

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0760	Issue Date: JUL 17 2001	CBL: 336 L008001
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PERMIT ISSUED

Location of Construction: Units # 516 Leisure Ln AT Meadow Woods	Owner Name: NORTA Star Enterprises	Owner Address: 70 Jordan St. CITY OF PORTLAND	Phone: 207-878-2241
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Business Name: n/a	Contractor Name: Clark, Conrad C.	Contractor Address: 21 Stuart St. Portland	Phone: 2078782241
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Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Commercial	Zone: R-3
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Past Use: Vacant	Proposed Use: Condo Units. Pre-Approved Site Plan #2000-0087. Call Conrad at 878-2241 when ready.	Permit Fee: \$600.00	Cost of Work: \$96,000.00	CEO District: 1	PRU
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 53 PERMIT ISSUED WITH REQUIREMENTS
Signature:	Signature:

Proposed Project Description:
Build Units ~~25~~ of 14 Units

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 06/28/2001	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland N/A</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone Panel 6 Zone X</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan original Sub review #2000-0087</p> <p>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM</p> <p>OK with conditions</p> <p>Date: _____</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

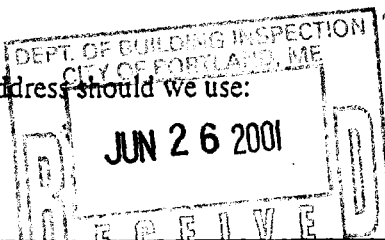
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <i>LEISURE LANE (HOMES AT MEADOW WOODS)</i>		
Total Square Footage of Proposed Structure <i>2712 3584</i>	Square Footage of Lot <i>1,558,000</i> 1,476,000	
Tax Assessor's Chart, Block & Lot Number Chart# <i>336</i> Block# <i>L</i> Lot# <i>008</i>	Owner: <i>NORTH STAR ENTERPRISES, INC.</i>	Telephone#: <i>878-2241</i>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>\$ 76,000.</i> Fee: <i>\$ 600.</i>
Current use: <i>RESIDENTIAL</i>		
If the location is currently vacant, what was prior use: Approximately how long has it been vacant:		
Proposed use: <i>RESIDENTIAL</i>		
Project description: <i>14 UNIT P.R.U.D. UNITS 5 & 6</i>		
Contractor's Name, Address & Telephone: <i>CONRAD C. CLARK</i> <i>51 STUART ST.</i> <i>PORTLAND, ME. 04103</i> <i>878-2241</i>		
Applicants Name, Address & Telephone: <i>SAME AS ABOVE</i>		
Who should we contact when the permit is ready: <i>SAME AS ABOVE</i>		
Telephone:		
If you would like the permit mailed, what mailing address should we use:		
		<i>6/26/01</i> <i>Ray</i> Rec'd By:

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

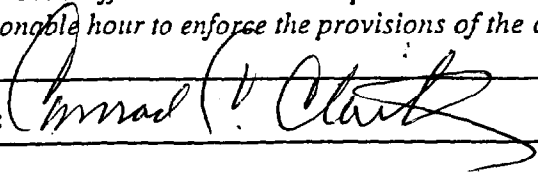
Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 6-26-01

Applicant: Conrad Clark

Date: 7/17/01

Address: units #5 & 6 Leisure Lane,
Meadow Woods

C-B-L: 336-L-008

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3 PRUD

Interior or corner lot -

Proposed Use/Work - construct attached 2 units (condos) with attached garages and patios

Sewage Disposal - City

Lot Street Frontage - (1) MAX min # of units in a bldg (PRUD less than 5 acres = 4.5) = 2 D.U. - 2 D.U. Shown

Front Yard -

Rear Yard - (2) MAX length of PRUD Bldg = 140' - 114' shown

Side Yard -

(3) Min Bldg. setback from external subdivision PRUD property lines (for fewer than 3 attached D.U.) 25' min 26' shown

Projections -

Width of Lot - (4) min. distance between detached PRUD dwelling units: 16 feet - 16 shown

Height -

Lot Area - min 3 Acres grossed - 3.45 Acres Shown

Lot Coverage/ Impervious Surface -

Area per Family - (5) Recreation open spaces are required to be 25 feet from Dwelling Structures - over 25' shown

Off-street Parking - 4 req - 4 shown

Loading Bays - N/A

Site Plan - original subdivision approval

Review # 2000-0007
Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 6 - Zone X

LAND USE - ZONING REPORT

ADDRESS: units #5 & #6 Leisure Lane AT DATE: 7/17/01
Meadow Woods

REASON FOR PERMIT: Construct Duplex with attached garages and decks

BUILDING OWNER: North Star Enterprises C-B-L: 336-L-8 R-3
PRND

PERMIT APPLICANT: Conrad Clark

APPROVED: with conditions; #1, #7, #9

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of 2 condo unit ~~units~~ within this structure after construction. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: _____

Marge Schmuckal Marge Schmuckal, Zoning Administrator

5+8
4+5
Leisure Lane at
Meadow Woods
unit 5-B

BUILDING PERMIT REPORT

DATE: 28 June 2001 ADDRESS: ~~Leisure Lane at Meadow Woods~~ CBL: 336-L-008

REASON FOR PERMIT: Duplex dwelling with attached private garages

BUILDING OWNER: ~~Charles Clark~~

PERMIT APPLICANT: Conrad Clark CONTRACTOR: Conrad C Clark

USE GROUP: R-3 CONSTRUCTION TYPE: 50 CONSTRUCTION COST: _____ PERMIT FEES: _____

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

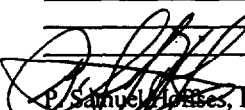
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *5, *8, *11, *12, *16, *20, *22, *28, *29, *30, *31, *33, *34, *35, *36, *38, *41

- X1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
- X3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- X5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- X8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- X11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- X13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- X16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

6/28

- X 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- X 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code, (The BOCA National Mechanical Code/1993). (Chapter M-16)
- (32) Please read and implement the attached Land Use Zoning report requirements. *See Attached*
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 34. Bridging shall comply with Section 2305.16.
- X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X 28. *Your application shows: Cost of Const. To be 96,000.00
This is a very low est. This cost of const. shall be revised
To show a better realistic cost. We use the B.S. Means C&T book
For est. No work is to be started until this is corrected*


 P. Samuel Forbes, Building Inspector
 Cc: A. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling

Valuation: _____ Plan Review # 810/01

Fee: _____ Date: 28 / June / 01

Building Location: units 5-6 Leisure Lane at Meadow Woods
~~47th Street~~ CBL: 336-L-008

Building Description: Duplex dwelling / attached private garage.

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	Your est. of COST of CONST. is To Low - This shall be revised before work begins.	112.0
3.	You shall call this office for a setback inspection before placing foundation concrete	111.0
4.	Foundation drains shall comply with Section 1813.5.2	1813.5.2
5.	Water proofing & damp proofing shall comply with Section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	Guardrails and handrails shall comply with sections 1021.0 & 1022.0	1021.0 1022.0
8.	STAIR Construction shall comply with sec. 1014.0	1014.0
9.	Sleeping room egress or rescue windows shall comply with sec. 1010.4	1010.4
10.	Smoke detectors shall comply with sec. 920.3.2	920.3.2
11.	Ventilation and access to attic or crawl space shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
12.	Fastening of bldg. elements shall comply with Table 2305.2	Table 2305.2
13.	Boring, Cutting & Notching shall comply with sec. 2305	2305
14.	Bridging shall comply with section 2305.16	2305.16
15.	Safety glazing shall comply with sec. 2406	2406.0

REV: PSH 6/16/01

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SA Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
X Anchorage bolting in concrete (2305.17)
X Columns (1912)
SA Crawl space (1210.2) Ventilation
SA Crawl opening size (1210.2.1)
SA Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NO~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~A~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~A~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- Roof rafters - Design (2305.15) spans
- Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- Roof trusses (2313.3.1)
-
-
-
-
-

Roof Coverings (Chapter 15)

- Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- Masonry (1206.0)
- Factory - built (1205.0)
- Masonry fireplaces (1404)
- Factory - built fireplace (1403)
- NFPA 211

**Mechanical
1993 BOCA Mechanical Code**

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-
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Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSE</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Seismic Zone	<u>C</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>
Exterior balconies	<u>60 PSF</u>	<u>X</u>
Decks	<u>42 PSF</u>	<u>X</u>
Guardrails & Handrails	<u>200 Live Load</u>	<u>X</u>

Glazing (Chapter 24)

<u>SA</u>	Labeling (2403.1)
<u>X</u>	Louvered window or jalousies (2403.5)
<u>X</u>	Human impact loads (2406.0)
<u>X</u>	Specific hazardous locations (2406.2)
<u>SA</u>	Sloped glazing and skylights (2405)
<u>SA</u>	Safety glazing (2406.0)

Private Garages (Chapter 4)

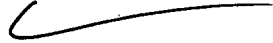
<u>SA</u>	General (407)
<u>X</u>	Beneath rooms (407.3)
<u>X</u>	Attached to rooms (407.4)
<u>X</u>	Door sills (407.5)
<u>X</u>	Means of egress (407.8)
<u>X</u>	Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~MT~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~MT~~ Winders (1014.6.3)
- ~~MA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation
Table 602 

