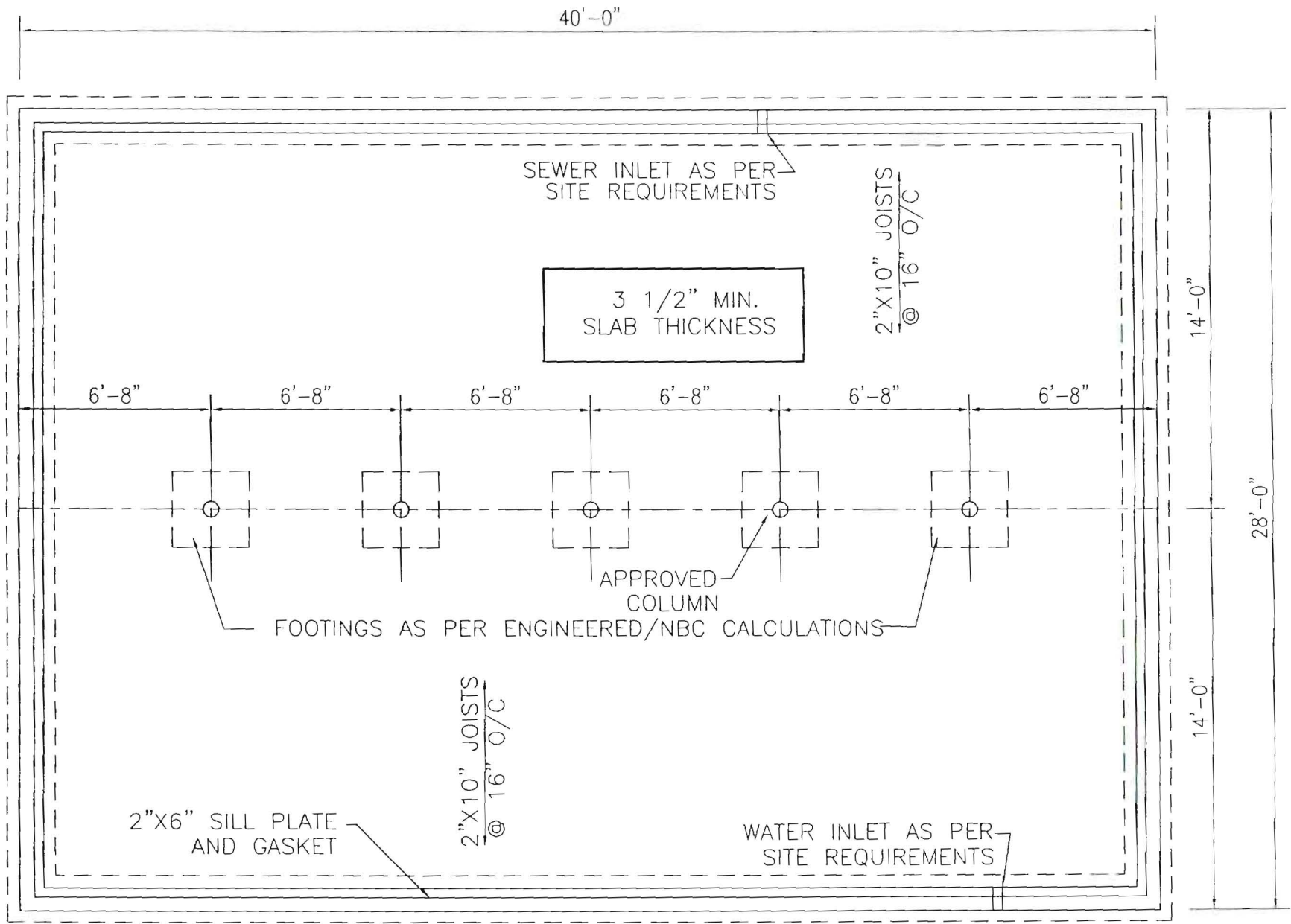


- #1. 2'-6 1/2" (1-PCED)
- #2. 3'-4 3/8" (1-PCED)
- #3. 1'-2 3/8" (1-PCED)
- #4. 5'-11 1/8" (1-PCED)
- #5. 4'-7 1/8" (1-PCED)
- #6. 3'-3 1/8" (1-PCED)
- #7. 1'-11 7/8" (1-PCED)

