

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BU  ICTION

**PERMIT**

Permit Number: 100371

Please Read Application And Notes, if Any, Attached

**PERMIT ISSUED**

This is to certify that Walton David & /East Bay Builders  
has permission to Build new 14' x 18' addition and 18' x 7' shed

AT 6 Braintree St 336 J018001 MAY 26 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

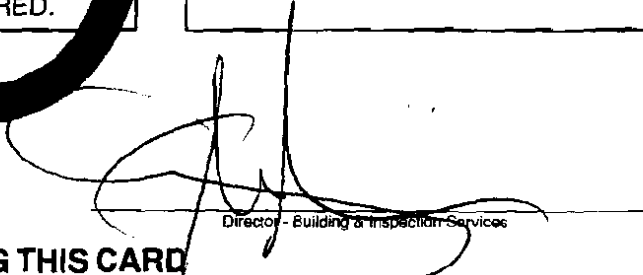
Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name



Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |             |                     |
|-----------------------|-------------|---------------------|
| Permit No:<br>10-0371 | Issue Date: | CBL:<br>336 J018001 |
|-----------------------|-------------|---------------------|

|   |                                       |   |                        |
|---|---------------------------------------|---|------------------------|
| Location of Construction:<br>6 Braintree St | Owner Name:<br>Walton David &         | Owner Address:<br>6 Braintree St                | Phone:<br>207-838-1175 |
| Business Name:                              | Contractor Name:<br>East Bay Builders | Contractor Address:<br>46 Maple Street Portland | Phone:<br>2074154624   |
| Lessee/Buyer's Name                         | Phone:                                | Permit Type:<br>Additions - Dwellings           | Zone:<br>R-3           |

|  |  |  |   |                    |       |
|--|--|--|---|--------------------|-------|
| Past Use:<br>Single Family   | Proposed Use:<br>Single Family / Build new 14' x 18' addition also 18' x 7' farmers porch. | Permit Fee:<br>\$180.00  | Cost of Work:<br>\$16,000.00                              | CEO District:<br>5 | 7717F |
| Proposed Project Description:<br>Build new 14' x 18' addition also 18' x 7' farmers porch. |  | FIRE DEPT:<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br><i>N/A</i> | INSPECTION:<br>Use Group: R-3 Type: SB<br><i>IRC 2003</i> |                    |       |

|  |                              |
|--|------------------------------|
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  |                              |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | Signature: _____ Date: _____ |

|                        |                                 |                        |  |
|------------------------|---------------------------------|------------------------|--|
| Permit Taken By:<br>gg | Date Applied For:<br>04/15/2010 | <b>Zoning Approval</b> |  |
|------------------------|---------------------------------|------------------------|--|

|   |   |  |   |
|---|---|--|---|
| <p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p> | <p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input type="checkbox"/> Site Plan<br>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied | <p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied | <p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied |
|   | <p><b>PERMIT ISSUED</b></p> <p>MAY 26 2010</p> <p>City of Portland</p>  | <p><i>of with conditions</i></p> <p>Date: <i>4/16/10</i></p>   | <p>Date: _____</p>  |

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

6-15-10

18"6" x 15" x 20"

OK to PARK

6-30-10 (-close w)

- spec sheet for Beam over kitchen -

- hand rail nee'ds -

plates for electric wires -

- check Beam size nee'ds -

(2 x 6)'s

deck floor JOIST hangers + <sup>more</sup> lags screws

64" span-window / I Jack

ADD LAGS to Point Ledger I Jack Bay attaching Top + Bottom

called - boarde 7/10/10



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

April 15 2010

Received from

East Pan Building

Location of Work

6 Brunette St.

Cost of Construction

\$

Building Fee:

Permit Fee

\$

Site Fee:

Certificate of Occupancy Fee:

Total:

190.00

Building (IL)

Plumbing (IS)

Electrical (I2)

Site Plan (U2)

Other

CBL:

336 5076

Check #:

2035

Total Collected \$

190.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by:

Rayle

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|  |  |   |
|--|--|---|
| Location/Address of Construction: <u>6 Brainbroe Portland ME</u>   |  |   |
| Total Square Footage of Proposed Structure/Area<br><u>252</u>  | Square Footage of Lot<br><u>.177 Acres</u>   | Number of Stories<br><u>1</u>   |
| Tax Assessor's Chart, Block & Lot<br>Chart# <u>336</u> Block# <u>233</u> Lot# <u>J018001</u>   | Applicant * <u>must</u> be owner, Lessee or Buyer*<br>Name <u>Dave Walton</u><br>Address <u>6 Brainbroe St</u><br>City, State & Zip <u>Portland ME 04103</u> | Telephone:<br><u>207-838-1175</u>   |
| Lessee/DBA (If Applicable)<br><b>RECEIVED</b><br>APR 15 2010<br>Dept. of Building Inspections<br>City of Portland Maine                        | Owner (if different from Applicant)<br>Name <u>Dave Walton</u><br>Address <u>6 Brainbroe St</u><br>City, State & Zip <u>Portland ME 04103</u>                | Cost Of Work: \$ <u>16,000.00</u><br>C of O Fee: \$ <u>4</u><br>Total Fee: \$ <u>150.00</u> |
| Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u>   |  |   |
| If vacant, what was the previous use? _____  |  |   |
| Proposed Specific use: <u>Gathering room</u>   |  |   |
| Is property part of a subdivision? <u>NO</u> If yes, please name _____   |  |   |
| Project description: <u>Add 14x18 gathering room to 24x32 Cape in Portland 4ft frost walls with moisture slab. Bill farmes porch off front</u> |  |   |
| Contractor's name: <u>East Day Builders James Levine <del>xx</del> California + Dick</u>   |  |   |
| Address: <u>46 Maplewood St</u> <u>maine</u>   |  |   |
| City, State & Zip <u>Portland ME 04103</u>   |  | Telephone: <u>415-4624</u>  |
| Who should we contact when the permit is ready: <u>Contractor</u>  |  | Telephone: <u>415-4624</u>  |
| Mailing address: <u>Same as above</u>  |  |   |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4/9/10

This is not a permit; you may not commence ANY work until the permit is issued



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

## One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**

- (c) Loading, sales, dead storage, repair, or servicing of any kind, except when customarily incidental or accessory to a conforming principal building or use when located in an I-2, I-2b, I-3 zone and I-3b zone;
- (d) Except in the case of a car dealer, more than one (1) unregistered motor vehicle stored outside for a period in excess of thirty (30) days in any residence zone, the R-P zone or any business zone;
- (e) Notwithstanding (1) above, any truck body, commercial trailer or similar commercial vehicles in any residence zone or the R-P zone.

(Code 1968, § 602.14.E; Ord. No. 298-88, 5-31-88)

**Sec. 14-336. Location in residence zones for six or fewer vehicles.**

(a) Where off-street parking for six (6) or fewer vehicles is required or provided in any residence zone, it shall not be located closer than fifty (50) feet to any street line if less than five (5) feet from any lot line and shall not be closer to any street line than the required depth of the front yard for the same lot, except on a corner lot where the minimum depth from the line of the side street shall be the minimum width of the side yard on the side street. Lots in the R-6 zone shall not be required to provide the five-foot setback required by this section, but parking in the R-6 zone shall meet the front yard setbacks set forth in this section.

(b) Parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

(Code 1968, § 602.14.F; Ord. No. 231-90, § 1, 3-5-90; Ord. No. 310-98, § 2, 5-4-98)

**Sec. 14-337. Location in residence zones for more than six vehicles.**

Where off-street parking for more than six (6) vehicles is required or provided for nonresidential uses in residence zones, it shall not be located closer than twenty-five (25) feet to any residential structure on an adjoining lot.

(Code 1968, § 602.14.G)

