

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that FRANK B SAMSON

Located At 14 BRAINTREE ST.

Job ID: 2011-07-1651-ALTR

CBL: 336 - - J - 013 - 001 - - - -

has permission to Amend height of Garage, see Permit # 2011-07-1651-ALTR.  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

08/15/2011

\_\_\_\_\_  
**Fire Prevention Officer**

  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
- **See Inspections Under Permit # 2011-07-1651-ALTR.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1651-ALTR #2011-5710 - Amend	Date Applied: <del>8/16/2011</del> 8/15/2011	CBL: 336 - - J - 013 - 001 - - - - -	
Location of Construction: 14 BRAINTREE ST	Owner Name: FRANK B. SAMSON	Owner Address: 37 BRAINTREE ST PORTLAND, ME - MAINE 04103	Phone:
Business Name:	Contractor Name: LANGFORD, & LOW INC	Contractor Address: PO BOX 662 PORTLAND MAINE 04104	Phone: (207) 797-5141
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building - Amendment	Zone: R-3
Past Use: Single family	Proposed Use: Same -Single family - amend garage plan - raise wall height from 8' to 9' & roof pitch is 5/12	Cost of Work:	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRC, 2009 Signature: <i>AR</i>
Proposed Project Description: Remove Garage replace w/ New 16' x20 Garage		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>08/15/11</i> <i>ARU</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARU</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 BRAINTREE ST</u>		
Total Square Footage of Proposed Structure/Area <u>320 SQ FT</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>336</u> Block# <u>J</u> Lot# <u>13</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>BRAD SAMSON</u> Address <u>14 BRAINTREE ST</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>329-2801</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>700</u> C of O Fee: \$ <u>Amend</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>REMOVE 11'0" X 20'6" GARAGE + REPLACE W/ NEW 16' X 20' IN SAME LOCATION</u>		
Contractor's name: <u><del>BRAD SAMSON</del> LANGFORD + LOW</u> Address: <u>240 WARREN AVE</u> City, State & Zip: <u>PORTLAND, ME 04103</u> Telephone: <u>240</u> Who should we contact when the permit is ready: <u>BRAD SAMSON</u> Telephone: <u>329 2801</u> Mailing address: <u>14 BRAINTREE ST</u>		

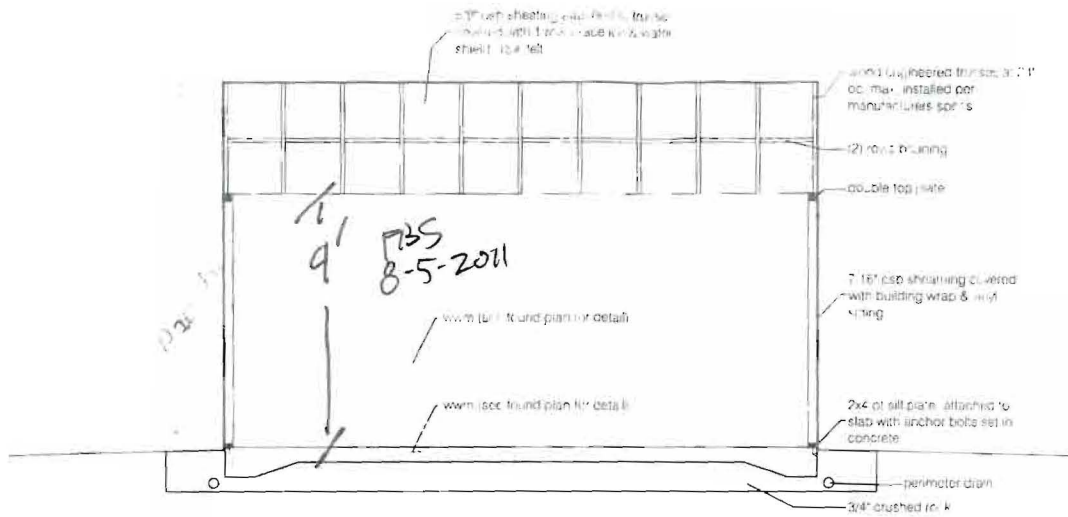
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