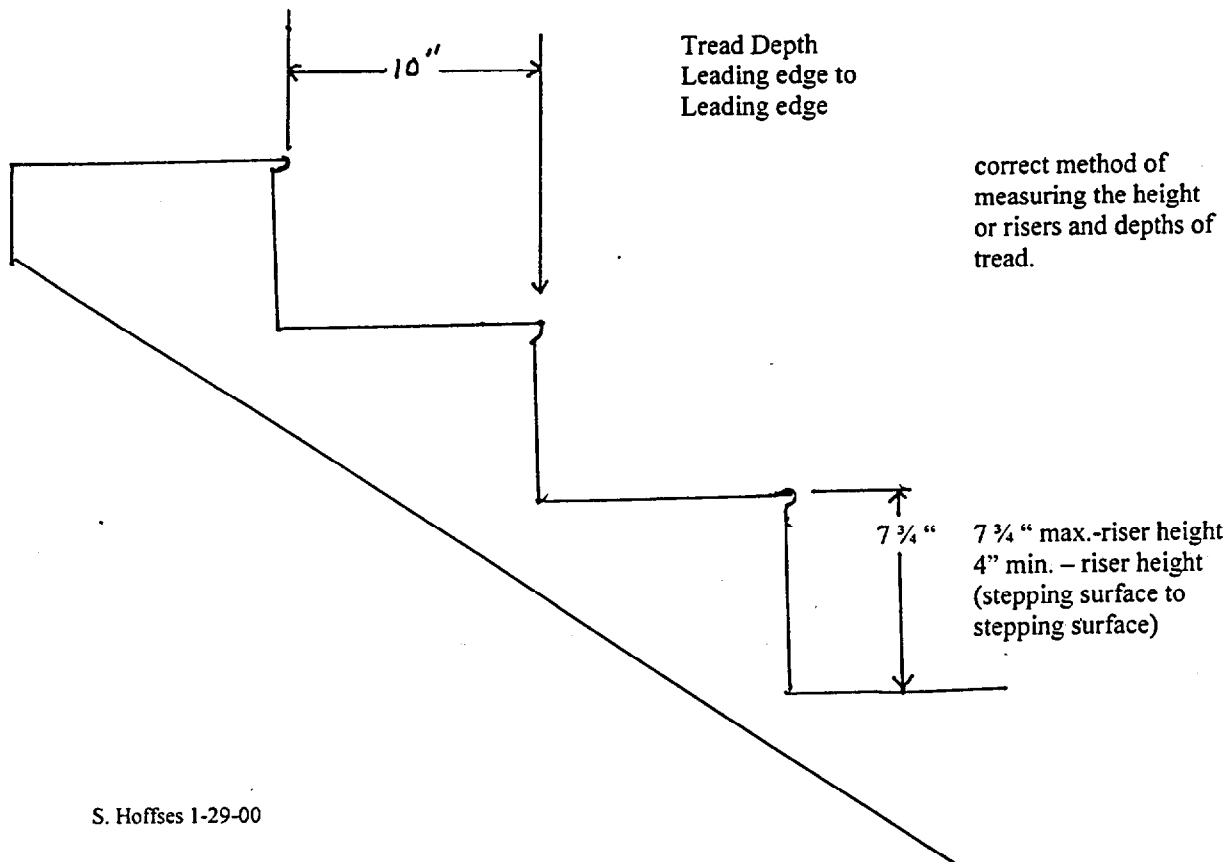
TREAD/RISER DIMENSIONS

ONE & TWO FAMILY

BOCA NATIONAL BUILDING CODE/1999

SECTION 1014.6 TREADS & RISERS

EXCEPTION: NO. 8 – In occupancies in use group R-3, within dwelling units in occupancies Use Group R-2 and in occupancies in Use Group U which are accessory to an occupancy in Use Group R-3. The maximum riser height shall be 7 ¾ inches (197mm) and the minimum tread depth shall be 10 inches (254mm). A nosing not less than ¾ inches but not more than 1 ¼ inches (32mm) shall be provided on stairways with solid risers where the depth is less than 11 inches (279mm).

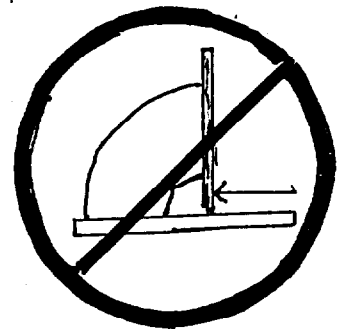
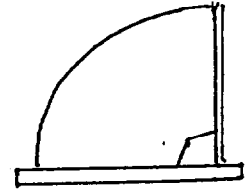
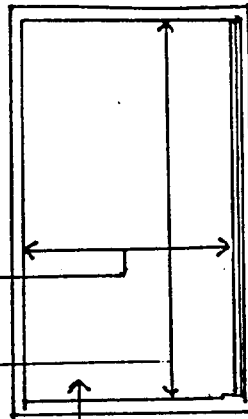
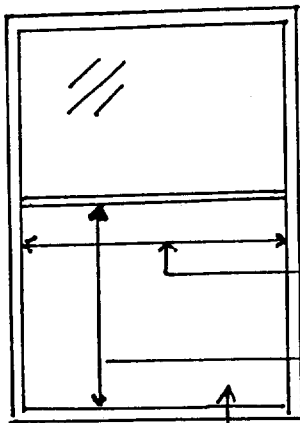


Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows

Casement Windows

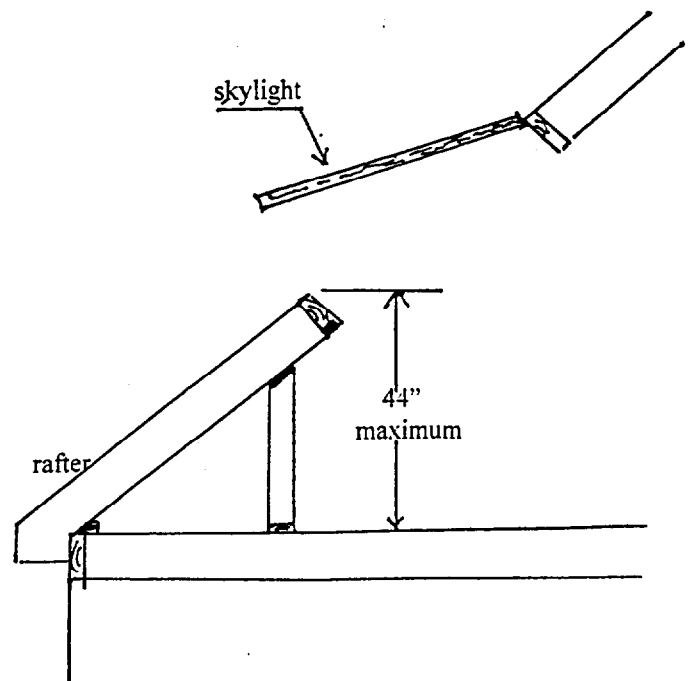
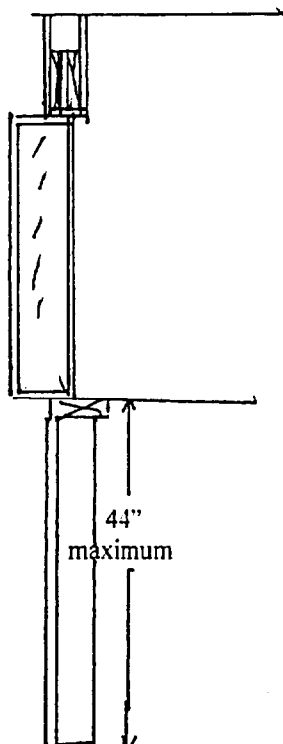
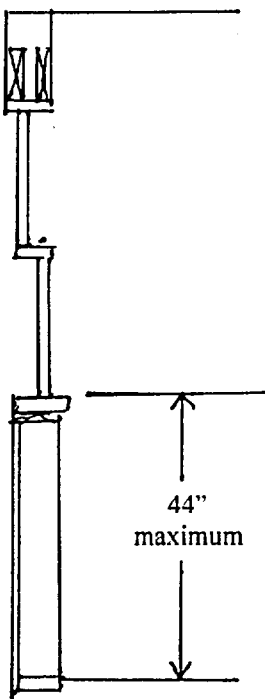