EP-6

NOTES:  
 1. FOR USE WITH 1908 DESIGN ONLY: 28 WIRE UNITS.  
 2. PLYWOOD BRACKETS ON THIS WALL TO BE INSTALLED TO SHIMS.  
 3. ALL WALLS ARE REQUIRED TO BE INSTALLED TO SHIMS.  
 4. IF 2 WALLS ARE REQUIRED, SPACER OPPOSITE FACES OF WALLS.  
 5. WALL IS 2"x6" CONSTRUCTION.  
 6. SHEATHING TO BE INSTALLED VERTICALLY.  
 7. INSTALL 2"x4" BLOCKING ON ITS FLAT CERTIFIED AT ENDS OF PLYWOOD WHERE SHOWN.  
 8. FIBER BLOCKING WHERE SHOWN TO BE 2"x6" ON ITS END.





SHEET 1 OF 2 - REFERENCE SHEET 2 OF 2 FOR NOTES

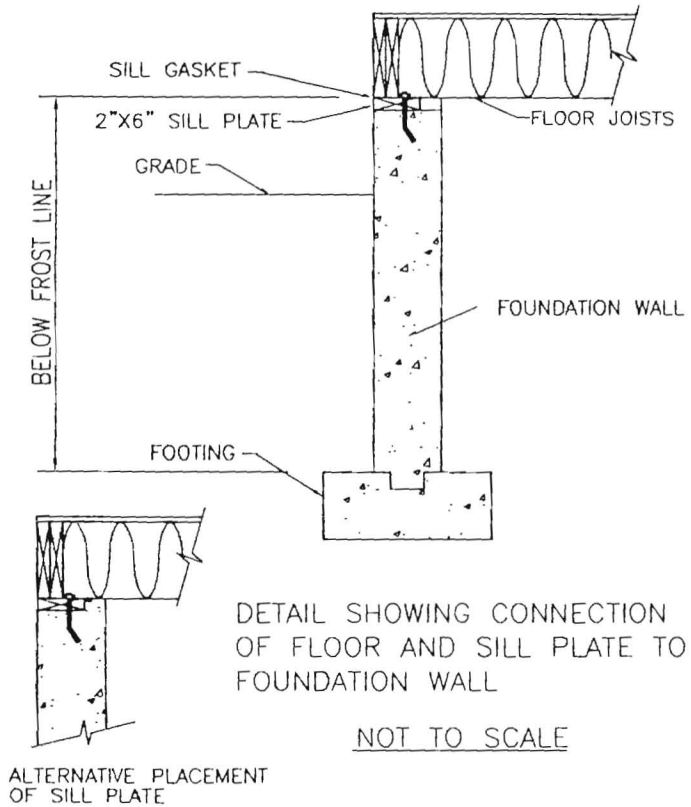
| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
 CUSTOMER: STOCK#3  
 DEALER: NORTH STAR  
 FROM: MAPLE LEAF HOMES  
 DATE: AUG 13 2001 (ALB)

APPROVAL: \_\_\_\_\_  
 NOTE: PLEASE CHECK PLAN AND FAX BACK AFTER SIGNING APPROVAL. THIS PLAN WILL BE USED FOR ORDERING MATERIAL.

NOTES:

- #1. FLOOR DRAIN (IF REQ'D) IS TO RUN TO A SUITABLE SIZE DRAINAGE SYSTEM.
- #2. PVC DRAIN TILE TO BE PLACED AROUND PERIMETER OF FOOTINGS AND BE CONNECTED TO A SUITABLE SIZE DRYWELL OR STORMSEWER.
- #3. THIS PLAN IS INTENDED TO SHOW DIMENSIONS ONLY. IT IS THE DEALER/CONTRACTOR'S RESPONSIBILITY TO DETERMINE THICKNESS & FOOTING SIZES AS PER THE LATEST ADOPTED VERSION OF THE BOCA BUILDING CODE FOR THE AREA CONSTRUCTION IS TO TAKE PLACE.
- #4. WINDOW LOCATIONS OR BASEMENT ENTRANCES AND ROUGH OPENINGS FOR SAME ARE TO BE PROVIDED BY HOMEOWNER OR CONTRACTOR BEFORE CONSTRUCTION IS BEGUN.
- #5. OPENING CENTER LINES SHOWN, IF ANY, MATCH THOSE OF OPENINGS UPSTAIRS.
- #6. ANCHOR BOLTS TO BE 1/2"Ø AND HAVE MIN. PENETRATION OF 8" IN CONCRETE WALL AND 15" INTO MASONRY WALL AND BE SPACED AT 6'-0" O/C MAX.
- #7. THIS FOUNDATION APPLIES TO DRAWING No. MIS4501 DATED AUG 13 2001