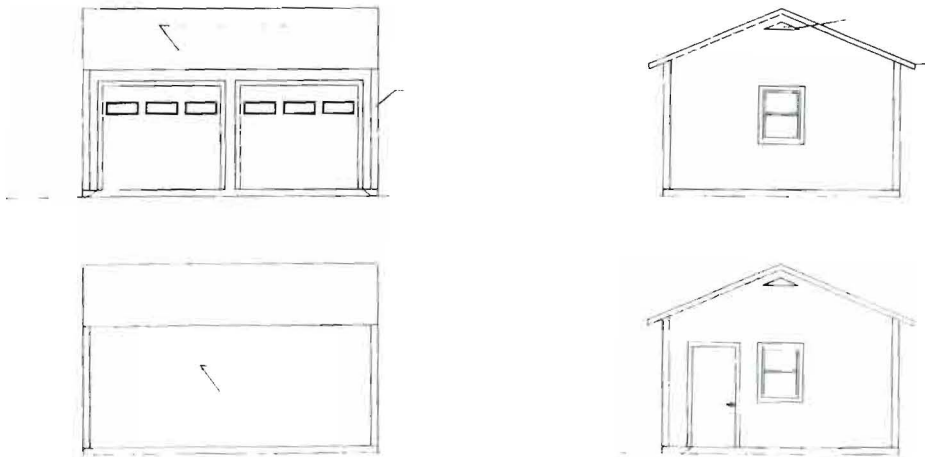
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/5/2011

This is not a permit; you may not commence ANY work until the permit is issued



1 Section  
Scale: 1/4"=1'



2 Elevations  
Scale: 1/8"=1'

<b>LANGFORD LOW</b>	
DRAWN BY: JARRILL F. JUSSELL, LICENSED ARCHITECT	
PROJECT COORDINATOR: LANGFORD AND LOW	
REVIEWED BY:	
JOB NUMBER:	
DRAWING STATUS:	
<input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS:	
REGISTERED PROFESSIONAL'S SEAL:	
PROJECT NAME & LOCATION: Samson Residence-Garage 14 Braintree Street Portland, ME 04103	
DRAWING TITLE: Sections	
DATE: July 7, 2011	
REVISIONS:	
SCALE: AS NOTED	
SHEET NUMBER: <b>A1.4</b>	

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that FRANK B &» SAMSON

Located At 14 BRAINTREE ST.

Job ID: 2011-07-1651-ALTR

CBL: 336 - - J - 013 - 001 - - - -

has permission to demolish existing 16 foot by 20 foot garage and rebuild within the same footprint.  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in, 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

  
**Code Enforcement Officer / Plan Reviewer**

07/26/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
IT IS A VIOLATION TO REMOVE THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Pre-Demo
2. Footings/ Setbacks
3. Foundation
4. Close-In: (Electrical, Plumbing, Framing)
5. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



*Strengthening a Remarkable City. Building a Community for Life.* • [www.portland.gov](http://www.portland.gov)

Director of Planning and Urban Development  
Penny St Louis

Job ID: 2011-07-1651-ALTR

Located At: 14 BRAINTREE

CBL: 336 - - J - 013 - 001 - - - -

### **Conditions of Approval:**

#### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date. The proposed new garage is changing the roof from a hip roof to a gable roof but the ridge will be lower (13' to 12'3") and the pitch is going from a 7/12 to a 5/12, so the volume will not increase.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

#### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. **Submit Girder/ Header schedule (*Table R502.5(1)*) for the two (2) 8 foot garage door openings prior to construction.**



# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1651-ALTR	Date Applied: 7/8/2011	CBL: 336 - J - 013 - 001 - - - -	
Location of Construction: 14 BRAINTREE ST	Owner Name: FRANK B SAMSON	Owner Address: 37 BRAINTREE ST PORTLAND, ME - MAINE 04103	Phone: 207-329-2801
Business Name:	Contractor Name: LANGFORD, & LOW INC	Contractor Address: PO BOX 662 PORTLAND ME 04104	Phone: (207) 797-5141
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: R-3
Past Use: Single family	Proposed Use: Single family - demolish existing 16' x 20' detached garage and build new one within same footprint	Cost of Work: 7000.000000-	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A3 Type: SB/B
		Signature	Signature: <i>[Signature]</i>
Proposed Project Description: Remove Garage replace w/ New 16' x20 Garage		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <i>- rebuild in same footprint</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date <i>07/12/11 [Signature]</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date	<b>Historic Preservation</b> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date <i>[Signature]</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