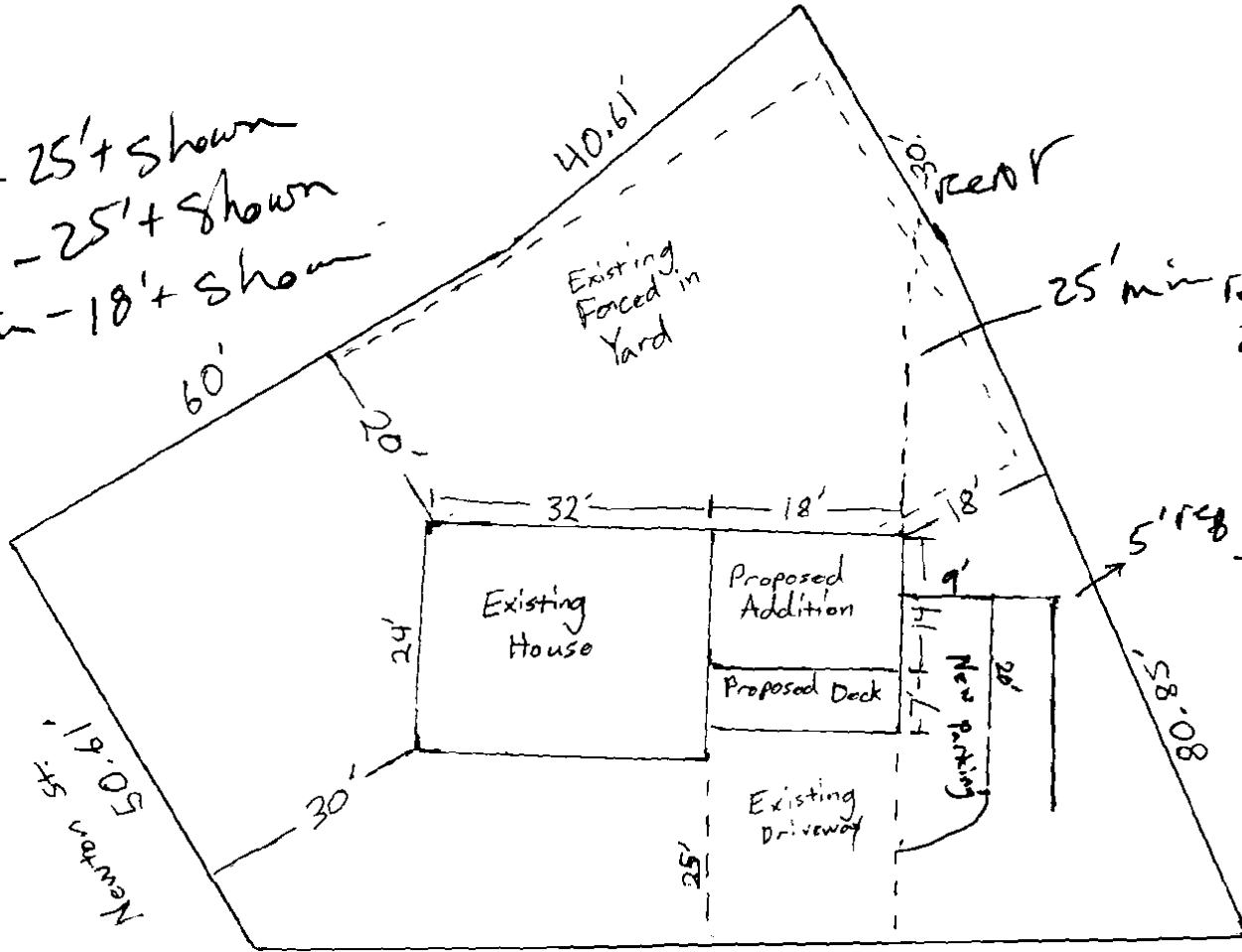
**Sec. 14-338. When located within required open yard areas in residence zones.**

East Bay Builders  
 46 ~~Mapwood~~ St.  
 Portland ME

Dave Walton  
 6 Braintree St  
 Portland ME

R-3

Front: 25' min - 25' + shown  
 Rear: 25' min - 25' + shown  
 Side: 1st story 8' min - 18' + shown