FOUNDATION PLAN  
NOT TO SCALE

SHEET 2 OF 2 - REFERENCE SHEET 1 OF 2 FOR FOUNDATION PLAN

| REV. | DATE | REV. | DATE |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

PLAN # MIS4501  
 CUSTOMER: STOCK#3  
 DEALER: NORTH STAR  
 FROM: MAPLE LEAF HOMES  
 DATE: AUG 13 2001 (ALB)

APPROVAL: \_\_\_\_\_  
 NOTE: PLEASE CHECK PLAN AND FAX BACK AFTER SIGNING APPROVAL. THIS PLAN WILL BE USED FOR ORDERING MATERIAL.



NOT READING  
RENTAL UNIT PACKET  
NOT TO SCALE

BOOTHBA AVE.  
SHOWS ALL UTILITIES  
NOT READING  
RENTAL UNIT PACKET  
NOT TO SCALE

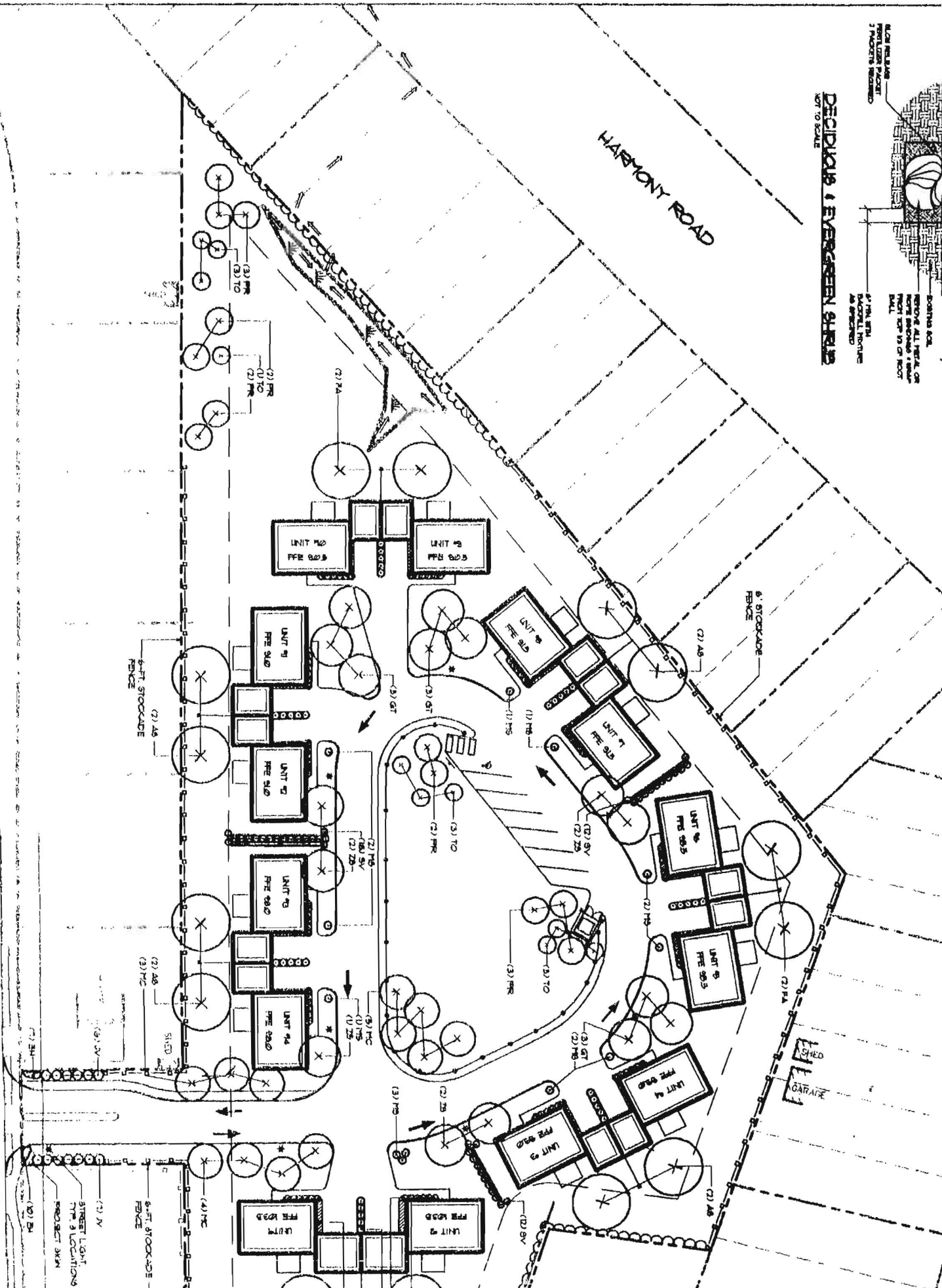
4" PER. DIA.  
DIAGONAL HATCHING  
AS SPECIFIED

### DECIDUOUS & EVERGREEN SHRUBS

HARMONY ROAD

STUART STREET

GRAPHIC SCALE

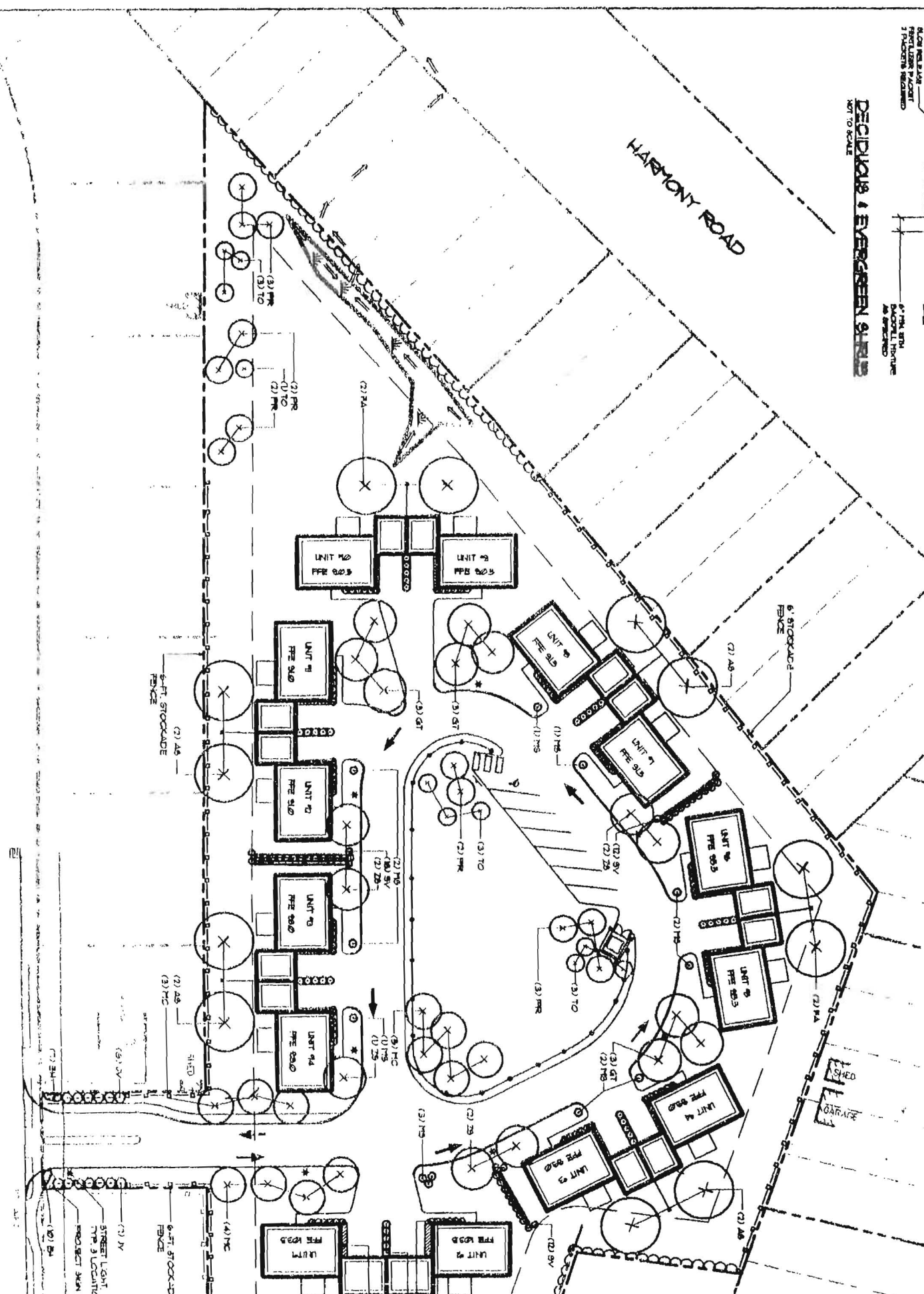


BOOTHBY AVE.  
 REMOVE ALL TREES ON  
 NORTH SIDE OF BOOTHBY AVE.  
 FROM 10' TO 15' OF ROOT  
 BALL.  
 6'-10" DIA.  
 1" DIA. DIA.  
 1" DIA. DIA.  
 AS SHOWN IN  
 PLAN.