# 2011 07 17 19 7/17/11

Location/Address of Construction: <u>11 GRANITE ST PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>132      F      12</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>MAKJ DOUGLAS</u> Address <u>11 GRANITE ST</u> City, State & Zip <u>PORTLAND ME 04103</u>	Telephone: <u>852-4301</u>
Lessee/DBA (If Applicable) <u>RECORDED</u> <u>Vol. 15</u> <u>DUPONT</u>	Owner (if different from Applicant) Name Address <u>N/A</u> City, State & Zip	Cost Of Work: \$ <u>10,000</u> C of O Fee: \$ <u>N/A</u> Total Fee: \$ <u>10,000</u>
Current legal use (i.e. single family) <u>SF</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>N/A</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>REPLACE EXISTING CONCRETE PORCH - 10' x 12' PER PLAN</u>		
Contractor's name: <u>TRACOR LLC</u>		
Address: <u>441 MAIN ST</u>		
City, State & Zip: <u>PORTLAND ME 04103</u>		Telephone: <u>227-7643</u>
Who should we contact when the permit is ready: <u>CARL THOMPSON</u>		Telephone: <u>227-9695</u>
Mailing address: <u>ONE PETE 540-2019 W/ QUESTIN</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]      Date: 7/16/11

**This is not a permit; you may not commence ANY work until the permit is issued.**



800-773-4911  
TEL: 207-453-4911  
FAX: 207-453-7652

P.O. BOX 377  
FAIRFIELD, ME 04937

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## FACSIMILE TRANSMITTAL SHEET

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To: <797-0919>  
Fax number: 797-0919

From: Gary Littlefield  
Fax number: 207-453-7652  
Business phone: 207-453-4911

Pages: 3  
Date & Time: 6/23/2011 9:25:37 AM  
Re: BRAD SAMPSON PROJECT

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ATTN: GABBY

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**~CONFIDENTIALITY NOTICE:**

This facsimile transmittal is confidential and intended solely for the use of the individual or entity to whom the transmission is addressed. If you are not the intended recipient, or agent responsible for delivering the message to the intended recipient, please note that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this message in error, please notify the sender. Thank you.



# General Building Permit Application

0.2/208

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 BRAINTREE ST.</u>		
Total Square Footage of Proposed Structure/Area <u>320 SF</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>330</u> Block# <u>J</u> Lot# <u>13</u>	Applicant *must be owner, Lessee or Buyer* Name <u>BRAD SAMSON</u> Address <u>14 BRAINTREE ST.</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>207.329.2801</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>7,000</u> C of O Fee: \$ Total Fee: \$ <u>90</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>N/A</u> If yes, please name Project description: <u>REMOVE EXISTING 16'x20' GARAGE + REPLACE WITH NEW 16'x20' GARAGE IN SAME LOCATION</u>		
Contractor's name: <u>LANGFORD AND LOW</u> <span style="float: right;"><u>DEMCO</u> <u>SITework + CONCRETE</u> <u>OTHER BY OWNER</u></span>		
Address: <u>248 WARREN AVE.</u>		
City, State & Zip <u>PORTLAND, ME 04103</u> Telephone: <u>240.6403</u>		
Who should we contact when the permit is ready: <u>BRAD SAMSON OR GABBY</u> Telephone: <u>329-2801 (BRAD)</u>		
Mailing address: <u>14 BRAINTREE ST.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/8/11

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED

18



**Ann Machado - RE: garage height for Brad Samson 14 Braintree St**

**From:** "Gabby Russell" <grussell@langfordandlow.com>  
**To:** "Brad Samson" <brad@breakwatertech.com>, "Ann Machado" <AMACHADO@portlan...>  
**Date:** 7/19/2011 2:49 PM  
**Subject:** RE: garage height for Brad Samson 14 Braintree St

Hi Brad,

That's a 7:12 pitch - in 12 inches horizontally it will rise 7"

Gabby

**From:** Brad Samson [mailto:brad@breakwatertech.com]  
**Sent:** Tuesday, July 19, 2011 2:42 PM  
**To:** 'Ann Machado'  
**Cc:** Gabby Russell  
**Subject:** RE: garage height for Brad Samson 14 Braintree St

Over 8 feet it rises 4'8". Not sure what to do with those numbers so I CC'd Gabby who drew up the plans. Thanks again!