3 Total net clear opening must be a minimum of:

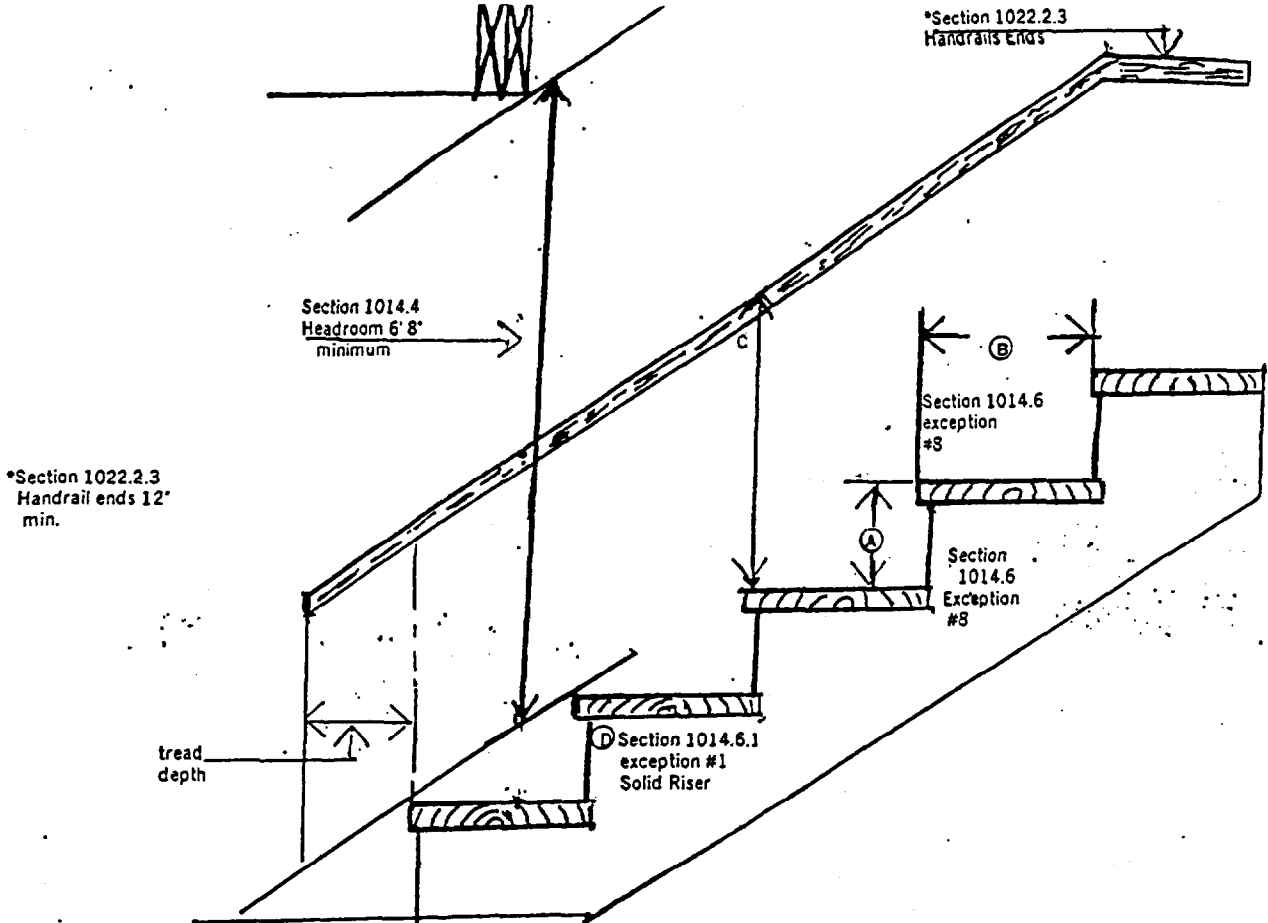
- Egress windows not at grade 5.7 square feet or 821 square inches
- Grade level egress windows 5.0 square feet or 720 square inches

Caution A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

4 Lowest point of the opening must not be more than 44 inches above the floor



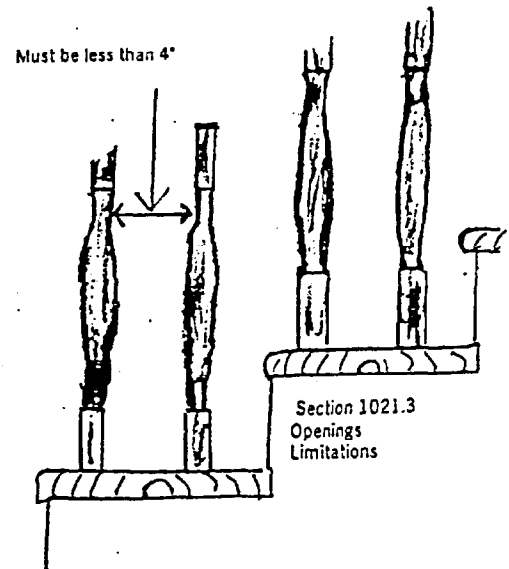
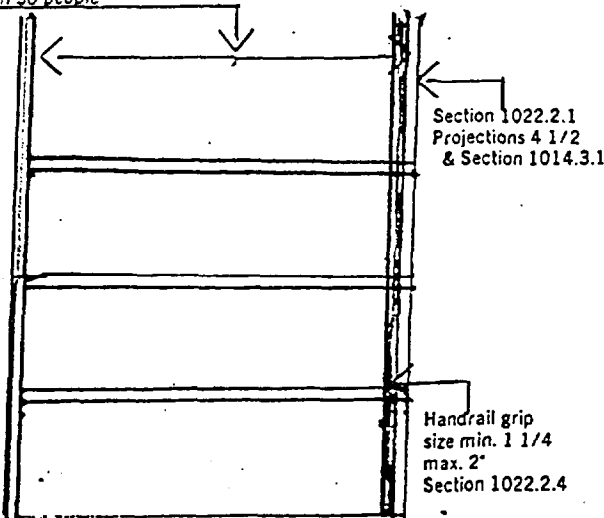
Stairs

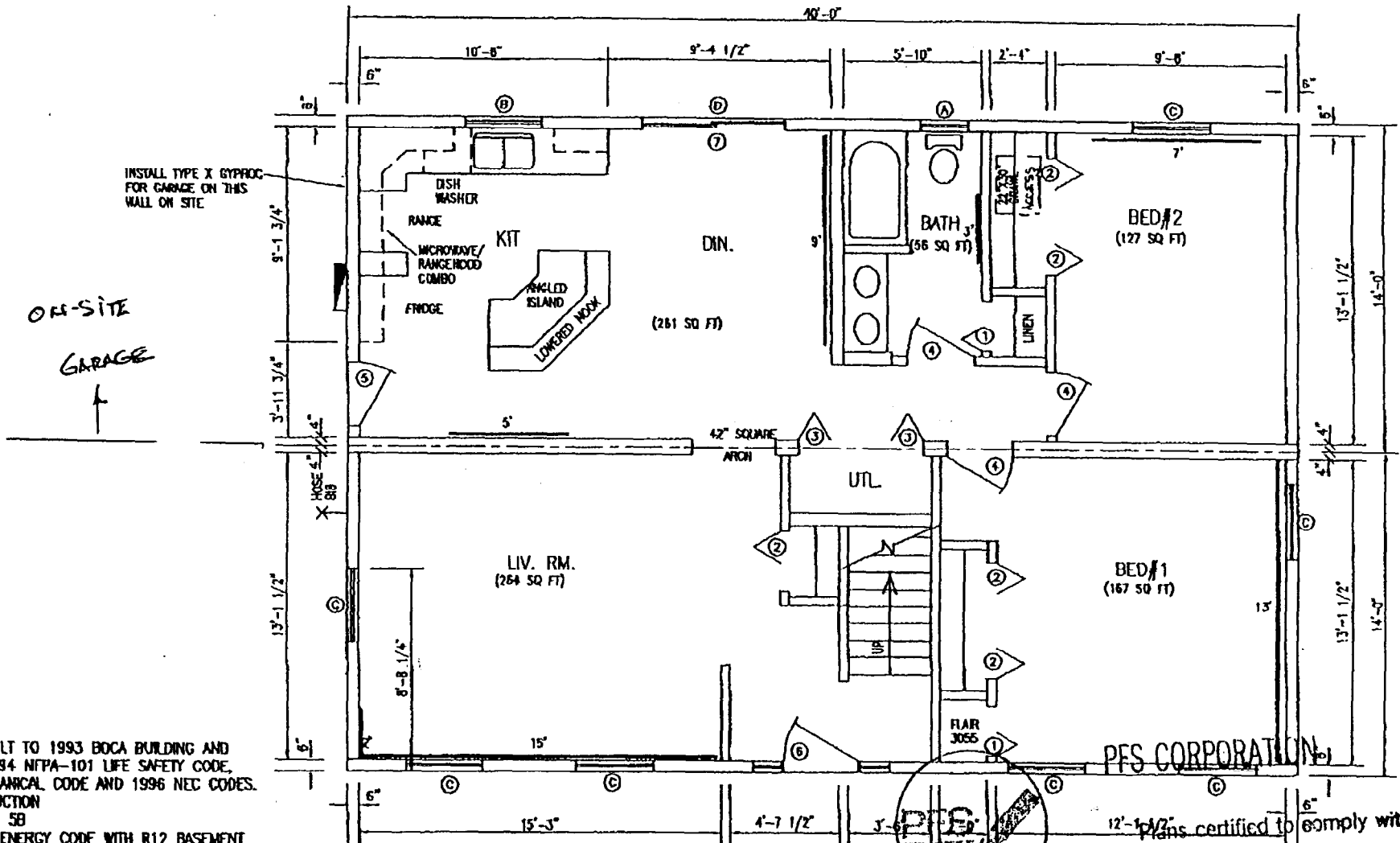


	Section 1014.6 Exception #8	Section 1014.6 Exception #8	Section 1022.2.2	Section 1014.6.1	Section 1021
	A Maximum Riser Height	B Minimum Tread Depth	C Handrail Height Not part of Guardrail	D Solid Riser	E Guards Height
1 & 2 Family Dwelling	7 3/4"	10"	34" to 38"	4" Maximum Opening	36" 36"
All Other Use Groups	7"	11" <i>NO NOTING</i>	34" to 38"	Different	42"

- *Guards along open-sided floor areas and along stairs located less than 30 inches (762mm) above the floor or grade below shall not be less than 36 inches (914mm) in height.
- *Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings which are located more than 15 1/2 inches (394mm) above the floor or grade below. The guards shall be constructed in accordance with Section 1021.0.
- *Handrail extensions ~~are~~ are not required for stairways within a dwelling unit Section 1022.2.3.
- *There must not be a variation exceeding 3/16 of an inch in the depth of adjacent treads or in the height of adjacent riser. Section 1014.6.2.
- *The difference between the largest and the smallest tread or between the largest and the smallest riser cannot exceed 3/8 of an inch. Section 1014.6.2.