$$24 \times 32 = 768$$

$$14 \times 18 = 252$$

$$7 \times 18 = 126$$


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$$1146 \#$$

OK

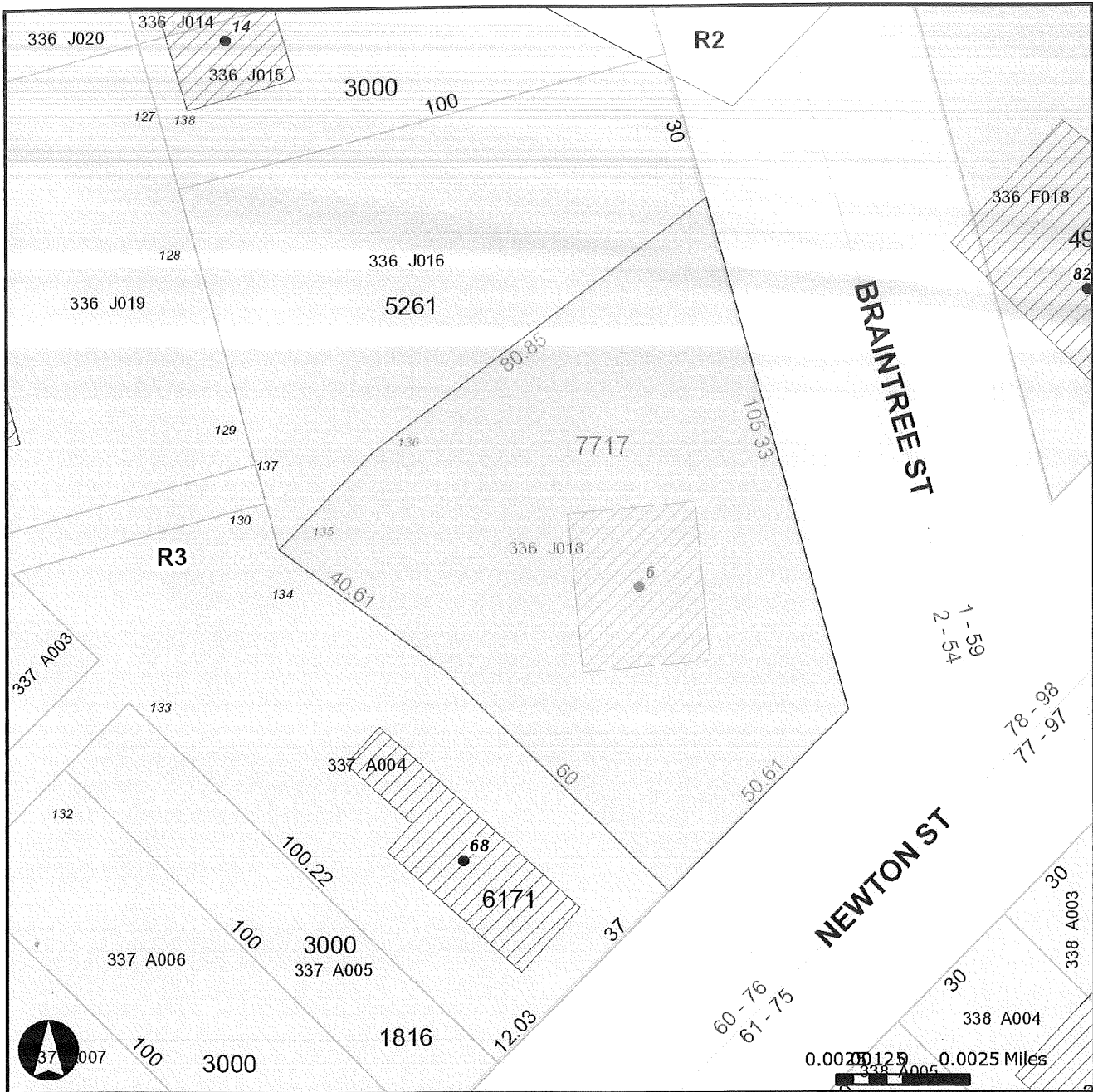
$$2717 \times 35\% = 2700.95 \#$$

Braintree St.  
 Front

parking - not permitted in front yard



# Map



|  |   |  |                              |
|--|---|--|------------------------------|
| <b>Parcels</b>                                   | <b>Stream Overlay Zone</b>                            | <b>Zoning (continued)</b>                          | <b>Zoning (continued)</b>    |
| <input type="checkbox"/> Parcel                  | <input checked="" type="checkbox"/> Stream_protection | <input type="checkbox"/> R2 Residential            | <input type="checkbox"/> C25 |
| <b>Interstate</b>                                | <b>Island Zoning</b>                                  | <input type="checkbox"/> R3 Residential            | <input type="checkbox"/> C26 |
| <input type="checkbox"/> Interstate              | <input type="checkbox"/> C43                          | <input type="checkbox"/> R4 Residential            | <input type="checkbox"/> C27 |
| <b>Streets</b>                                   | <input type="checkbox"/> I-B                          | <input checked="" type="checkbox"/> R5 Residential | <input type="checkbox"/> C28 |
| <input type="checkbox"/> Street                  | <input type="checkbox"/> I-TS                         | <input checked="" type="checkbox"/> R6 Residential | <input type="checkbox"/> C29 |
| <b>Buildings</b>                                 | <input type="checkbox"/> I-R1                         | <input type="checkbox"/> ROS Recreation Open       | <input type="checkbox"/> C30 |
| <input checked="" type="checkbox"/> Building     | <input type="checkbox"/> I-R2                         | <input type="checkbox"/> Space                     | <input type="checkbox"/> C31 |
| <input checked="" type="checkbox"/> Out Building |   |  |                              |