**From:** Ann Machado [mailto:AMACHADO@portlandmaine.gov]  
**Sent:** Tuesday, July 19, 2011 2:37 PM  
**To:** Brad Samson  
**Subject:** Re: garage height for Brad Samson 14 Braintree St

Brad -

What is the pitch of the existing roof?

Thanks. Ann

>>> "Brad Samson" <brad@breakwatertech.com> 7/19/2011 2:08 PM >>>  
Hi there,

The existing ridge is 13'2" on the hip roof. That's within an inch or 2.

Thanks!

-Brad

Brad Samson  
Breakwater Technology, Inc.  
14 Braintree Street  
Portland, ME 04103  
207-253-5522  
www.breakwatertech.com  
brad@breakwatertech.com

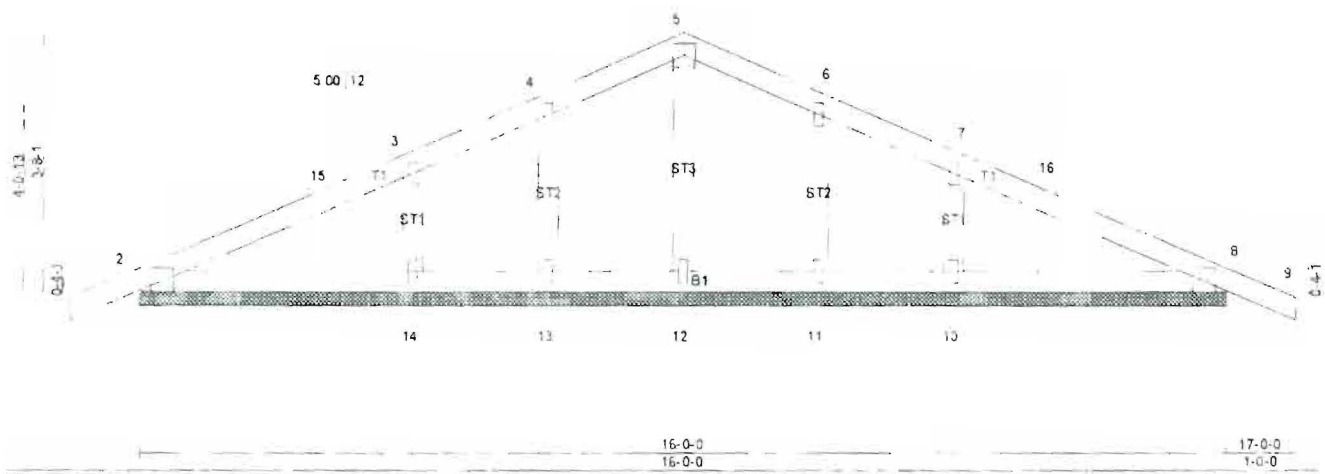
RECEIVED

JUL 19 2011

Dept. of Building Inspections  
City of Portland, Maine

Job	Truss	Truss Type	Qty	Ply	STANDARD
STANDARDS: IRC 2009	S16S	STANDARD	1		
Job Reference (optional)					
ID:ktRAUbx3WC_8nRHUFFz08yKHBz-ig3O8h0w?m5hxoG9157h1O?y8DvjQ?tkC4Gfz3Sbl					
1	-1-0-0	8-0-0	16-0-0	17-0-0	
1	1-0-0	8-0-0	8-0-0	1-0-0	