W=36" for 1&2 family homes and occupancies with less than 50 people
Section 1014.3
Exception #3





NOTES:

- THIS UNIT TO BE BUILT TO 1993 BOCA BUILDING AND PLUMBING CODES, 1994 NFPA-101 LIFE SAFETY CODE, 1997 NFPA-31 MECHANICAL CODE AND 1996 NEC CODES. -GROUP R3 CONSTRUCTION -CONSTRUCTION TYPE 5B
- MEETS 1993 MODEL ENERGY CODE WITH R12 BASEMENT WALL INSULATION, AND LOW-E ARGON WINDOWS
- LABEL, DATA PLATE AND PFS LABELS FOR THE KITCHEN SIDE AND UPSTAIRS TO BE PLAQUED ON THE SIDE OF THE CABINET UNDER THE KITCHEN SINK AND IN BED#1 CLOSET FOR THE FRONT SIDE OF THE HOME.
- EGRESS WINDOW OPENINGS ARE 27 3/4" HIGH x 34 1/2" AND PROVIDE 6.65 SQ. FT. CLEAR.
- ALL CHASES TO BE FIRE STOPPED AT CEILINGS AND FLOOR.
- STAIRS TO HAVE 1/4" RISE (MAX.) AND 9" RUN (MIN.)
- UNIT TO GO ON A FROST WALL.

PFS CORPORATION

all applicable codes and regulations of:

MAINE

WINDOW SCHEDULE

SYMBOL	WINDOW SIZE (SQ. FT.)	LIGHT SIZE (SQ. FT.)	VENT. SIZE (SQ. FT.)	EGRESS OPENING (SEE NOTE 4)	TYPE
A	24'x28"=4.63	3.76	1.67	NO	SH
B	39'x36"=10.29	8.02	3.56	NO	SH
C	36'x64"=17.33	13.50	6.65	YES	SH
D	72'x80"=40.00	31.35	15.40	YES	SH
E					

DOOR SCHEDULE

SYMBOL	SIZE	TYPE	MATERIAL
1	24'x80"	BI FOLD	HOLLOW CORE
2	30'x80"	BI FOLD	HOLLOW CORE
3	32'x80"	BI FOLD	HOLLOW CORE
4	32'x80"	PASSAGE	HOLLOW CORE
5	34'x80"	EXTERIOR	STEEL
6	36'x80"	EXTERIOR	STEEL C/W WINDOW PVC & GLASS
7	72'x80"	PAIR	

APPROVAL LIMITED TO FACTORY PRODUCTION ONLY

DRN. BY: (AUB)

CHK'D BY: D. BRYANT

DATE: JUN 4 2001

CUSTOMER: STOCK

SCALE: N.T.S.

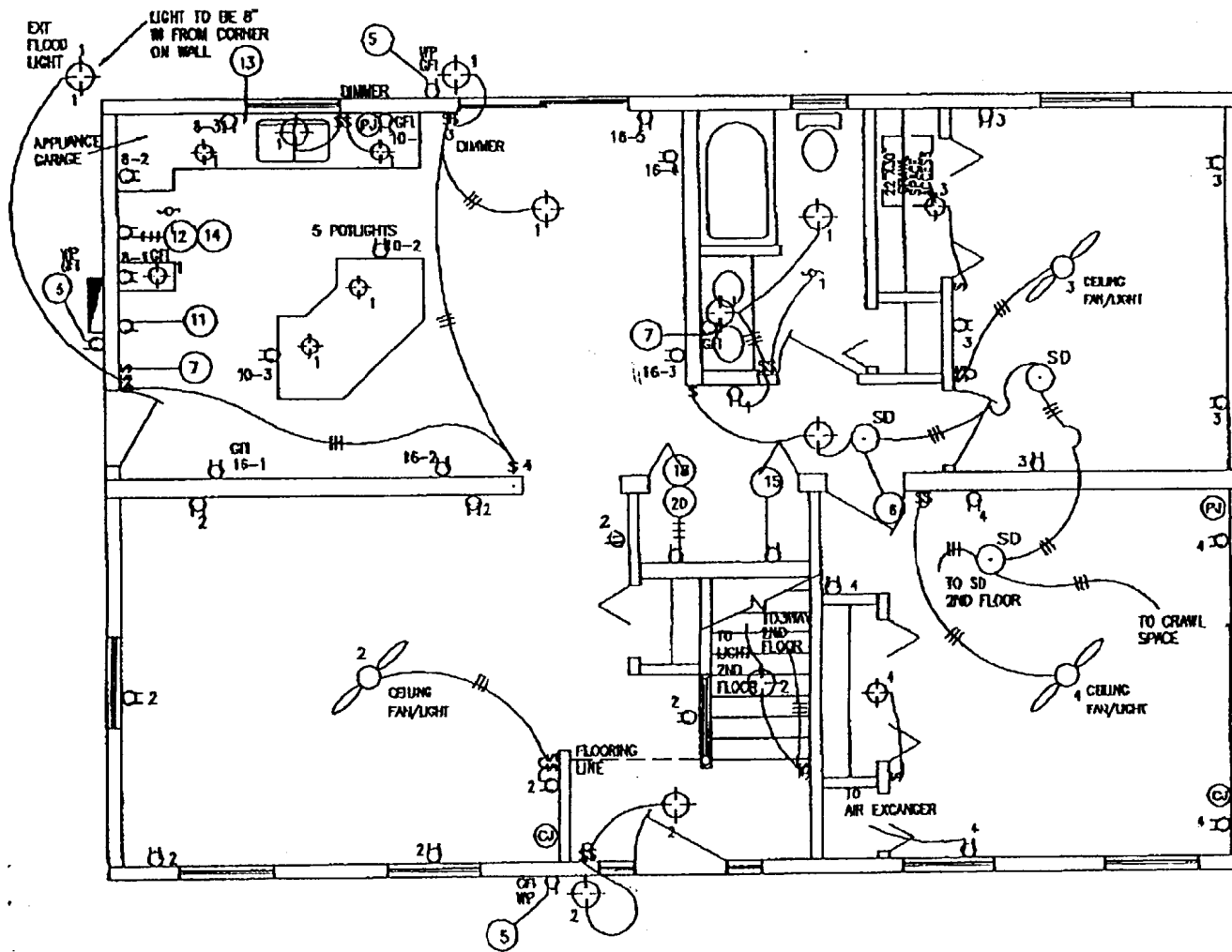
SHEET 1 OF 8

DATE JUN 12 2001

BY WILSON STAFF ENG.

CIRCUIT NO.	WIRE SIZE	CIRC. DESCRIPTION	CIRCUIT NO.	WIRE SIZE	CIRC. DESCRIPTION				
1	12	WIRING KIT/DBN	14/2	15A	15A	14/2	WIRING LIV RM	12	2
3	7	WIRING BED/2	14/2	15A	15A	14/2	WIRING BED/2	7	4
5	3	EXTERIOR RECEPTACLE	14/2	15A	15A	14/2	SD IN HALL LIGHT	5	6
7	1	BATH RECEPTACLE	12/2	20A	20A	12/2	KITCHEN COUNTER RECEPTACLE	3	8
9	1	TURBACE	14/2	15A	20A	12/2	KITCHEN COUNTER RECEPTACLE	3	10
11	1	TRIDGE	12/2	20A	40A	6/3	RANGE	1	12
13	1	DISH WASHER	12/2	20A					14
15	1	WASHER	12/2	20A	20A	12/2	DRING RECEPTACLE	5	16
17					30A	10/3	DRYER	1	18
19									20
21									22
23									24
25									26
27									28
29									30
31									32

PJ'S AND CJ'S TO BE WIRED BACK TO PANEL



AMERICAN PRODUCTS TO BE USED

1. GFI BREAKERS
2. BATH FANS
3. RANGE HOOD
4. ELECTRICAL PANEL AND BREAKERS
5. SMOKE DETECTORS
6. DOOR CHIMES
7. RANGE PLUGS
8. THERMOSTATS MARKED IN FAHRENHEIT

NOTES:

1. USE 100 AMP PANEL (24, 32, 40 CIRCUIT)
2. USE 800 VOLT U.S. WIRE.
3. ALL INTERMODULAR CONNECTIONS TO BE MADE IN JUNCTION BOXES NEAR ATTIC ACCESS.
4. REFER TO PAGE 28 OF MANUAL FOR LOAD CALCULATION DETAILS.
5. TRANSFORMER FOR DOOR CHIME TO BE IN A BOX SCREWED TO PANEL.
6. USE DEEP COILING BOXES.
7. OXF SET RANGE PLUGS.
8. DEDICATED CIRCUIT MUST HAVE A RECEPTACLE RATED SAME AMPERAGE AS CIRCUIT.
9. TANDEM BREAKERS MAY BE USED TO REPLACE TWO BREAKERS OF THE SAME AMPERAGE. WHEN TANDEM BREAKERS ARE USED, THE PANEL BOX AND LEGEND WILL BE REENUMBERED AS REQUIRED.
10. PHONE AND CABLE JACKS WIRED BACK TO PANEL.