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

MAY 26 2010

City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |                                 |                     |
|-----------------------|---------------------------------|---------------------|
| Permit No:<br>10-0371 | Date Applied For:<br>04/15/2010 | CBL:<br>336 J018001 |
|-----------------------|---------------------------------|---------------------|

|   |                                       |   |                          |
|---|---------------------------------------|---|--------------------------|
| Location of Construction:<br>6 Braintree St | Owner Name:<br>Walton David &         | Owner Address:<br>6 Braintree St                | Phone:<br>207-838-1175   |
| Business Name:                              | Contractor Name:<br>East Bay Builders | Contractor Address:<br>46 Maple Street Portland | Phone:<br>(207) 415-4624 |
| Lessee/Buyer's Name                         | Phone:                                | Permit Type:<br>Additions - Dwellings           |                          |

|  |  |
|--|--|
| Proposed Use:<br>Single Family / Build new 14' x 18' addition also 18' x 7' farmers porch. | Proposed Project Description:<br>Build new 14' x 18' addition also 18' x 7' farmers porch. |
|--|--|

|  |  |                           |                           |
|--|--|---------------------------|---------------------------|
| Dept: Zoning   | Status: Approved with Conditions                 | Reviewer: Marge Schmuckal | Approval Date: 04/16/2010 |
| Note:  | Ok to Issue: <input checked="" type="checkbox"/> |                           |                           |
| 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.<br>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.<br>3) This permit is being approved on the basis of revised plans submitted. Any deviations shall require a separate approval before starting that work.                 |  |                           |                           |
| Dept: Building   | Status: Approved with Conditions                 | Reviewer: Tammy Munson    | Approval Date: 05/26/2010 |
| Note:  | Ok to Issue: <input checked="" type="checkbox"/> |                           |                           |
| 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.<br>2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.<br>3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. |  |                           |                           |

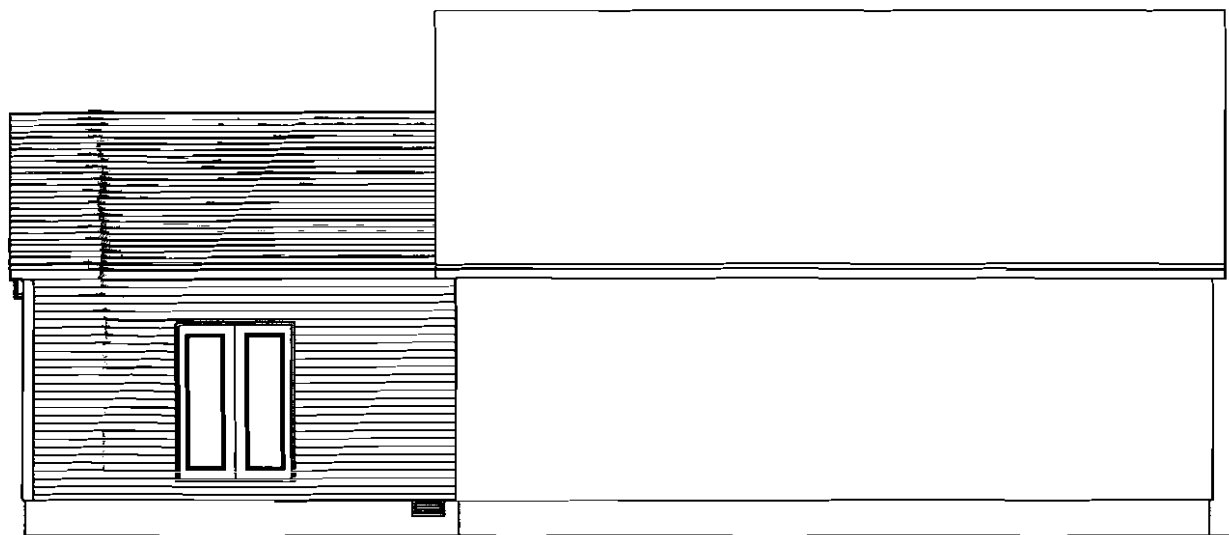
**PERMIT ISSUED**

MAY 26 2010

|  |
|--|
| <b>Comments:</b><br>4/15/2010-mes: spoke to the owner - He needs to show 2 parking spaces that are not in the required front yard of 25' - He thinks he can do that - He will have his builder get me a new plot plan - MES<br>4/16/2010-mes: contractor came in and revised the plans showing the parking in the side setback |
|--|