Scale = 1/28.6



<b>LOADING (psf)</b>	<b>SPACING</b>	<b>CSI</b>	<b>DEFL</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 61.6 (Ground Snow=80.0)	2-0-0 Plates Increase 1 15 Lumber increase 1 15 Rep Stress Incr YES Code IRC 2009/TPI2007	TC 0.37 BC 0.11 WB 0.08 (Matrix)	in (loc) t/aeff L/d Vert(LL) -0.02 9 n/r 180 Vert(TL) -0.02 9 n/r 80 Horz(TL) 0.00 8 n/a n/a Wind(LL) -0.01 9 n/r 120	MT20	197/144
TCDL 7.0 BCLL 0.0 BCDL 10.0				Weight 53 lb	FT = 15%

<b>LUMBER</b>	<b>BRACING</b>
TOP CHORD 2 X 4 SPF No 2	TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins
BOT CHORD 2 X 4 SPF No 2	BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing
OTHERS 2 X 4 SPF No 2	MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide

**REACTIONS** All bearings 16-0-0.  
 (lb) - Max Horz 2=69(LC 8)  
 Max Uplift All uplift 100 lb or less at joint(s) 13, 11 except 2=110(LC 7), 8=122(LC 8), 14=141(LC 7), 10=141(LC 8)  
 Max Grav All reactions 250 lb or less at joint(s) except 2=425(LC 2), 8=425(LC 3), 12=285(LC 1), 13=316(LC 2), 14=683(LC 2), 11=316(LC 3), 10=683(LC 3)

**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown  
 WEBS 4-13=296/82, 3-14=600/190, 6-11=296/81 7-10=800/190

- NOTES**
- 1) Wind: ASCE 7-05, 100mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II, Exp C, enclosed MWFRS (low-rise) gable end zone, cantilever left and right exposed, wind vertical left and right exposed. Lumber DOL=1.60 plate gnp DOL=1.60
  - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable End Detail"
  - 3) TCLL, ASCE 7-05, Pg=80.0 psf (ground snow); Ps=61.6 psf (roof snow); Category II, Exp C, Partially Exp., Ct=1.1
  - 4) Roof design snow load has been reduced to account for slope
  - 5) Unbalanced snow loads have been considered for this design
  - 6) This truss has been designed for greater of min roof live load of 16.0 psf or 1.00 times flat roof load of 61.6 psf on overhangs non-concurrent with other live loads.
  - 7) Gable requires continuous bottom chord bearing.
  - 8) Gable studs spaced at 2-0-0 oc
  - 9) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 10) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 13, 11 except (t=lb) 2=110, 8=122, 14=141, 10=141
  - 11) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1

**LOAD CASE(S)** Standard



**From:** "Brad Samson" <brad@breakwatertech.com>  
**To:** "Ann Machado" <AMACHADO@portlandmaine.gov>  
**Date:** 7/18/2011 10:25 AM  
**Subject:** RE: 14 Braintree  
**Attachments:** brad samson garage photo JPG; notification to neighbors July 1st.doc

Great, thanks. I've attached the photo and the letter that I delivered to my 3 abutting neighbors

Solomon Gay

Chad Gillis

David Walton

Thanks again for your help and guidance,

Brad Samson

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]  
Sent: Monday, July 18, 2011 8:55 AM  
To: brad@breakwatertech.com  
Subject: 14 Braintree

Brad-

Her is my email address: amachado@portlandmaine.gov

Feel free to email me the information. Once zoning has what it needs, there will be a pre-demolition inspection scheduled. After that the permit goes to a plan reviewer/building inspector who will review the plans for the new garage. When the plan reviewer signs off the permit gets issued and the demolition process can start.

Let me know if you have any more questions.

Ann Machado

Zoning Specialist



July 1<sup>st</sup>, 2011

Over the next 2 months, I will be demolishing the garage on my property at 14 Braintree St., Portland, Maine. Per order of the City of Portland, I am required to notify you in writing.