**DECIDUOUS & EVERGREEN SPECIES**  
NOT TO SCALE

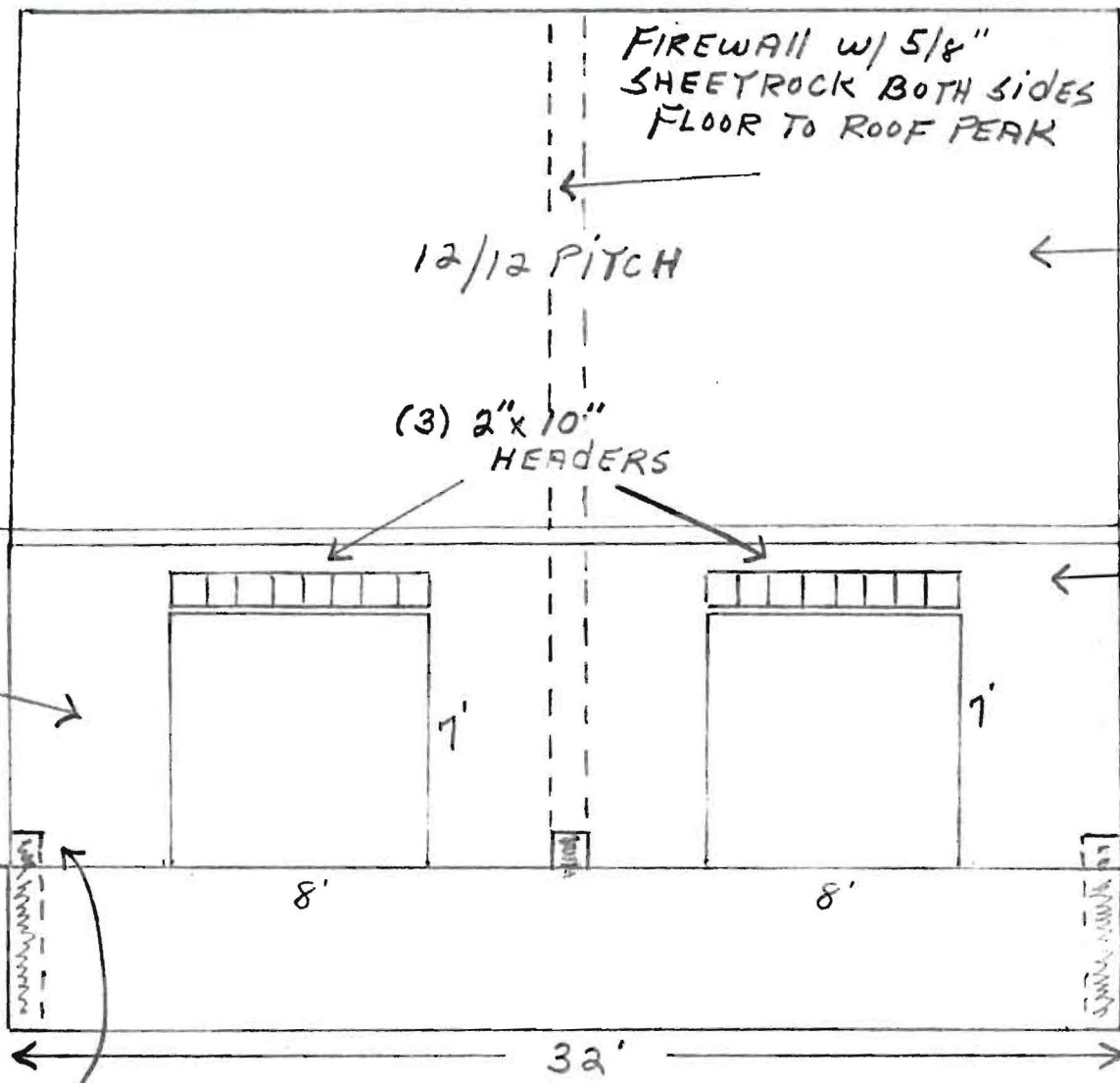
HARMONY ROAD

STUART STREET



GRAPHIC SCALE





FIREWALL w/ 5/8" SHEETROCK BOTH SIDES FLOOR TO ROOF PEAK

12/12 PITCH

(3) 2" x 10" HEADERS

25 YR. ASPHALT SHINGLES OVER 5/8 PLYWOOD & FELT PAPER

VINYL SHAKES OVER 1/2" PLYWOOD SHEATHIN & TYVAC

2" x 6" 16" O.C. W/P.T. SILL

GROUND LEVEL

4' FROST WA 8" WALLS

32'

