

ASSOCIATED DESIGN PARTNERS INC.
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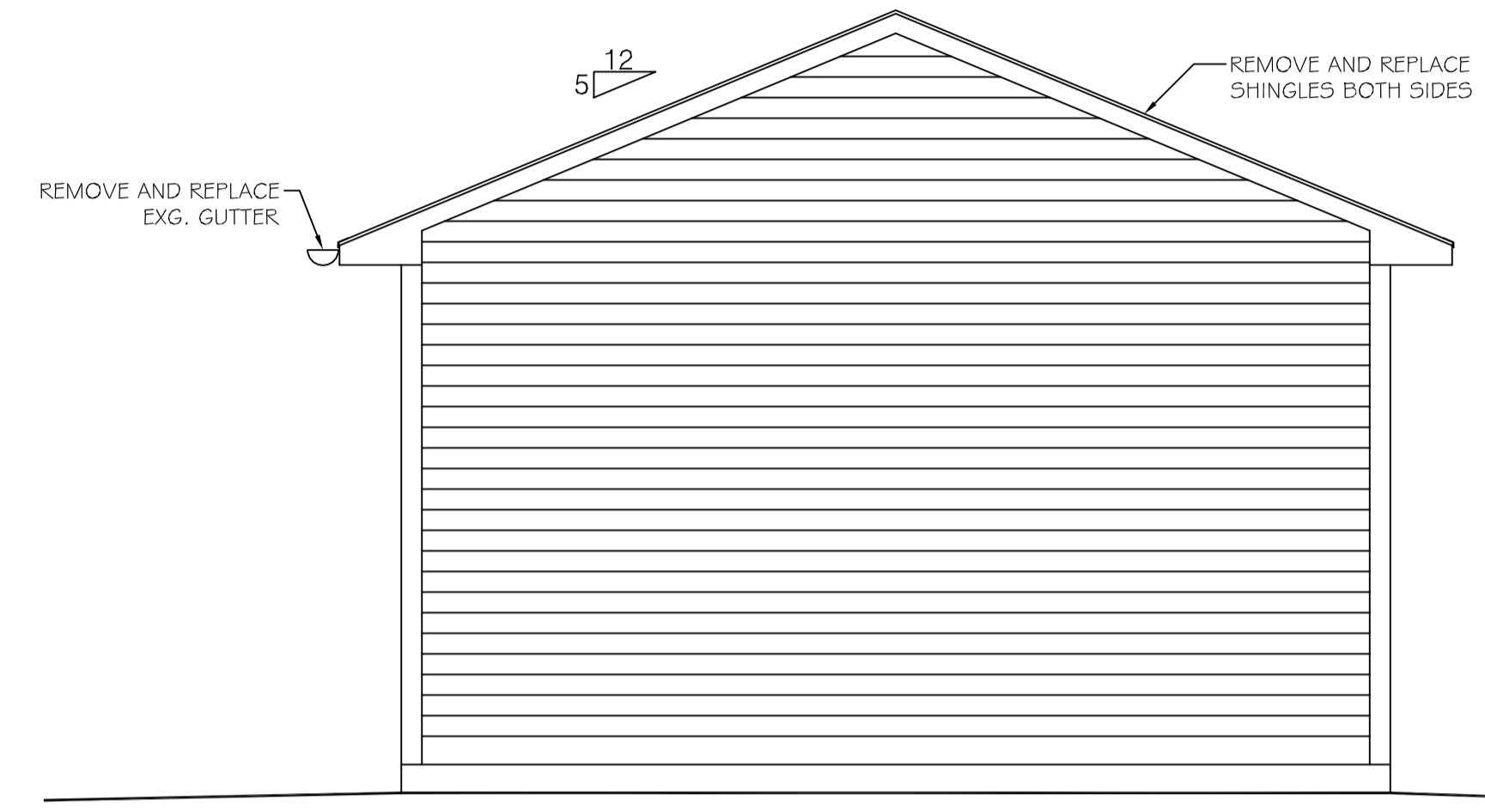
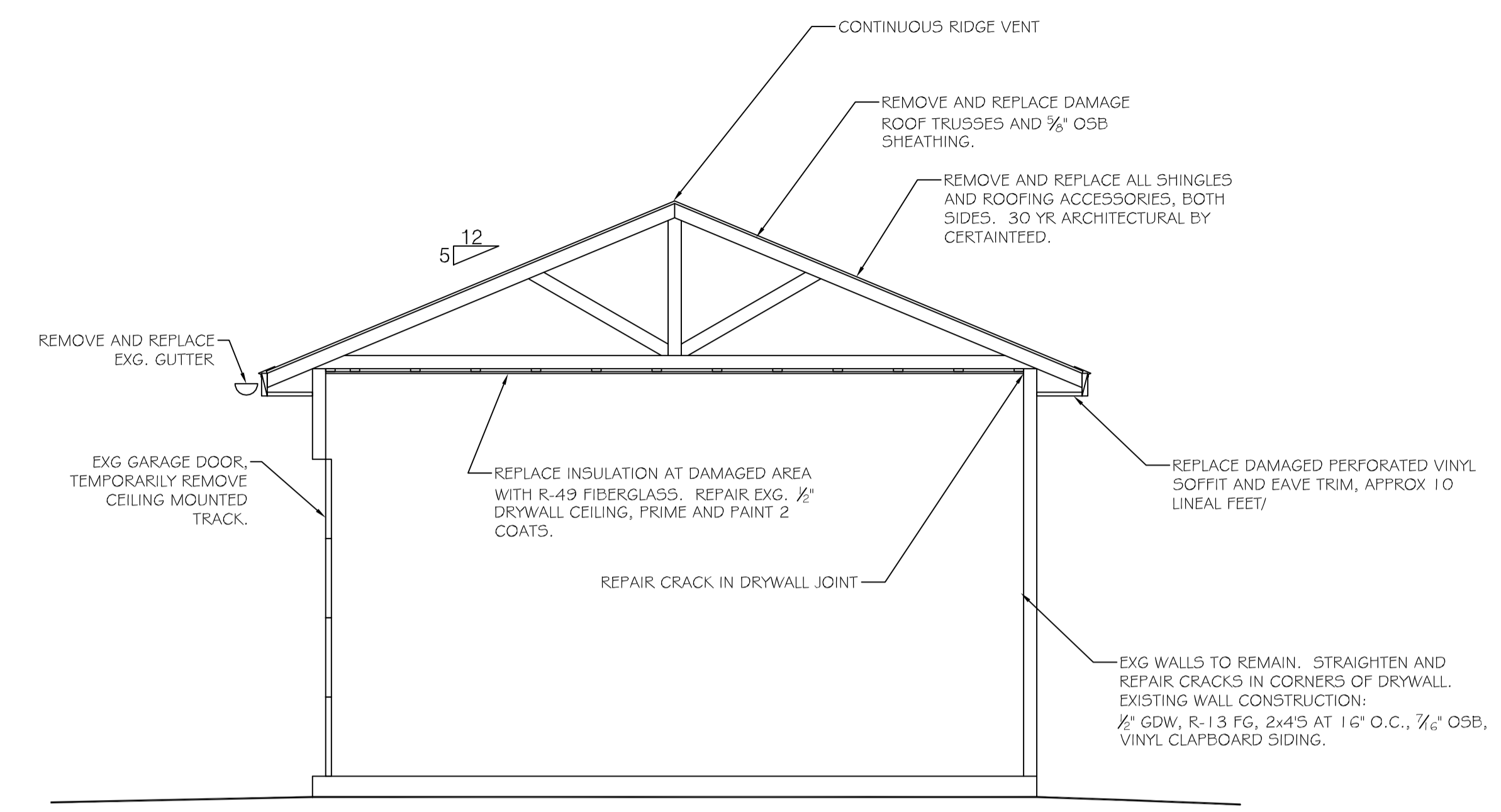
PROJECT: **SAMSON STORAGE STRUCTURE**
PORTLAND, MAINE
FOR: **ACCESSORY STRUCTURE REPAIRS**
ISSUED FOR PERMITTING