SYMBOL	RECEPTACLE
\$	SWITCH
⊕	LIGHT FIXTURE
⊕	BATH FAN OR RANGE HOOD
⊕	SMOKE DETECTOR
⊕	PHONE JACK
⊕	CABLE JACK
⊕	CENTRAL VAC OUTLET
⊕	THERMOSTAT
⊕	DEHUMIDISTAT

JUN 12 2001

APPROVAL LIMITED TO FACTORY BUILT PORTION

 MAPLE LEAF HOMES INC. FREDERICTON, N.B.	TITLE:	ELECTRICAL PLAN PLAN #MS5700
	DRN BY:	DATE: JUNE 4 2001
(ALB)		STOCK
CHK'D BY:	DWG #	SCALE: N.T.S.
D. BRYANT	MS5700	SHEET 2 OF 6

LEGEND

1	1 1/2" PIPE	18.	1 1/2" DOUBLE TEE
2	2" PIPE	19.	2" DOUBLE TEE
3	3" PIPE	20.	3" DOUBLE TEE
4	1 1/2" P-TRAP	21.	2"x2"x1 1/2" TEE
5	2" P-TRAP	22.	3"x3"x1 1/2" TEE
6	1 1/2"x45°	23.	3"x3"x2" TEE
7	2"x45°	24.	1 1/2" WYE
8	3"x45°	25.	2" WYE
9	1 1/2"x90°	26.	3" WYE
10	2"x90°	27.	2"x2"x1 1/2" WYE
11	3"x90°	28.	3"x3"x1 1/2" WYE
12	1 1/2" DOUBLE 45°	29.	3"x3"x2" WYE
13	3" DOUBLE 45°	30.	3"x2" REDUCER
14	3" DOUBLE 45°	31.	3"x1 1/2" REDUCER
15	1 1/2" TEE	32.	2"x1 1/2" REDUCER
16	2" TEE	33.	3" CLOSET FLANGE
17	3" SANITARY TEE	34.	2"x2"x1 1/2"x1 1/2" TEE

-----ON SITE

ALL CLEANOUTS ARE TO BE ACCESSIBLE
 ALL LINES AND FITTINGS TO BE ABS
 PLASTIC AND COMPLY TO SCHEDULE 40
 ALL LINES ARE TO BE 1 1/2", 2", AND
 3" AS PER PLAN

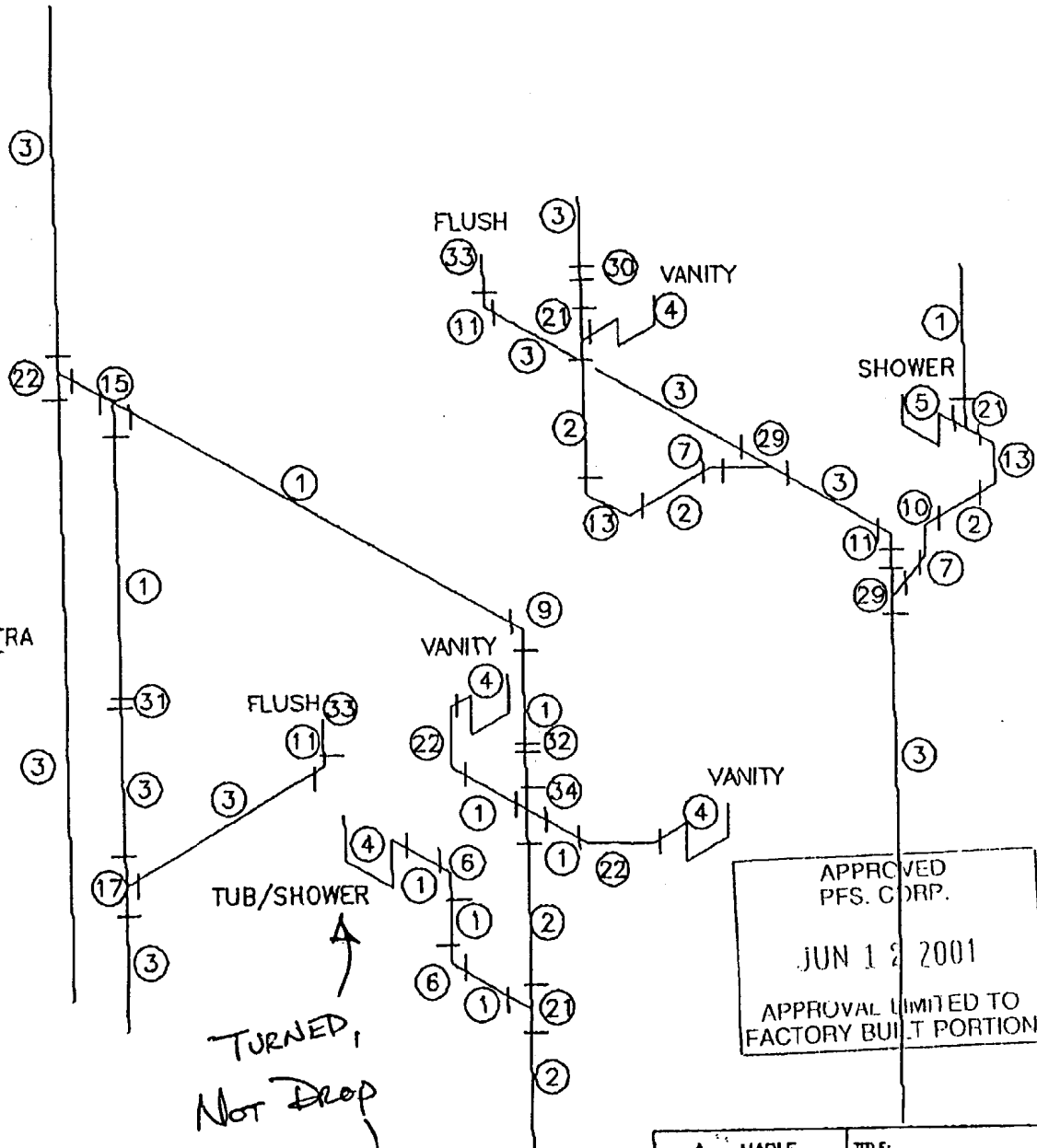
ALL CHANGES IN DIRECTION FROM HORIZONTAL
 TO VERTICAL TO BE DONE WITH LONG TURN
 FITTINGS

ALL FUTURE VENTS SHALL BE CAPPED
 & LABELLED

ALL VENTS TO BE CONVERTED TO
 3" BEFORE BEING VENTED THROUGH
 THE ROOF

ALL TEES TO BE SANITARY TEE'S

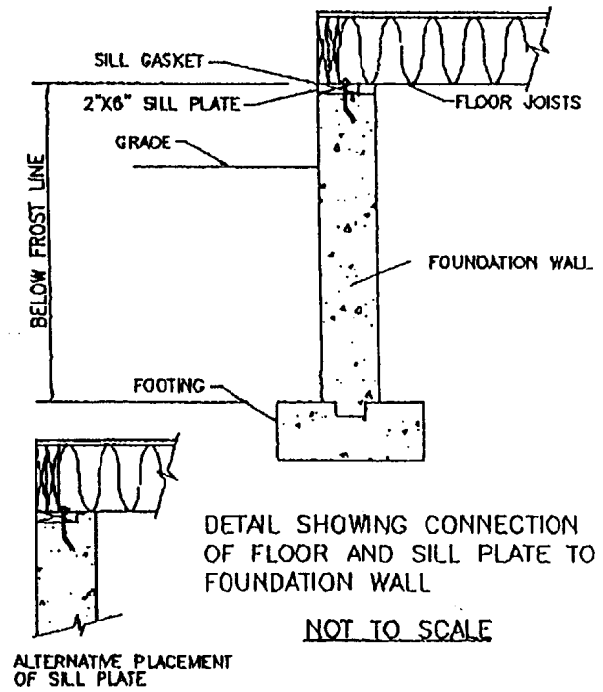
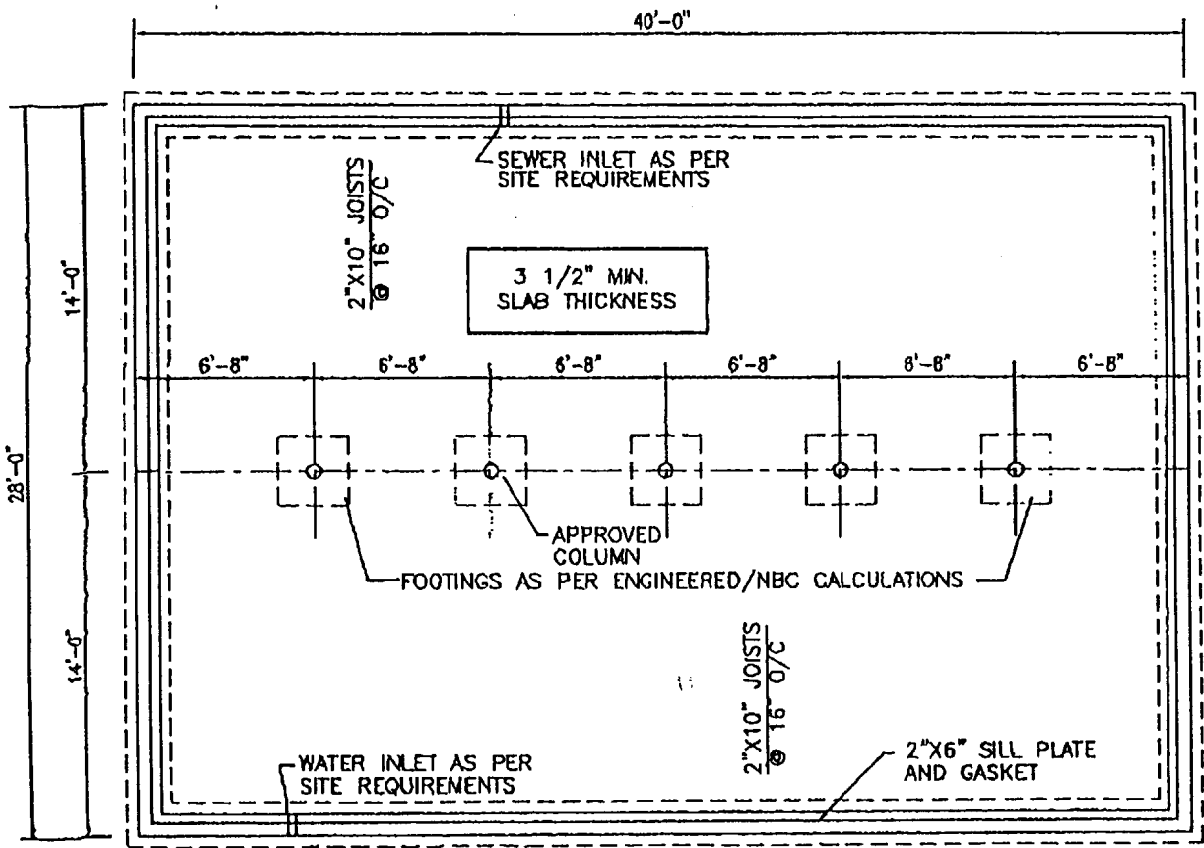
3" EXTRA
 VENT