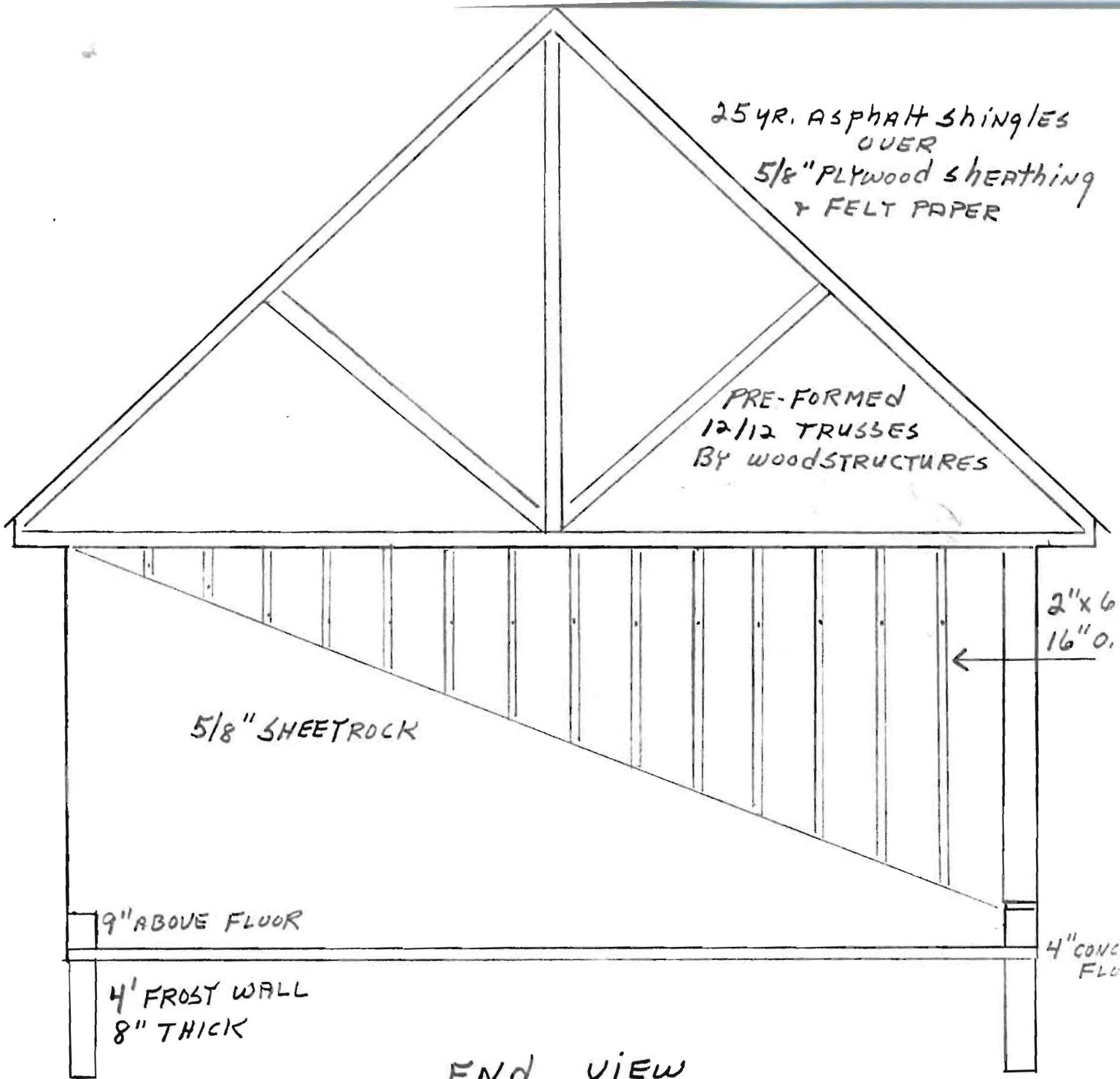
CEMENT WALL 9" ABOVE FLOOR

FRONT VIEW OF GARAGE