NO.	BY	DATE	DESCRIPTION
1	ASW		
2	ASW		
3	ASW		
4	ASW		
5	ASW		
6	ASW		
7	ASW		
8	ASW		
9	ASW		
10	ASW		
11	ASW		

DATE : 1-26-15
SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: RSC
FILE #: 14414-A101.DWG
PROJECT NUMBER:
14414
SHEET NO:
A1

STRUCTURAL DISCLAIMER:
THIS P.E. REVIEW DO NOT COVER EXISTING/HIDDEN CONDITIONS. UNLESS OTHERWISE NOTED, DESIGN AND DETAIL FOR FOUNDATION WALL ELEMENTS, FRAMING CONNECTIONS, COMPONENTS AND CLADDING, FINISHES, FLOOR PLAN LAYOUT, AND LIFE SAFETY CODE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SEAL. USE OF THESE DRAWINGS INDICATES OWNER/CONTRACTOR AGREEMENT TO THESE TERMS.

- FRAMING NOTES:
- ← INDICATES SPAN DIRECTION OF 3/8" ADVANTECH ROOF SHEATHING FASTENED WITH 8D NAILS AT BOUNDARY AND INTERIOR SUPPORTS IN ACCORDANCE WITH IRC TABLE R602.3(1). USE SHEATHING PANEL CLIP BETWEEN ALL HORIZONTAL ROOF PANEL JOINTS.
 - ALL EXTERIOR SHEARWALLS TO REMAIN, NO PROPOSED CHANGES.
 - "UNO" INDICATES "UNLESS NOTED OTHERWISE"
 - GENERAL CONTRACTOR TO COMPLY WITH IRC 2009 TABLE R602.3 (1) FASTENING SCHEDULE.
 - PROVIDE SIMPSON H10 HOLD DOWNS AT ENDS OF NEW TRUSSES.



B3 BUILDING SECTION
SCALE: 3/8" = 1'-0"