TURNED,
 Not Drop
 (No S-TRAP)

APPROVED
 PFS. CORP.
 JUN 12 2001
 APPROVAL LIMITED TO
 FACTORY BUILT PORTION

MAPLE LEAF HOMES INC FREDERICTON, N.B.	TITLE: DRAIN LINES PLAN #M55700	
	DRN. BY: (ALB)	DATE: JUNE 4 2001
	CHK'D BY: D. BRYAN	CUSTOMER: STOCK
	ORIG # M55700	SCALE: N.T.S. SHEET 3 OF 6




DETAIL SHOWING CONNECTION OF FLOOR AND SILL PLATE TO FOUNDATION WALL
 NOT TO SCALE

FOUNDATION PLAN
 NOT TO SCALE

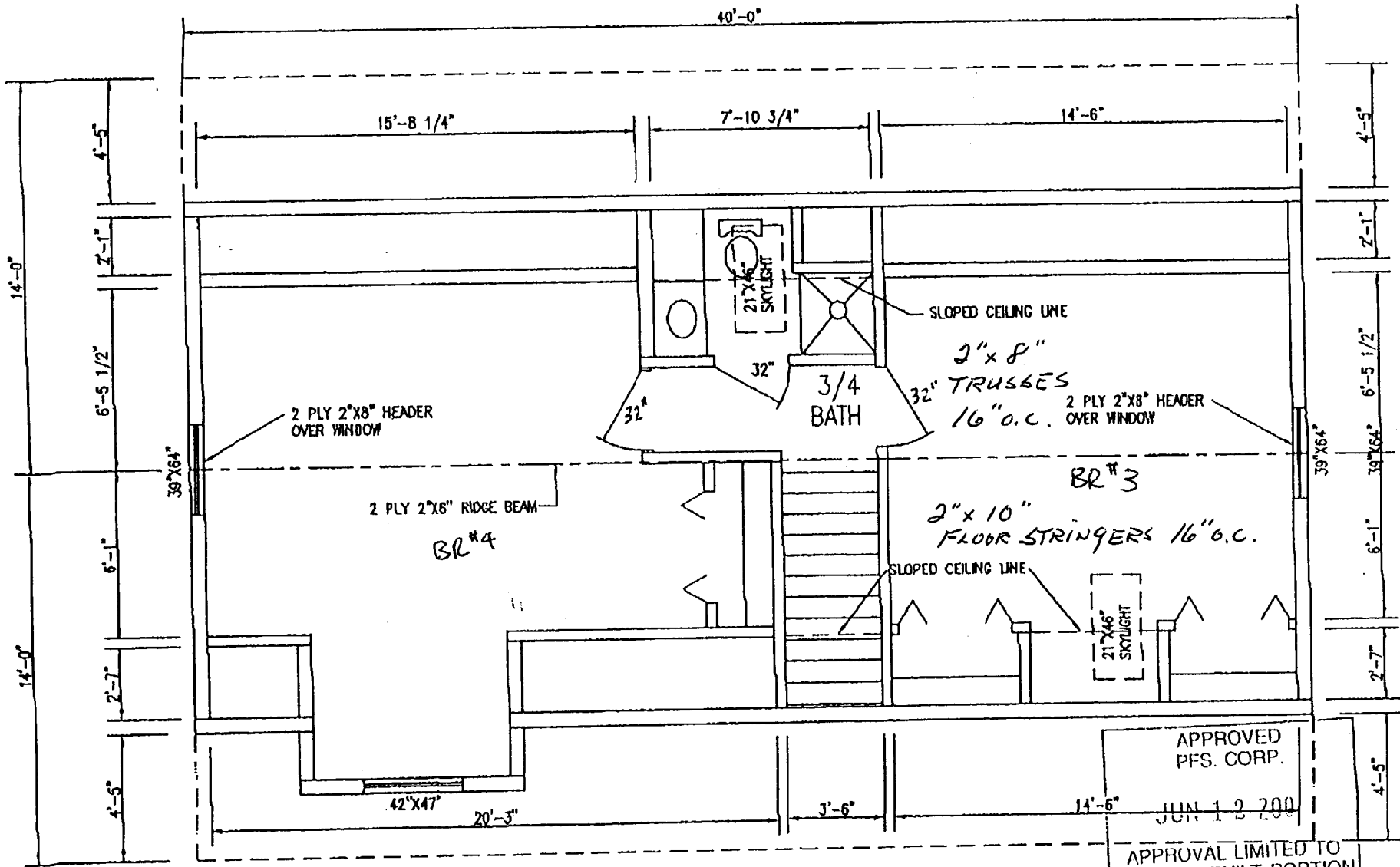
APPROVED
 PFS. CORP.
 JUN 12 2001
 APPROVAL LIMITED TO
 FACTORY BUILT PORTION

NOTES:


- #1. FLOOR DRAIN (IF REQ'D) IS TO RUN TO A SUITABLE SIZE DRAINAGE SYSTEM.
- #2. PVC DRAIN TILE TO BE PLACED AROUND PERIMETER OF FOOTINGS AND BE CONNECTED TO A SUITABLE SIZE DRYWELL OR STORMSEWER.
- #3. THIS PLAN IS INTENDED TO SHOW DIMENSIONS ONLY. IT IS THE DEALER/CONTRACTOR'S RESPONSIBILITY TO DETERMINE THICKNESS & FOOTING SIZES AS PER THE LATEST ADOPTED VERSION OF THE BOCA BUILDING CODE FOR THE AREA CONSTRUCTION IS TO TAKE PLACE.
- #4. WINDOW LOCATIONS OR BASEMENT ENTRANCES AND ROUGH OPENINGS FOR SAME ARE TO BE PROVIDED BY HOMEOWNER OR CONTRACTOR BEFORE CONSTRUCTION IS BEGUN.
- #5. OPENING CENTER LINES SHOWN, IF ANY, MATCH THOSE OF OPENINGS UPSTAIRS.
- #6. ANCHOR BOLTS TO BE 1/2" AND HAVE MIN. PENETRATION OF 8" IN CONCRETE WALL AND 15" INTO MASONRY WALL AND BE SPACED AT 6'-0" O/C MAX.
- #7. THIS FOUNDATION APPLIES TO DRAWING No. MIS5700 DATED MAY 12 2001

 MAPLE LEAF HOMES INC. FREDERICTON, N.B.		TITLE: FOUNDATION PLAN PLAN #BEN0201	
DRN. BY: (ALB)	DATE: APRIL 4 2001	CUSTOMER: DAVIS	
CHK'D BY: R.MULLER	DWG # BEN0201	SCALE: N.T.S. SHEET 4 OF 6	

JUN 11 2001 2:12 PM MAPLE LEAF HOMES INC.

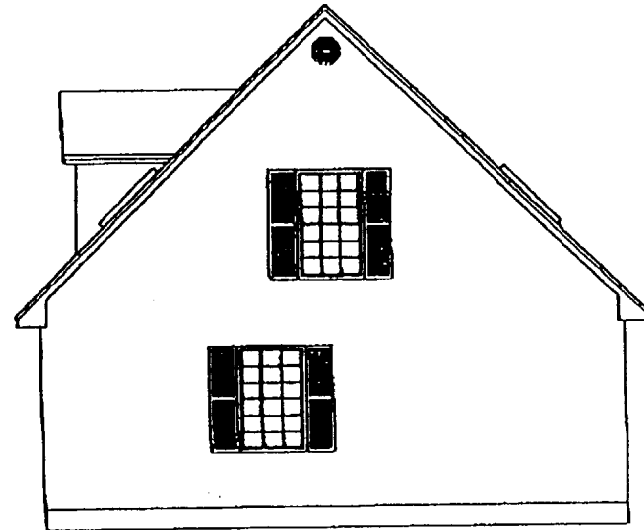


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JUN 12 2001
APPROVAL LIMITED TO
FACTORY BUILT PORTION

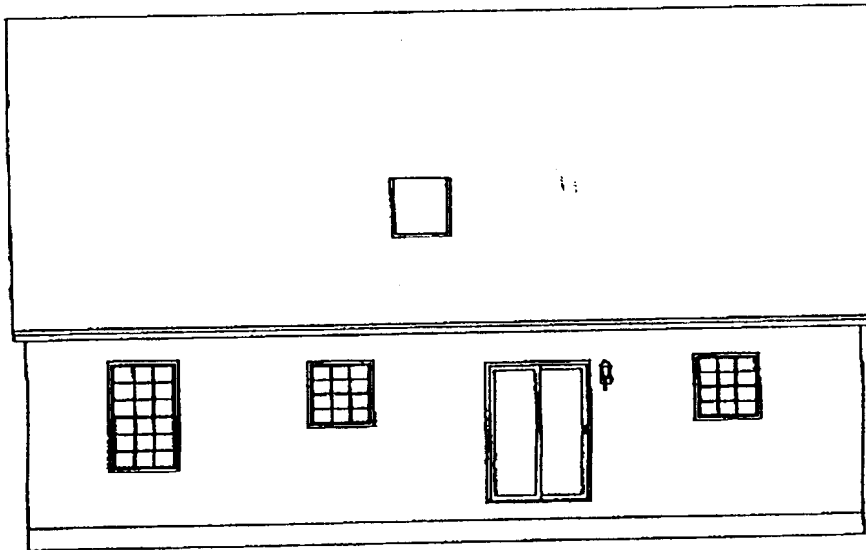
 MAPLE LEAF HOMES INC FREDERICTON, N.B.	TITLE: SECOND FLOOR PLAN PLAN # MS5700		
	DRN. BY: (ALB)	DATE: JUNE 4 2001	CUSTOMER: STOCK
	CHK'D BY: O. BRYANT	DWG # MS5700	SCALE: N.T.S. SHEET 5 OF 8