for HOMES AT MEADOW WOODS

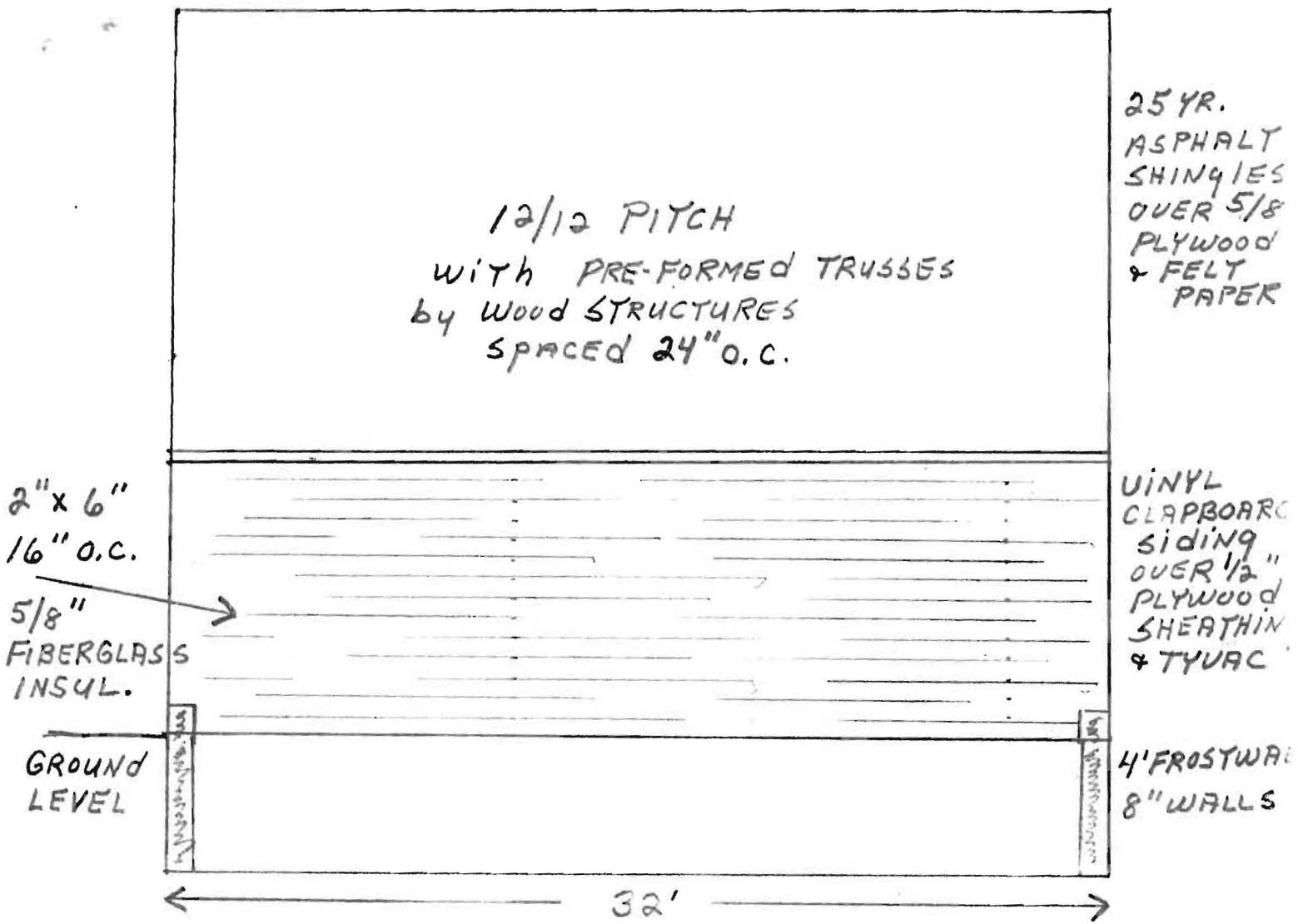
SCALE: 1" = 5'