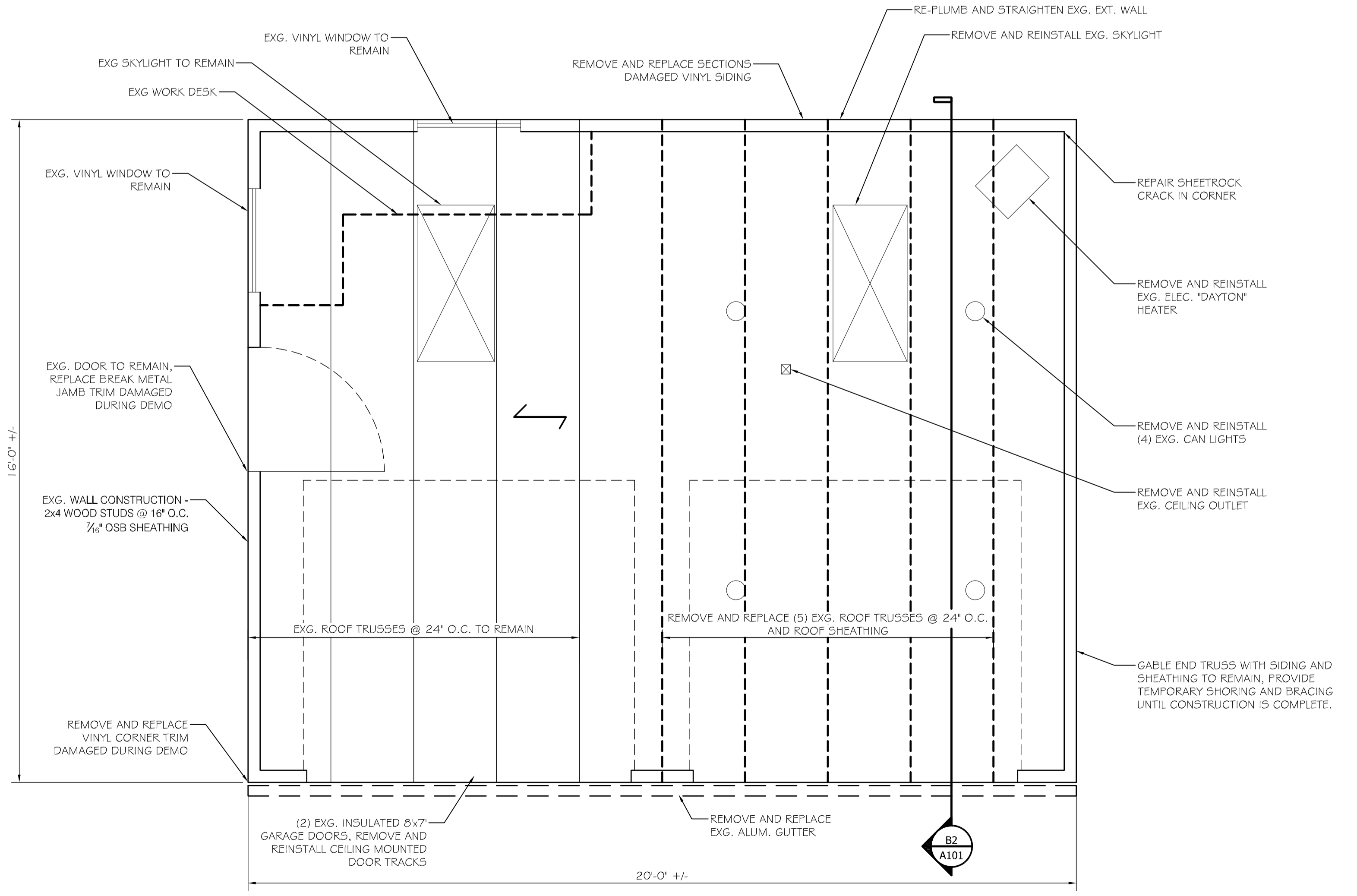
B1 RIGHT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
-IBC CODE 2009 ED
-ANSI-ASCE 7.05
-ANSI-AFPA NDS-2005
- ROOF DESIGN LOADS:
SNOW LOAD 46 PSF + UNBAL.
TOP CHORD DEAD LOAD 7 PSF
BOT CHORD DEAD LOAD 10 PSF
TOTAL ROOF LOAD 63 PSF + UNBAL.
- WIND LOADS (FOR ROOF TRUSS DESIGN):
LATERAL - WIND: V=99MPH, EXP B, Iw=0.85, KD=0.85
SIMPLIFIED PROCEDURE.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
- ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (G.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
- THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF OPENING IN THE FOUNDATION SYSTEM FOR ELECTRICAL PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
- ALL SHOP DRAWINGS, INCLUDING TRUSS SHOPS, PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.
- THE PROPOSED WORK IS CLASSIFIED AS A REPAIR TO LESS THAN SUBSTANTIAL STRUCTURAL DAMAGE PER IBC 2009 SECT 304.4. AS SUCH, THE REPAIRS ARE ALLOWED TO RESTORE THE BUILDING TO ITS "PRE-DAMAGED STATE" USING SIMILAR CONSTRUCTION AND MATERIALS. ALL NEW STRUCTURAL ELEMENTS (REPLACEMENT ROOF TRUSSES AND SHEATHING, AND ASSOCIATED BRACING AND CONNECTIONS) ARE TO CONFORM WITH THE APPLICABLE SECTIONS OF THE 2009 IRC CODE.