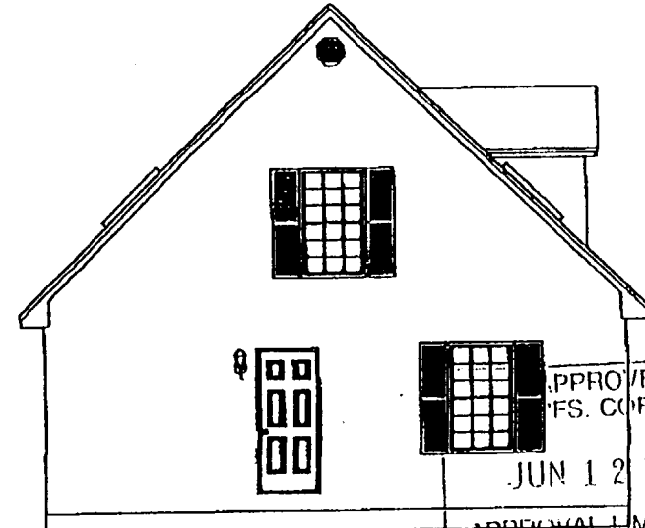
FRONT ELEVATION



RIGHT ELEVATION




REAR ELEVATION



LEFT ELEVATION

APPROVED
S.F.S. CORP.
JUN 12 2001
APPROVAL LIMITED TO
FACTORY BUILT PORTION

 MAPLE LEAF HOMES INC FREDERICTON, N.B.	TITLE:	ELEVATIONS PLAN #MSS700			
	DRN. BY:	(ALB)	DATE: JUNE 4 2001	CUSTOMER:	STOCK
	CHK'D BY:	D. BRIANT	DWG #	MSS700	SCALE: N.T.S.

MECcheck COMPLIANCE REPORT
 1993 Model Energy Code
 MECcheck Software Version 2.0

Permit #
Checked by/Date

CITY: Bangor
 STATE: Maine
 HDD: 7951
 CONSTRUCTION TYPE: Single Family
 DATE: 6-11-2001

DATE OF PLANS: JUNE 6, 2001

TITLE: 40'X28' CAPE CODE
 PROJECT INFORMATION:
 PLAN# MIS5700
 DEALER: NORTH STAR
 CUSTOMER: STOCK #1

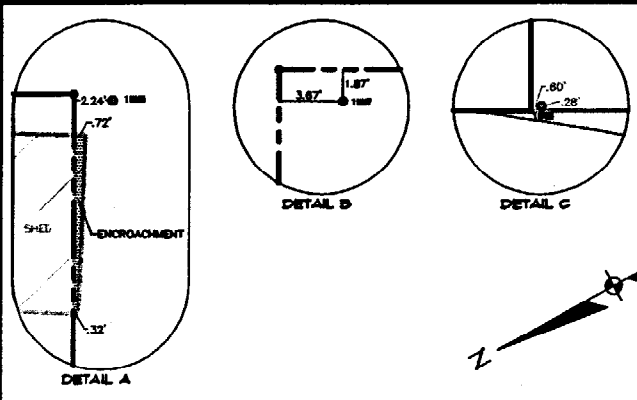
COMPLIANCE: PASSES
 Required UA = 245
 Your Home = 239

	Area or Perimeter	Insul R-Value	Sheath R-Value	Glazing/Door U-Value	UA
CEILINGS	866	40.0	0.0		25
CEILINGS	306	20.0	0.0		15
WALLS: Wood Frame, 16" O.C.	1580	20.0	0.0		83
GLAZING: Windows or Doors	187			0.350	65
GLAZING: Windows or Doors	40			0.410	16
GLAZING: Skylights	14			0.600	8
DOORS	57			0.350	20
BSMT: 8.0' ht/7.0' bg/8.0' insul.	136	12.0			7

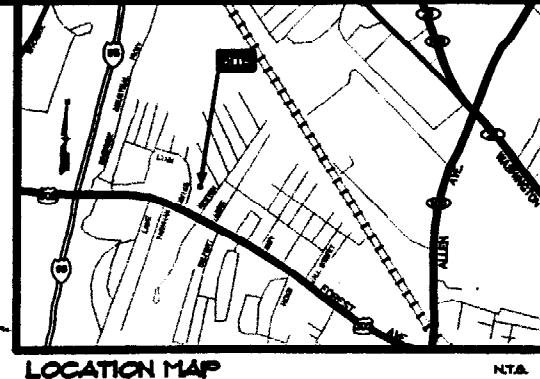
COMPLIANCE STATEMENT: The proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the 1993 CABO Model Energy Code.

Builder/Designer _____ Date _____

APPROVED
 PFS. CORP.
 JUN 12 2001
 APPROVAL LIMITED TO
 FACTORY BUILT PORTION



CENTERLINE CURVE DATA			
CURVE	LENGTH	RADIUS	DELTA
C1	28.36'	61.00'	28°-38'-28"
C2	128.06'	71.00'	101°-43'-37"
C3	101.35'	41.00'	141°-37'-56"

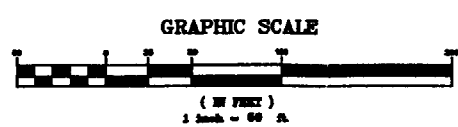
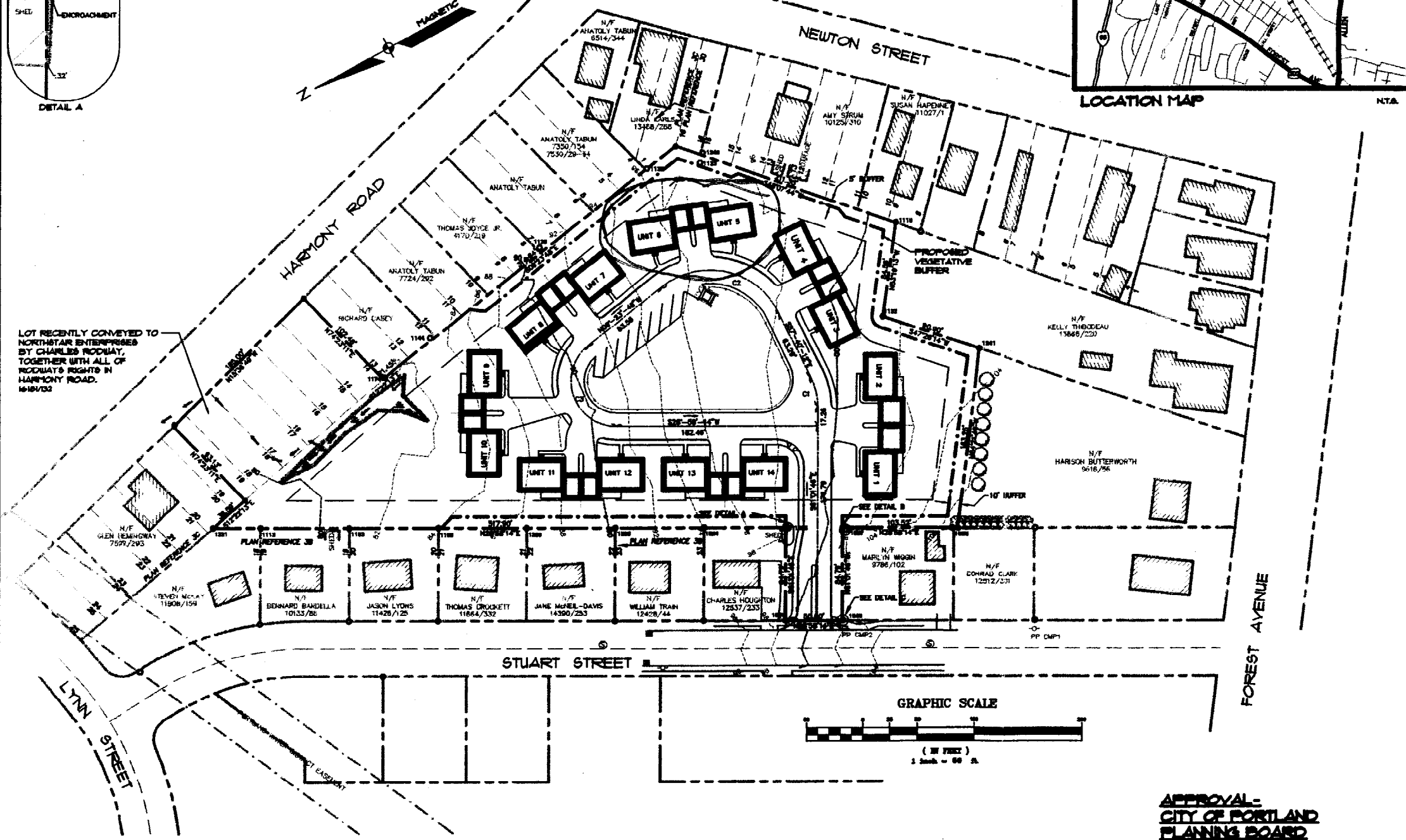