Your neighbor,

Brad Samson

14 Braintree Street

Portland, Maine

RECEIVED

JUL 18



# Demolition Call List & Requirements

Site Address: 14 FAHNTREE ST

Owner: \_\_\_\_\_

Structure Type: Garage

Contractor: Langston J. Love

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>_____ 7/1/20</u>
Unirid	1-207-541-2533	<u>_____ 7/1/20</u>
Portland Water District	761-8310	<u>_____ 7/1/20</u>
Dig Safe	1-888-344-7233	<u>_____ 7/1/20</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Core)	874-8891	<u>_____ 7/1/20</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>_____ 7/1/20</u>
Historic Preservation	874-8726	<u>_____ 7/1/20</u>
DEP - Environmental (Augusta)	287-2651	<u>_____ 7/1/20</u>

## Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company
- 5) Electronic files in pdf format are also required in addition to hard copy

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 - No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk  
US EPA Region I (SEA)  
JFK Federal Building  
Boston, MA 02203

**I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.**

Signed: [Signature]

Date: 7/3/20

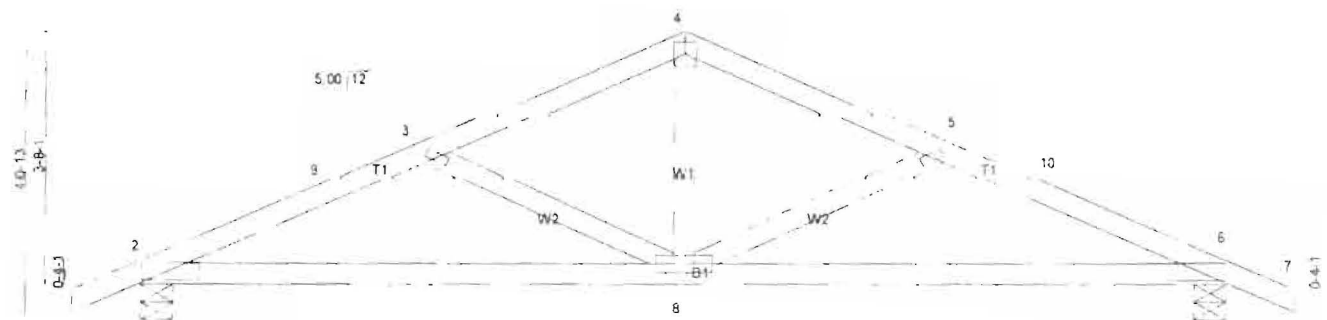
For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

Job	Truss	Truss Type	Qty	Ply	STANDARD	STANDARD
STANDARDS (1) C 21#	Std	STANDARD				

Job Reference (optional)

10 ktRAUBk3W... 8nRHUPF... 11-7-15... 3-7-15... 16-0-0... 4-4-1... 17-0-0... 1-0-0

Scale = 1/28.6



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 61.6 (Ground Snow=80.0)	2-0-0 Plates Increase 1.15 Lumber Increase 1.15 Rep Stress Incr YES Code IRC2009/TPI2007	TC 0.49 BC 0.70 WB 0.27 (Matrix)	in (loc) l/defl U/d Vert(LL) -0.10 2-0 -999 240 Vert(TL) -0.26 2-8 >715 180 Horz(TL) 0.00 -6 1/6 n/a	MT20	157/144

Weight 53 lb FT = 15%

**LUMBER**  
 TOP CHORD 2 X 4 SPF No 2  
 BOT CHORD 2 X 4 SPF No 2  
 WFERS ? X 4 SPF No 2

**BRACING**  
 TOP CHORD Structural wood sheathing directly applied or 3-6-8 oc purlins  
 BOT CHORD Rigid ceiling directly applied or 9-7-12 oc bracing.  
 Mitel recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide

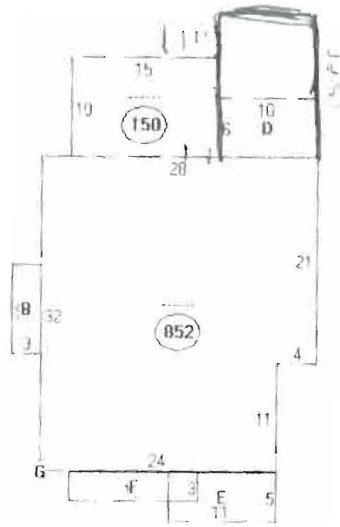
**REACTIONS** (lb/size) 2=1390/0-5-8 (min 0-2-3), 6=1390/0-5-8 (min 0-2-3)  
 Max Horz 2=69(LC 7)  
 Max Uplift 2=-285(LC 7), 6=-285(LC 8)