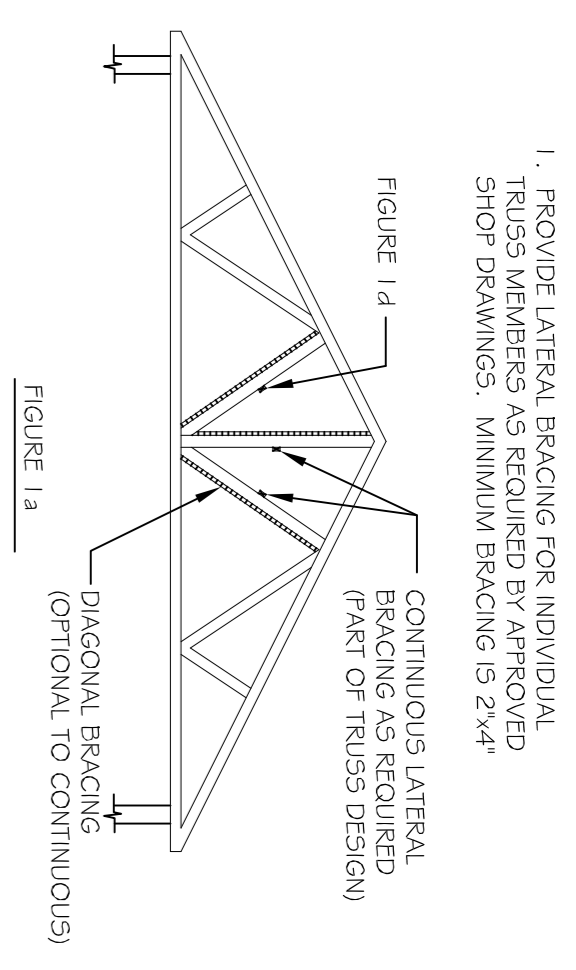
REPAIR SCOPE NOTES

- PROVIDE TEMPORARY WEATHER PROTECTION OF ALL INTERIOR FINISHES AND BUILDING STRUCTURE DURING THE ROOF REPLACEMENT PROJECT.
- REMOVE ALL PERSONAL ITEMS FROM INTERIOR AND PLACE IN STORAGE.
- TEMPORARILY REMOVE THE OVERHEAD DOOR SUPPORT TRACK FOR THE NORTHERN MOST OVERHEAD DOOR.
- TEMPORARY SHORE CEILING FINISHES, STRAPPING, AND CEILING INSULATION THROUGHOUT.
- DISCONNECT AND SALVAGE ELECTRICAL WIRING, LIGHTS, AND OUTLETS WITHIN THE CEILING.
- DEMO ALL ROOF SHINGLES AND ROOFING ACCESSORIES. REMOVE AND SALVAGE ONE SKYLIGHT FOR RE-INSTALLATION.
- DEMO GUTTER AT FRONT EAVE.
- DEMO (5) ROOF TRUSSES AND ASSOCIATED ROOF SHEATHING AT THE NORTHERN SIDE, THE NORTH GABLE END MAY REMAIN. PROVIDE TEMPORARY SHORING AND BRACING FOR THE NORTH GABLE END.
- RE-PLUMB REAR WALL AND BRACE. REMOVE AND RE-INSTALL EXISTING DESK AS NECESSARY.
- INSTALL NEW REPLACEMENT WOOD TRUSSES AND SHEATHING TO MATCH EXISTING. TRUSSES TO BE DESIGNED FOR ALL CURRENT APPLICABLE LOADS PER IRC 2009. INSTALL ALL MANUFACTURER REQUIRED TEMPORARY AND PERMANENT LATERAL BRACING.
- INSTALL SALVAGED SKYLIGHT AND ASSOCIATED FLASHINGS AT BOTH SKYLIGHTS PER MANUFACTURER REQUIREMENTS.
- INSTALL NEW 30YEAR ARCHITECTURAL SHINGLES, UNDERLAYMENT, ICEWATER SHIELD AND ROOFING ACCESSORIES TO MATCH EXISTING.
- INSTALL NEW EAVE TRIM, SOFFITS, AND ALUMINUM GUTTER TO MATCH EXISTING.
- REMOVE SECTIONS OF DAMAGED SIDING AT REAR WALL, REPLACE WITH NEW SIDING TO MATCH EXISTING.
- REMOVE AND REPLACE DAMAGED DOOR JAMB TRIM AND VINYL CORNER TRIM TO MATCH EXISTING.
- INSTALL ELECTRICAL ROUGH IN AT CEILING TO MATCH EXISTING LIGHTS AND RECEPTACLES.
- INSTALL CEILING INSULATION (R-49 FIBERGLASS - CODE UPGRADE), STRAPPING, AND 1/2" GYPSUM DRYWALL TO MATCH EXISTING. TAPE AND COAT ALL GDW JOINTS 2 COATS.
- REPAIR CORNER AND CEILING JOINTS IN GDW AT REAR WALL.
- PRIME AND PAINT (2 COATS PAINT) PORTIONS OF THE TWO SIDE WALLS (NORTH AND SOUTH) THE ENTIRE REAR WALL, AND THE CEILING.
- RE-INSTALL SALVAGED ELECTRICAL FINISHES AND DEVICES.

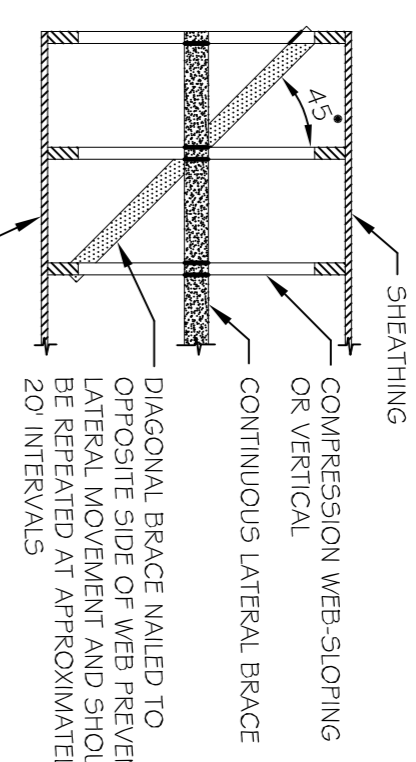


A2 NOTES

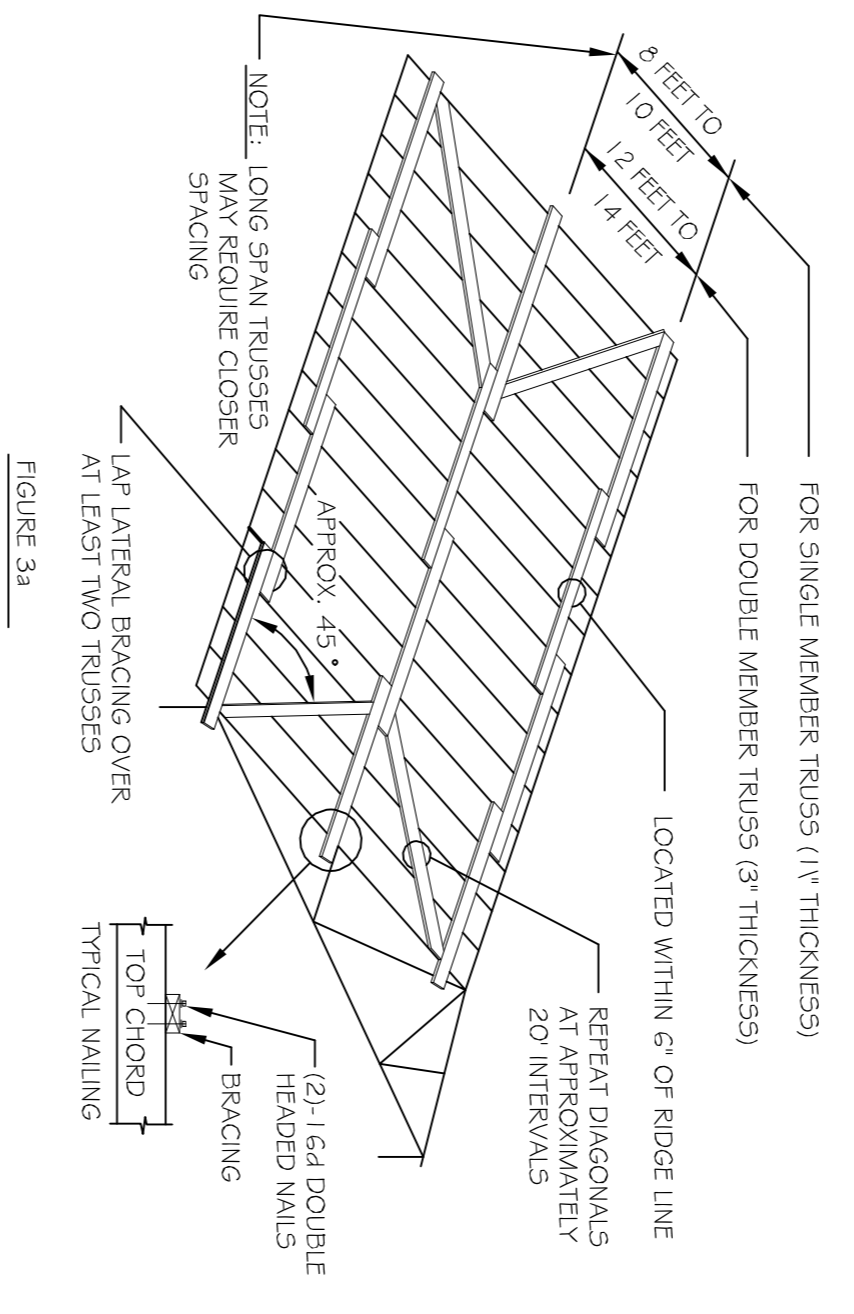
A1 FIRST FLOOR PLAN WITH ROOF FRAMING
SCALE: 1/8" = 1'-0"