END VIEW  
OF GARAGE  
FOR HOMES AT MEADOW WOODS

SCALE: 1" = 3'



12/12 PITCH  
 WITH PRE-FORMED TRUSSES  
 BY WOOD STRUCTURES  
 SPACED 24" O.C.

25 YR.  
 ASPHALT  
 SHINGLES  
 OVER 5/8  
 PLYWOOD  
 & FELT  
 PAPER

2" x 6"  
 16" O.C.

5/8"  
 FIBERGLASS  
 INSUL.

VINYL  
 CLAPBOARD  
 SIDING  
 OVER 1/2"  
 PLYWOOD  
 SHEATHIN  
 & TYVAC

GROUND  
 LEVEL

4' FROSTWALL  
 8" WALLS

32'

REAR VIEW  
 OF GARAGE  
 FOR HOMES AT MEADOW WOODS

SCALE: 1" = 5'



# CITY OF PORTLAND, MAINE

Department of Building Inspections

May 3 2002

Received from North Star Enterprises

Location of Work #13 #21 Service Lane

Cost of Construction \$ 835.00

Permit Fee \$ 150.00

TOTAL 985.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other

CBL: 336-008

Check #: 459 Total Collected \$ 985.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Handwritten signature*





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

**LOCATION** 13 & 21 Leisure Ln (unit #1 & 2) CBL 336 L008013

**Issued to** Northstar Enterprises Inc /North Star Enterprises, Inc.

**Date of Issue** 08/20/2003

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0487 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Unit #2 (#21 Leisure Lane)

Use Group R-3 Type 5b  
(Boca 1999)

**Limiting Conditions:**

This certificate covers unit #2 only.

This certificate supersedes  
certificate issued

Approved:

8/20/2003

(Date)

Inspector

*[Signature]*  
8/21/03

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 13 & 21 Leisure Ln (unit #1 & 2) CBL 336 L008013

Issued to Northstar Enterprises Inc /North Star Enterprises, Inc.

Date of Issue 12/02/2002

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0487, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Unit #1 Only(#13 Leisure Lane)

APPROVED OCCUPANCY

Use Group R-3 Type 5b  
(Boca 1999)

**Limiting Conditions:**

This certificate cover only unit one. Unit #2 shall require a separate c/o

This certificate supersedes  
certificate issued

Approved:

12/2/02 *Jon Reed*

(Date)

*Inspector*

*Jon Reed*

*Inspector of Buildings*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.