**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown  
 TOP CHORD 2-9=-2328/396, 3-9=-2129/403, 3-4=-1654/243, 4-5=-1654/242, 5-10=-2129/404,  
 6-10=-2328/396  
 BOT CHORD 2-8=-360/2031, 6-8=-291/2031  
 WEBS 3-8=-861/274, 4-8=-72/751, 5-8=-861/274

- NOTES**
- 1) Wind ASCE 7-05, 100mph; TC DL=4 2psf, BCDL=6.0psf, h=25ft, Cat II Exp C enclosed. MWFRS (low-rise) gable end zone, cantilever left and right exposed, end vertical left and right exposed; Lumber DOL=1.60, plate grip DOL=1.60
  - 2) TCLL ASCE 7-05, Pg=80.0 psf (ground snow); Ps=61.6 psf (roof snow), Category II, Exp C Partially Exp., Ct=1.1
  - 3) Roof design snow load has been reduced to account for slope
  - 4) Unbalanced snow loads have been considered for this design
  - 5) This truss has been designed for greater of min roof live load of 16.0 psf or 1.00 times flat roof load of 61.6 psf on overhangs non-concurrent with other live loads.
  - 6) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads
  - 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (t=lb) 2=285, 6=285
  - 8) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1

**LOAD CASE(S)** Standard





Descriptor/Area	Area
A	852 sqft
B: 2FBAY/B	27 sqft
C: . .	150 sqft
D: FLUB	60 sqft
E: OFF	55 sqft
F: UA/25FBAY/B	39 sqft
G: PG1	528 sqft



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

20

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

**Total:** \_\_\_\_\_

Building (IL) \_\_\_\_ Plumbing (I5) \_\_\_\_ Electrical (I2) \_\_\_\_ Site Plan (U2) \_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_ **Total Collected \$** \_\_\_\_\_

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: \_\_\_\_\_

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

# Samson Residence - Garage

14 Braintree Street, Portland, Maine 04103

PROJECT LOCATION MAP:



LIST OF DRAWINGS:

- A 0.0 COVER SHEET
- A 0.1 Abbreviations, Legends, + general notes
- A 0.2 Site Plan
- A 0.3 Plot Plan
- A 1.1 Demo Plan
- A 1.2 First Floor Plan
- A 1.3 First Floor Renovation Plan
- A 1.4 Sections / Elevations

PROJECT TEAM:

- Design: Langford and Low
- Demo & Concrete: Langford and Low
- Garage structure: by others

RELEVANT INFO:

Blank area for relevant information.

<b>LANGFORD</b> <small>LLP</small>	
<small>ARCHITECTS</small>	
DRAWING NO. <b>11-0711-01</b>	
DATE: <b>7/7/11</b>	
PROJECT: <b>Samson Residence - Garage</b>	
ADDRESS: <b>14 Braintree Street, Portland, ME 04103</b>	
DRAWING TITLE: <b>Cover Sheet</b>	
DATE: <b>July 7, 2011</b>	
SCALE: <b>AS NOTED</b>	
SHEET NUMBER: <b>A0.0</b>	

**GENERAL SYMBOLS:**

- = ROOM TAG
- = DOOR TAG
- = WINDOW TAG
- = WALL / PARTITION TYPE
- = CENTER LINE
- = REVISION TAG
- = BREAK LINE
- = NORTH ARROW
- = MATCH LINE  
CONT. ON SHEET #
- = DETAIL TAG
- = SECTION TAG
- = ELEVATION TAG
- = NOTE TAG (same page)
- = EQUIPMENT TAG
- = DIMENSION LINE
- = ELEVATION LINE
- = DRAWING TITLE / SCALE
- = COLUMN LINE/GRID TAG
- = HIDDEN, FUTURE, OR EXISTING CONSTRUCTION
- = OVERHEAD (dashed)
- = INDICATES DIRECTION OF PITCH