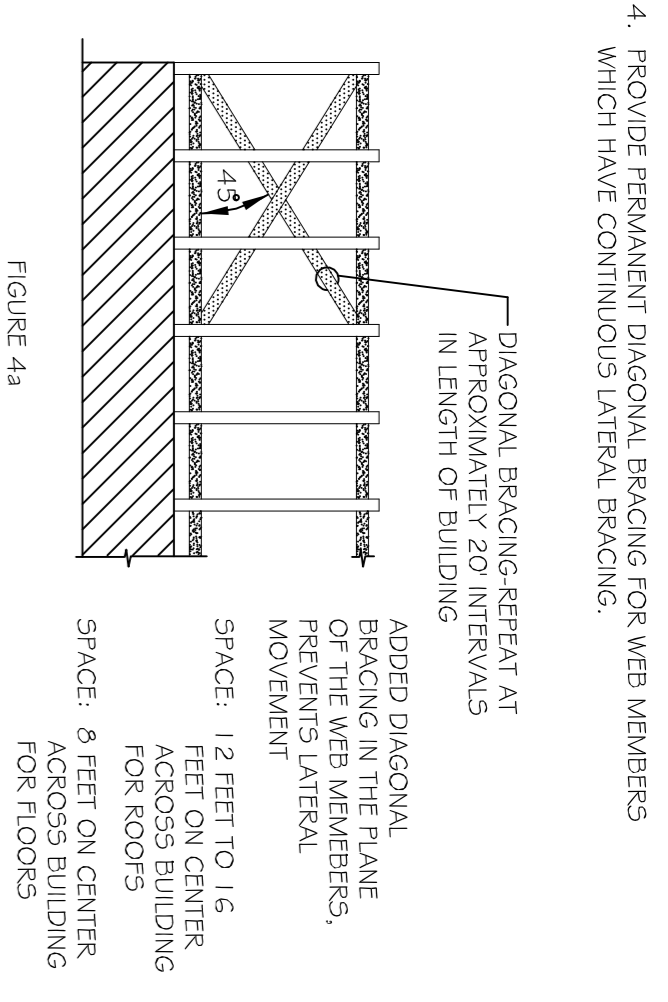
1. PROVIDE LATERAL BRACING FOR INDIVIDUAL TRUSS MEMBERS AS REQUIRED BY APPROVED SHOP DRAWINGS. MINIMUM BRACING IS 2"x4".
2. PROVIDE DIAGONAL BRACING AT END WALLS OR INTERMEDIATE LOCATIONS TO PREVENT MULTIPLE COLLAPSE OF COMPRESSION MEMBERS HAVING CONTINUOUS LATERAL BRACING.



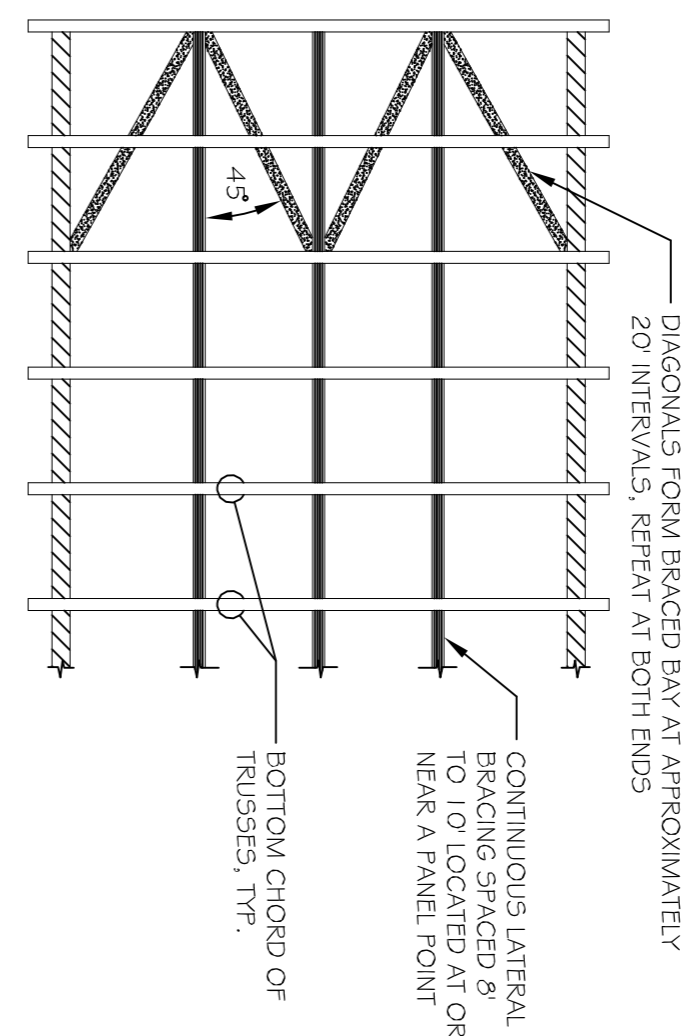
3. PROVIDE TEMPORARY BRACING FOR TOP CHORD OF TRUSSES UNTIL FLOWOOD SHEATHING CAN BE INSTALLED.