GENERAL NOTES

- THE RECORD OWNER OF THE PROPERTY IS NORTH STAR ENTERPRISES, INC. BY DEEDS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD) IN DEED BOOK 1446 PAGE 86 AND BOOK 1618 PAGE 132.
- THE PROPERTY IS LOCATED ON THE CITY OF PORTLAND TAX ASSESSORS MAP # 337 BLOCK C LOTS 6 & 7.
- PLAN REFERENCES:
 - PLAN WITH NO TITLE, PLAN SHOWS 8 LOTS AND ACCOMPANIED PETITION OF ESTATE OF ALEXANDER BAILEY (BOOK 860 PAGE 234), BY BERNIE CHAPLIN, DATED JANUARY 22, 1982, AND RECORDED IN THE CORD IN PLAN BOOK 4 PAGE 47.
 - STANDARD BOUNDARY SURVEY WILLOREST WEST, AMENDED RECORDING PLAN, BY WOLF ASSOCIATES, DATED MAY 18, 1989, AND RECORDED IN THE CORD IN PLAN BOOK 178 PAGE 82.
 - PLAN OF MCCORMICK'S GARDENS, OWNED BY J. H. WILBUR CO. INC. BY ERNEST BRANCH DATED NOVEMBER 16, 1916, AND RECORDED IN THE CORD IN PLAN BOOK B PAGE 78.
 - PLAN OF HARRIS FARM, BY E. G. JORDAN & CO. DATED JUNE 9, 1916, AND RECORDED IN THE CORD IN PLAN BOOK 14 PAGE 18.
- THE TOTAL AREA OF THE PROPERTY IS APPROXIMATELY 3.80 ACRES.
- THIS PLAN IS BASED UPON A STANDARD BOUNDARY SURVEY PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS ADOPTED BY THE STATE BOARD OF LICENSES FOR LAND SURVEYORS, CATEGORY 1, CONDITION 1, WITH THE FOLLOWING EXCEPTIONS:
 - THE WRITTEN REPORT IS LIMITED TO THE NOTES ON THIS PLAN.
 - NO NEW DESCRIPTION WAS PREPARED AT THE ISSUANCE OF THIS PLAN.
 - THE PROPOSED MONUMENTATION WAS NOT SET AT THE ISSUANCE OF THIS PLAN.
- NET RESIDENTIAL AREA CALCULATIONS:

TOTAL AREA	166,420 SF.
- STORMWATER AREA	13,500 SF.
- 2% SLOPES	22,900 SF.
SUBTOTAL	129,920 SF.
- 20% OF SUBTOTAL	26,284 SF.
NET RESIDENTIAL AREA	103,636 SF.
ALLOWABLE DENSITY - 1 UNIT PER 6,500 SF. = 15.8 UNITS	
- THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND RS RESIDENTIAL DISTRICT.
- SPACE AND BULK STANDARDS FOR RS DISTRICT ARE AS FOLLOWS:
 - MINIMUM LOT AREA 6,500 SF.
 - MINIMUM LOT AREA PER DWELLING UNITS 29 FT.
 - MINIMUM SIDE/REAR SET BACKS 25 FT.
 - MAXIMUM BUILDING HEIGHT 30 FT.
- BUILDING SUMMARY:
 - 1 TWO UNIT BUILDINGS
- MINIMUM RECREATION AREA REQUIRED IS 6,000 SF. (6,100 SF. PROVIDED)
- MAXIMUM LOT COVERAGE:
 - 166,420 SF (3.82 AC.) X .25 = 41,605 SF. ALLOWED.
 - 2 UNITS = 1440 SF + 2 UNITS = 1480 SF = 20,480 SF. PROPOSED
- BUILDING UNITS TO BE SERVED BY PUBLIC WATER, PUBLIC SEWER AND ELECTRIC, TELEPHONE AND CABLE.
- ALL CONSTRUCTION AND SITE ALTERATIONS WILL BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND "TECHNICAL DESIGN STANDARDS AND GUIDELINES" ADOPTED SEPTEMBER 1991 AND AMENDED THRU JULY 1994.
- THE VEGETATIVE BUFFER AS SHOWN ON THIS PLAN SHALL BE FLAGGED FOR REVIEW BY THE CITY ARBORIST PRIOR TO CONSTRUCTION. THE AREAS LACKING SUFFICIENT VEGETATION SHALL HAVE 6" EVERGREEN TREES PLACED 10 TO 15 FEET ON CENTER IN A STAGGERED FORMATION PRIOR TO CONSTRUCTION.
- BUILDINGS SHOWN ON ADJUTING LOTS WERE TAKEN FROM AERIAL PHOTOGRAPHY WITH FIELD CHECKS AND ARE APPROXIMATE.
- THE LIMITED COMMON ELEMENTS OF THE CONDOMINIUMS ARE LIMITED TO THE EXTERIOR STEPS, DECKS, AND PATIOS.
- NO UNIT OWNERS OR ASSOCIATION SHALL REGRADE ANY AREA OF THE PROPERTY. THE PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN SHALL BE MAINTAINED.

LOT RECENTLY CONVEYED TO NORTHSTAR ENTERPRISES BY CHARLES RODWAY, TOGETHER WITH ALL OF RODWAY'S RIGHTS IN HARMONY ROAD. 1618/03



LEGEND		LEGEND	
EXISTING	DESCRIPTION	EXISTING	DESCRIPTION
---	PROPERTY/ROW	○	GATE VALVE
---	SETBACK	○	UTILITY POLE
---	EASEMENT	○	HYDRANT
---	IRON PIPE/ROD	○	CATCH BASIN
---	CURVE/LINE NO.	○	MANHOLE
---	BUILDING	○	WIRE FENCE
---	WETLANDS	○	STOCKADE FENCE
---	EDGE WETLAND	○	DECIDUOUS TREE
---	EDGE PAVEMENT	○	CONIFEROUS TREE
---	GRAVEL ROAD	○	BENCHMARK
---	CURVE/LINE	○	SURVEY CONTROL
---	TREELINE	○	DRAINAGE DIRECTION
---	CONTOURS		
---	WATER		
---	SEWER		
---	12" SD		
---	OVERHEAD ELEC. & TEL.		
---	UNDERGROUND ELEC. & TEL.		

MONUMENTATION DESCRIPTIONS	
POINT #	DESCRIPTION
1080	5/8" REBAR W/ DESTROYED CAP, FLUSH (HELD)
1080	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 2" HIGH
1084	1" IRON PIPE 12" HIGH
1086	1" IRON PIPE 6" HIGH
1087	1" IRON PIPE 18" HIGH, LEANING, LOCATED BASE
1088	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) FLUSH
1118	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 4" HIGH
1119	3/4" IRON PIPE 10" HIGH, LEANING, LOCATED BASE (HELD)
1122	3/4" IRON PIPE, 8" HIGH (HELD)
1126	3/4" IRON PIPE W/ ELBOW TOP, 10" HIGH, LEANING, LOCATED BASE (SET BY ABUTTER)
1128	3/4" IRON PIPE W/ ELBOW TOP, 2" HIGH, (SET BY ABUTTER)
1130	1" IRON PIPE, 15" HIGH, LEANING, LOCATED BASE
1144	3/4" IRON PIPE, 15" HIGH, LEANING, LOCATED BASE
1174	1" IRON PIPE 30" HIGH, LEANING, LOCATED BASE (SET BY ABUTTER)
1180	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 4" HIGH
1180	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 15" HIGH
1200	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 12" HIGH
1208	5/8" REBAR W/ CAP (LAND USE CONSULTANTS # 1155) 8" HIGH
1221	REBAR W/ 3" METAL CAP (LAND SURVEY MARKER, DO NOT DESTROY, MICHAEL HASKELL ASSOC., RLS 992, MHA # 152, MON # 1001) 2" UNDERGROUND (HELD)
1240	3/4" IRON ROD, 12" HIGH
1241	5/8" IRON PIPE, 2" UNDERGROUND (HELD)

APPROVAL:
CITY OF PORTLAND
PLANNING BOARD

DATE: _____

STATE OF MAINE
COUNTY SS REGISTRY OF DEEDS
RECEIVED _____ 20____
AT _____ M. AND RECORDED IN
PLAN BOOK _____ PAGE _____
ATTEST _____ REGISTER

REV.	BY:	DATE:	STATUS:
G	MNE	6-11-01	REVISED LOCATION OF UNITS 7,8,11,12,13,14
F	MNE	4-9-01	ROADWAY PROPERTY TRANSFER, AND REVISED AREA NOTES
E	MNE	1-03-01	ADDED NOTES 16 & 17
D	MNE	12-12-00	REVISED FINAL PLAN SUBMISSION
C	MNE	11-28-00	FINAL PLAN SUBMISSION
B	MNE	10-28-00	PRELIMINARY SUBMISSION
A	MNE	4-27-00	PRELIMINARY SUBMISSION

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

SUBDIVISION RECORDING PLAT
OF:
HOMES AT MEADOW WOODS
STUART STREET
PORTLAND, MAINE
FOR RECORD OWNER:
NORTH STAR ENTERPRISES, INC.
3200 SUMMIT RIDGE DRIVE #122
RENO, NEVADA 89523

Sebago Technics
Engineering & Planning for the Future
One Chestnut Street
Westbrook, Me 04090-1338
Tel (207) 854-0277

DESIGN BY: RBS
DRAWN BY: RBS
CHECKED BY: RBS
DATE: 4-26-00
SCALE: 1"=50'
FIELD BK: 695
PROJ. NO: 99172
DRAWING: 99172SB
SHEET 2 OF 9