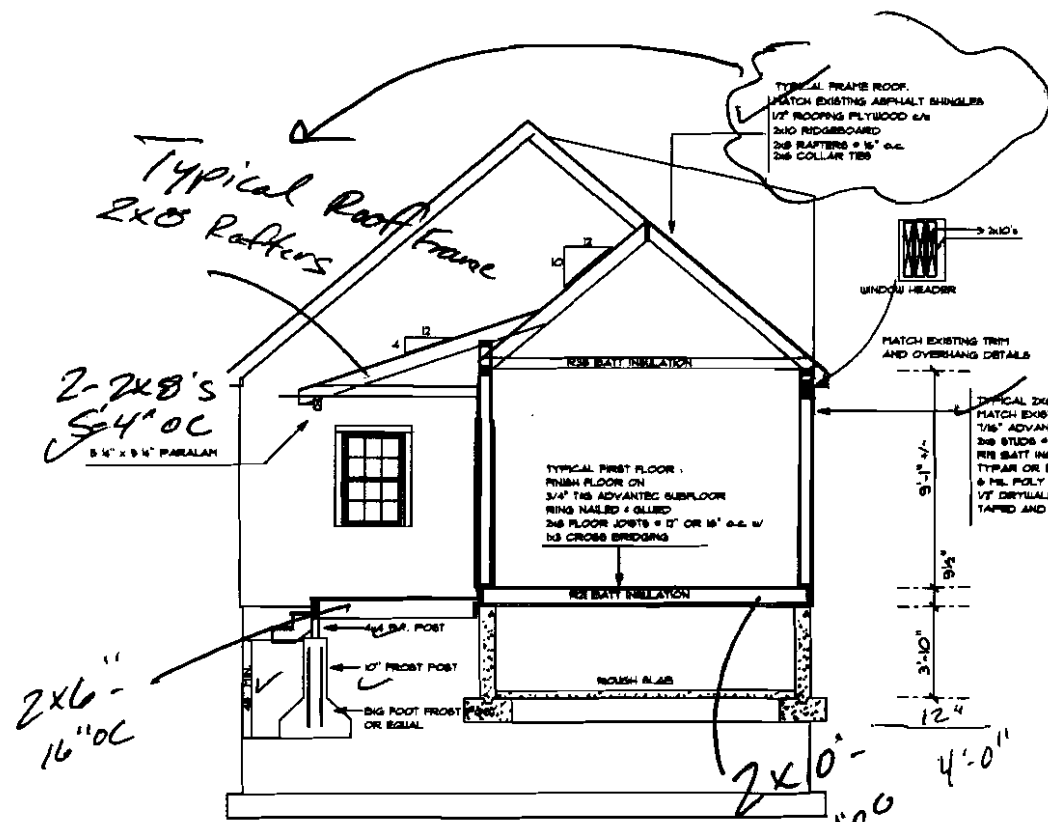
FRONT ELEVATION



REAR ELEVATION

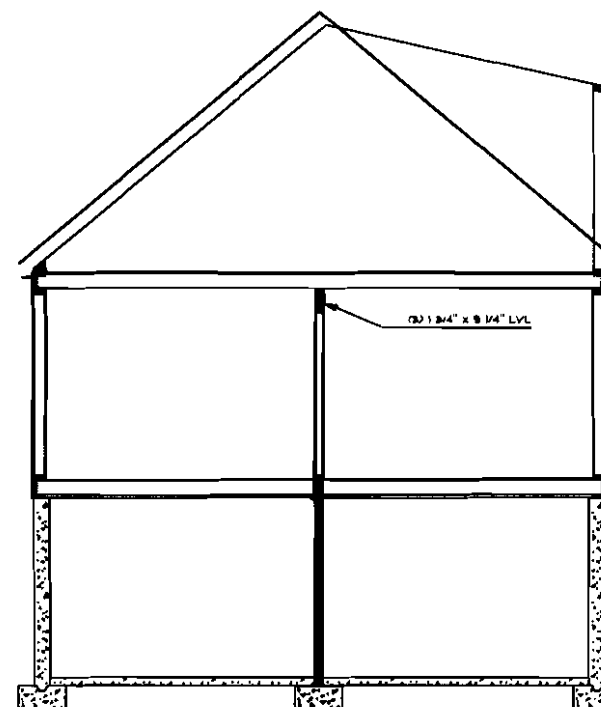


RIGHT ELEVATION



CROSS SECTION A-A  
SCALE: 1/4" = 1'-0"