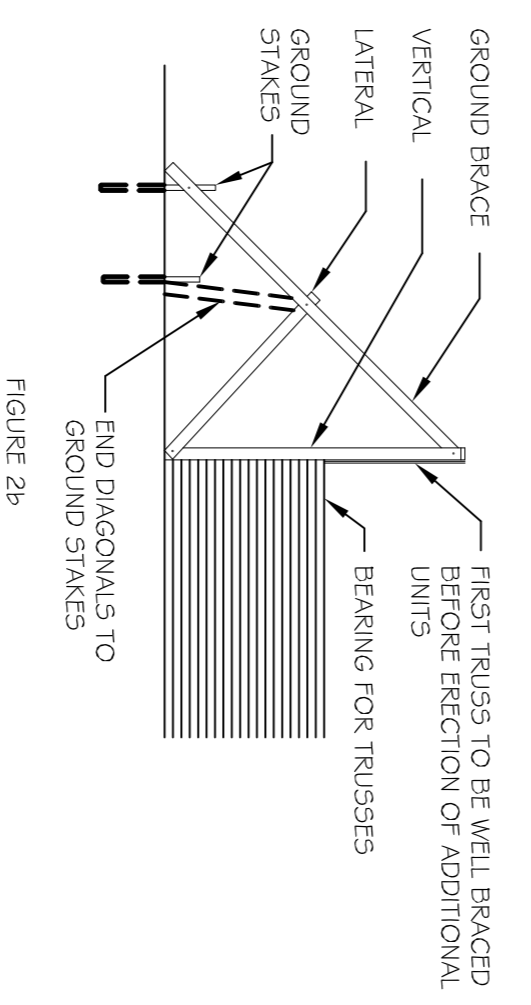
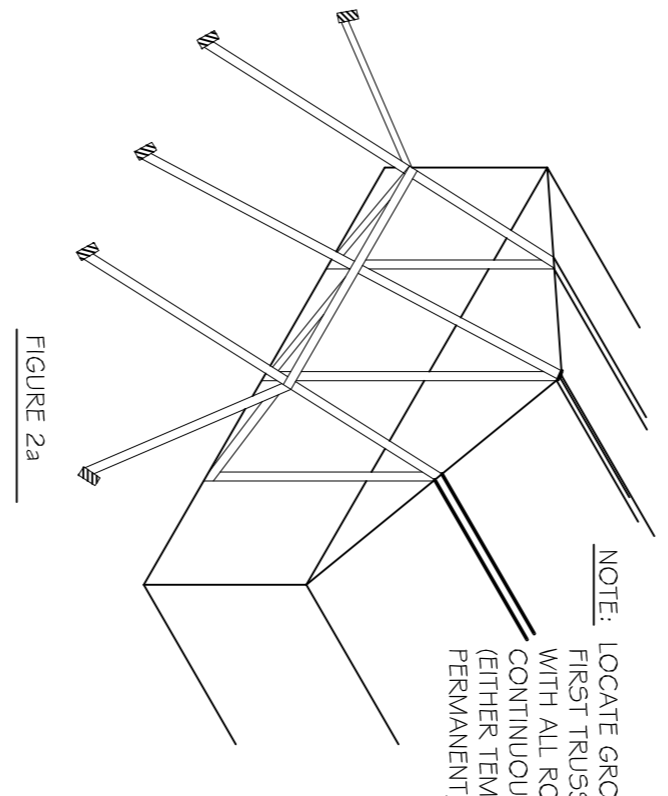
- NOTES:**
1. DURING TRUSS ERECTION, THE BUILDER OR ERECTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF TRUSSES FROM DAMAGE INCLUDING THE USE OF SPREADER BARS AND MULTIPLE PICK-UP POINTS, WHERE REQUIRED, IS NECESSARY TO PREVENT DAMAGE DURING HANDLING. TENTATIVE RECOMMENDATIONS IN THE APPENDIX HERETO.
 2. IT IS MOST IMPORTANT TO BRACE THE FIRST TRUSS AT THE END OF THE BUILDING SECURELY. ALL OTHER TRUSSES ARE TIED TO THE FIRST TRUSS ON HOW WELL THE FIRST TRUSS IS BRACED.
 3. ONE SATISFACTORY METHOD IS FOR THE FIRST TRUSS TOP CHORD TO BE BRACED TO A STRIKE DRIVEN INTO THE GROUND AND SECURELY ANCHORED. THE GROUND BRACE ITSELF SHOULD BE SUPPORTED AS SHOWN IN FIGURE 2 OR IT IS APPLIED TO BLOCK. ADDITIONAL GROUND BRACES, IN THE OPPOSITE DIRECTION, INSIDE THE BUILDING ARE ALSO RECOMMENDED.



4. PROVIDE PERMANENT DIAGONAL BRACING FOR WEB MEMBERS WHICH HAVE CONTINUOUS LATERAL BRACING.
5. PROVIDE PERMANENT CONTINUOUS LATERAL AND DIAGONAL BRACING FOR BOTTOM CHORDS OF TRUSSES. PROVIDE ONE PERMANENT BRACE AT EACH END OF BUILDING AND ONE ADDITIONAL ROW AT MIDPOINT OF BUILDING. MAXIMUM SPACING FOR CONTINUOUS LATERAL BRACING SHALL NOT EXCEED 10' ON CENTER.



- NOTE:** LOCATE GROUND BRACES FOR FIRST TRUSS DIRECTLY IN LINE WITH ALL ROWS OF TOP CHORD BRACING. BRACING SHOULD BE EITHER TEMPORARY OR PERMANENT.



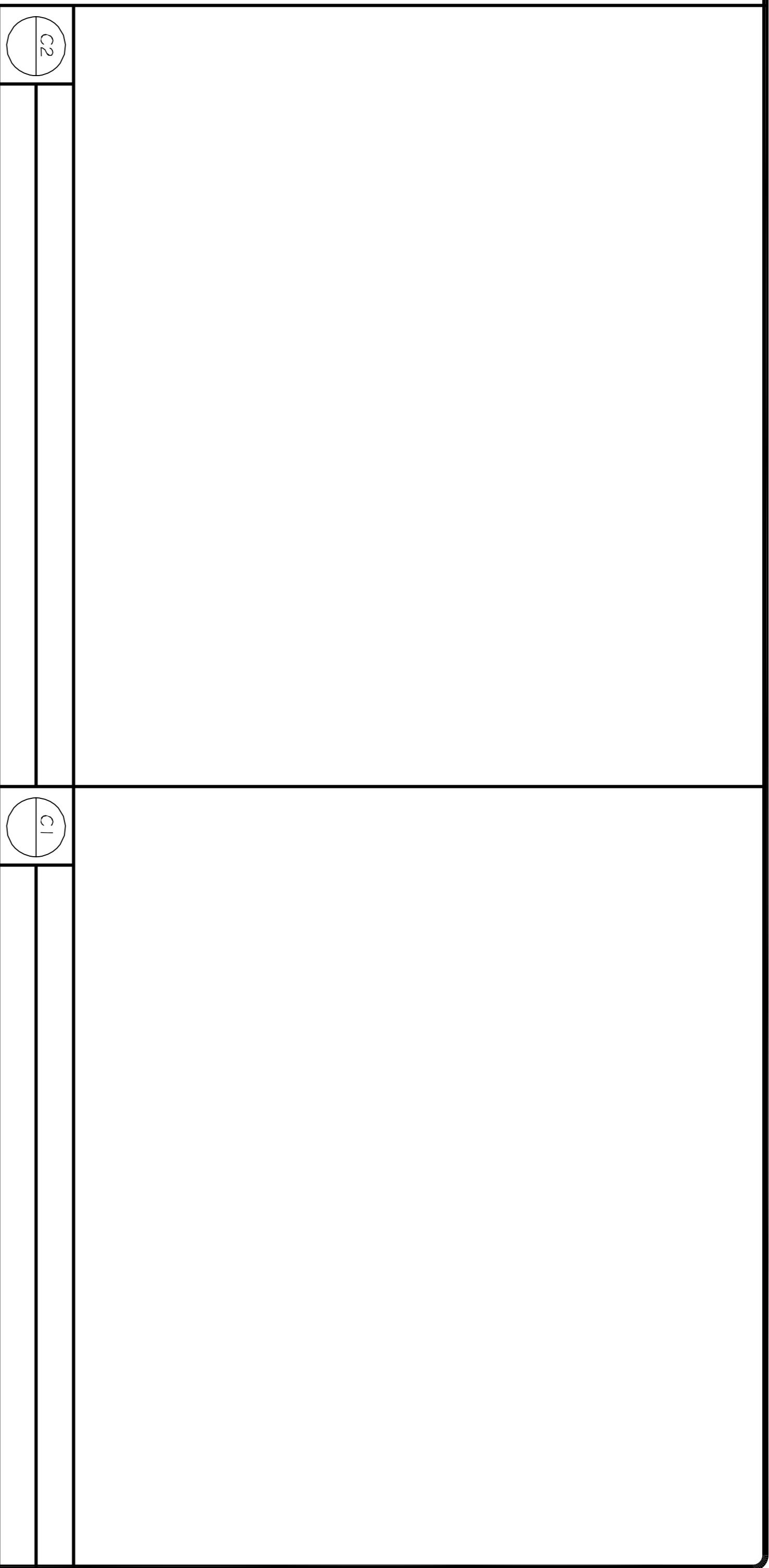
LATERAL TRUSS BRACING DETAILS
N.T.S.

TRUSS DESIGN NOTES:

1. SEE GENERAL NOTES FOR DESIGN LOADS.
2. TRUSS MANUFACTURER:
- 2.1 DESIGN CONTRACT NO. 1451, TR 2007 FOR BC 2009
- 2.2 MANUFACTURER: SHIP NO. 2 OR BETTER (RIVAL GROUP), WEBS, AND BRACING.
- 2.3 TRUSS FLATES: 600 GALVANIZED
- 2.3 SHIP DRAWINGS: SUBMIT ELECTRONIC COPIES OF THE STAMPED TRUSS DESIGN CALCULATIONS AND ERECTION LAYOUT DRAWING TO STRUCTURAL ENGINEER
- 2.4 ERECTION TO COMPLY WITH DCS-08.
3. PROVIDE TRUSS ANCHORS, HANGDOWN CLIPS AND METAL LOADS SHOWN, UNO.