NOTE: ALL WINDOWS 16"00  
U-FACTOR = .31

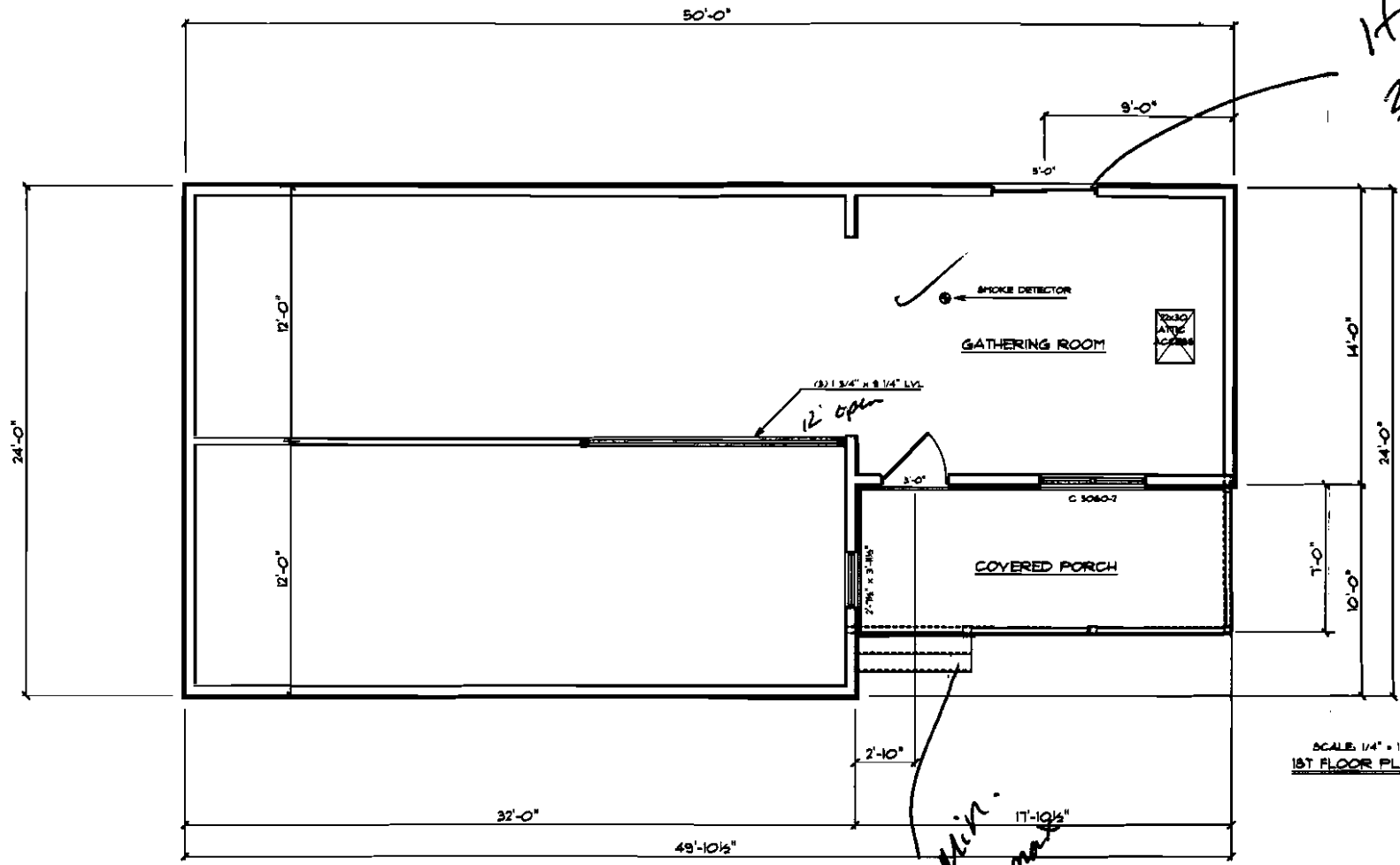


CROSS SECTION B-B  
FRAMING DETAIL THE SAME AS  
CROSS SECTION A-A UNLESS NOTED  
SCALE: 1/4" = 1'-0"

THESE PLANS ARE TO BE CONSIDERED ONLY AS ORIGINAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. PALAZA RES DESIGN IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR OR BE COMPLETELY COMPLIANT. ADJUSTMENTS OR MODIFICATIONS TO THESE PLANS MUST BE MADE BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE BUILDING DEPARTMENTS TO COMPLETE THIS PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. USE OF THESE PLANS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO PALAZA RES DESIGN INC. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE BUILDING DEPARTMENTS TO COMPLETE THIS PROJECT.

CONTRACTOR: EASTBAY BUILDERS  
PROJECT NAME: WALTON ADDITION

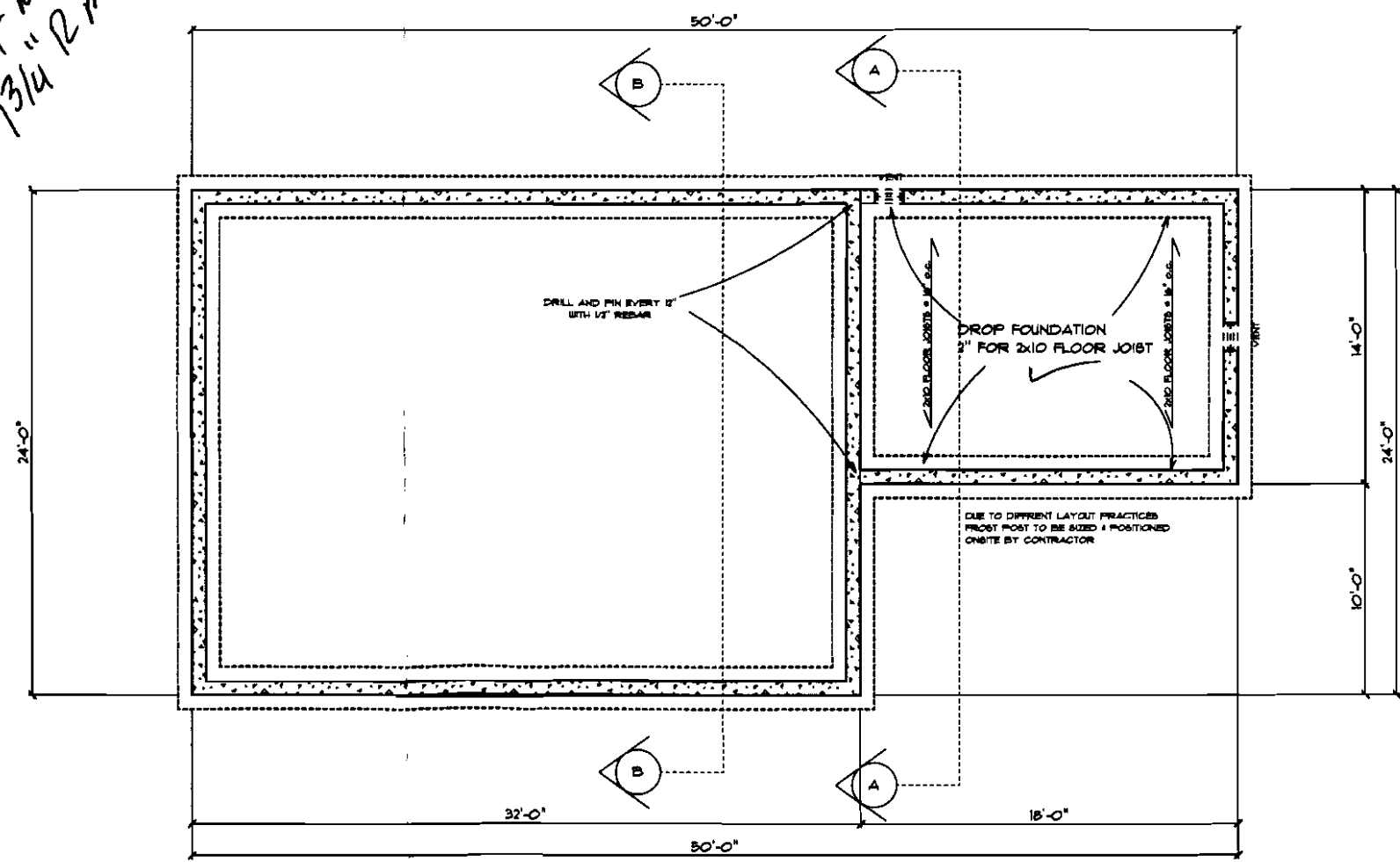
|       |      |
|-------|------|
| NO. 1 | DATE |
| NO. 2 | DATE |
| NO. 3 | DATE |
| NO. 4 | DATE |
| NO. 5 | DATE |
| NO. 6 | DATE |



*If over 30" - need 36" Guard on Stairs 36" wide 10" T + 7 3/4"*

SCALE 1/4" = 1'-0"  
1ST FLOOR PLAN

*10" T Min.  
13/4" R max.*



THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING LOCAL AND STATE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING LOCAL AND STATE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING LOCAL AND STATE BUILDING CODES.

CONTRACTOR:  
**EASTBAY BUILDERS**

PROJECT NAME:  
**WALTON ADDITION**

|          |              |
|----------|--------------|
| REVISION |              |
| DATE     | Apr 08, 2010 |
| SCALE    | AS NOTED     |
| DRAWN    |              |
| FILE     |              |
| HEET     | 1 of 1       |