- WOOD TRUSS NOTES:**
1. DESIGN CODES:
 - A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 - B. DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES (ANSI/APA 1-1995).
 2. TRUSS MEMBERS: NO. 2 OR BETTER, 15% MAXIMUM MOISTURE CONTENT.
 3. TRUSS TEMPORARY BRACING: COMPLY WITH COMMENTARY AND RECOMMENDATIONS - HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES - (16-9-1). TRUSSES ARE NOT STABLE AND REQUIRE TEMPORARY SUPPORT UNTIL TOP CHORD PLYWOOD AND PERMANENT BRACING ARE INSTALLED.
 4. TRUSS PERMANENT BRACING: INSTALL PERMANENT BRACING IN ACCORDANCE WITH BC31 2006, MAY EDITION, GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES AND AS FOLLOWS:
 - A. PERMANENT BRACING REQUIRED BY TRUSS DESIGN & SPECIFIED BY BC31. PROVIDE 2x4 CONTINUOUS LATERAL BRACING AND DIAGONAL BRACING AT ALL CONTINUOUS LATERAL BRACING LOCATIONS REQUIRED BY THE TRUSS FABRICATOR. PROVIDE DIAGONAL BRACING AS SHOWN IN DIAGRAMS INCLUDED IN BC313 AT EACH END OF EACH WING OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.
 - B. PERMANENT BOTTOM CHORD BRACING: PROVIDE 2x4 CONTINUOUS LATERAL BRACING AT 8'-10 FOOT (MAXIMUM) INTERVALS AT ALL PANEL POINTS ALONG LENGTH OF TRUSS. PROVIDE DIAGONAL BRACING AS SHOWN IN DIAGRAMS INCLUDED IN BC3133 AT EACH END OF EACH WING OF THE BUILDING AND AT INTERVALS NOT TO EXCEED 20 FEET.
 5. PERMANENT GROUND BRACING:
 - A. PERMANENT GROUND BRACING SYSTEM AND TEMPORARY INSTALLATION BRACING SYSTEM, IN COMPLIANCE WITH D39-49 AND T11 BC31 WHEN TABULATED SPACINGS AND LOCATIONS ARE PROVIDED. FOR ALL OTHER SYSTEMS PROVIDE A STAMPED ENGINEER'S PLAN SHOWING ALL BRACING DESIGN REQUIREMENTS.
 - 5.1. PROVIDE THEM AND BRACING SYSTEM AND TEMPORARY INSTALLATION BRACING SYSTEM, IN COMPLIANCE WITH D39-49 AND T11 BC31 WHEN TABULATED SPACINGS AND LOCATIONS ARE PROVIDED. FOR ALL OTHER SYSTEMS PROVIDE A STAMPED ENGINEER'S PLAN SHOWING ALL BRACING DESIGN REQUIREMENTS.
 - 5.2. PROVIDE TRUSS ANCHORS, HANGDOWN CLIPS AND METAL LOADS SHOWN, UNO.

CONSTRUCTION NOTES
SCALE: N.T.S.



PLOT PLAN
SCALE: N.T.S.



ASSOCIATED DESIGN PARTNERS INC.

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Falmouth, Maine 04105

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PROJECT: **SAMSON STORAGE STRUCTURE**
PORTLAND, MAINE

FOR:

SHEET TITLE: **TRUSS BRACING NOTES AND DETAILS**
ISSUED FOR PERMITTING

REVISIONS		
No.	BY	DESCRIPTION
1	ASW	ADDED PLOT PLAN

DATE: 1-26-15
SCALE: AS NOTED
DESIGN BY: ASW
DRAWN BY: BSC
FILE #: 14414-A101.DWG
PROJECT NUMBER: **14414**
SHEET NO.: **A2**



Acknowledgment of Code Compliance Responsibility- Fast Track Project



I, Ronald Willett am the owner or duly authorized owner's agent of the property listed below
Print Legal Name

P.O. Box 113 Passabona Me 04962
Physical Address

I am seeking a permit for the construction or installation of:

Repairs to roof of detached 1-story 16'x20' (320sf) accessory garage.

14 Braintree st, Portland Me. Single family residence.

Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a Owners Agent of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.
Owner or Owner's Agent

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. RW INITIAL HERE

Sign Here: Ronald Willett
Owner or Owner's Authorized Agent

Date: 2/18/2015

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE



Acknowledgment of Code Compliance Responsibility- Fast Track Project

OFFICE USE ONLY

PERMIT # _____

CBL # _____



THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares)
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: *Ronald E. W. [Signature]*
Owner or Owner's Authorized Agent

Date: 2/18/2015



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 14 Braintree St, Portland Me 04103		
Total Square Footage of existing Structure:		360 (existing)
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 336-J-13 TO 16	Applicant Name: Aaron S. Wilson Address 80 Leighton Rd City, State & Zip Falmouth, ME 04105	Telephone: 207-878-1751 Email: awilson@adpengineeri
Lessee/Owner Name : Frank B Samson (if different than applicant) Address: 14 Braintree st City, State & Zip: Portland, ME 04103 Telephone 207-329-2801 E-mail: brad@breakwatertech.com	Contractor Name: Ron Willett (if different from Applicant) Address: PO Box 113 City, State & Zip: Vasselboro, ME 04180 Telephone E-mail:	Cost Of Work: \$ 5,000.00 C of O Fee: \$ 69.00 Historic Rev \$ 0 Total Fees : \$ 69.00
Current use (i.e. single family) <u>Detached 16'x20' residential accessory structure, one story wood framed</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>no change in use (storage)</u> Is property part of a subdivision? <u>N</u> If yes, please name _____ Project description: 16'x20' detached accessory structure roof was damage from tree impact, the project consists of repairs to the damaged areas.		
Who should we contact when the permit is ready: Aaron S. Wilson - Engineer		
Address: 80 leighton Rd		
City, State & Zip: Falmouth, ME 04105		
E-mail Address: awilson@adpengineering.com		
Telephone: 207-878-1751		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____	Date: 2-22-15
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This is not a permit; you may not commence ANY work until the permit is issued.



Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

application is for repair from tree impact, limited drawings of repairs only to be provided.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

no changes to footprint

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**