**ABBREVIATIONS:**

- AFF = ABOVE FINISHED FLOOR
- EIFS = EXTERIOR INSULATION & FINISH SYSTEM
- GWB = GYPSUM WALL BOARD
- OSB = ORIENTED STRAND BOARD
- WWM = WELDED WIRE MESH
- PSI = POUNDS PER SQUARE INCH
- SF = SQUARE FOOT
- SY = SQUARE YARD
- LF = LINEAR FOOT
- WP = WEATHERPROOF
- GFI = GROUND FAULT INTERRUPT
- IS = ISOLATED GROUND
- S = SWITCH
- XP = EXPLOSION PROOF
- H = HUMIDITY
- P = PRESSURE
- T = TEMPERATURE
- PTD = PAINTED
- RH =
- LH =
- RHR =
- LRH =

**LIFE SAFETY SYMBOLS:**

- = SMOKE DETECTOR - INTERCONNECTED
- = HORN / STROBE UNIT
- = VISUAL STROBE UNIT
- = EMERGENCY LIGHT (2 lamp) INTERCONNECTED
- = EMERGENCY LIGHT (1 lamp) INTERCONNECTED
- = FIRE ALARM PULL STATION
- = FIRE EXTINGUISHER
- = EXIT SIGN (with direction indicator)
- = KNOX BOX
- = MAGNETIC HOLD OPEN (device for rated doors)
- = ELECTRIC DOOR OPENER (mounted to building)
- = INDICATES ROOM SF, SF PER PERSON # OF OCCUPANTS ALLOW

**CONDUIT, WIRING, & OUTLET SYMBOLS:**

- = SINGLE RECEPTACLE
- = DUPLEX RECEPTACLE
- = QUAD. RECEPTACLE (indicate Ground Fault Interrupt, Isolated Ground, WeatherProof)
- = CLOCK RECEPTACLE
- = DATA OUTLET (CAT 6)
- = TV CONNECTION
- = TELEPHONE (CAT 3)
- = ELECTRIC THERMOSTAT

**HATCH LEGEND:**

- SITework**
  - = EARTH
  - = ROCK
  - = GRAVEL FILL (COARSE)
  - = FINE POROUS FILL
- MASONRY**
  - = BRICK
  - = GLAZED BRICK
  - = CMU
  - = GLAZED CMU
  - = GLASS UNIT MASONRY
  - = CUT STONE
  - = FIRE BRICK
  - = CAST STONE
- CONCRETE**
  - = CAST-IN-PLACE CONCRETE
  - = PRECAST CONCRETE
  - = CEMENTITIOUS TOPPINGS
  - = GROUT
- THERMAL & MOISTURE PROTECTION**
  - = BATT / FIBROUS INSULATION
  - = FOAM INSULATION
  - = RIGID INSULATION BOARD
  - = LOOSE FILL INSULATION
  - = EIFS
  - = FIBROUS FIRE SAFING
- METAL**
  - = STEEL
  - = ALUMINUM
  - = ORNAMENTAL METAL
  - = WELDING
- GLAZING**
  - = GLASS
  - = PLASTIC
- WOOD**
  - = CONTINUOUS ROUGH WOOD FRAMING
  - = WOOD BLOCKING
  - = PLYWOOD (ROUGH)
  - = PLYWOOD (FOR ARCH. WOODWORK)
  - = PARTICAL BOARD (ROUGH)
  - = PARTICAL BOARD (FOR ARCH. WOODWORK)
  - = OSB

**LANGFORD**  
GENERAL CONTRACTOR

DRAWN BY  
GABRIELLE MUELLER LEED AP  
PROJECT ENGINEER / PROJECT COORDINATOR  
LANGFORD AND LOW  
1000 STATE ST. PORTLAND, ME 04101  
TEL: 603.761.1111 FAX: 603.761.1112  
WWW.LANGFORDANDLOW.COM

---

REVIEWED BY

---

JOB NUMBER

---

DRAWING STATUS

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

---

CONSULTANTS

---

REGISTERED PROFESSIONAL'S SEAL

---

PROJECT NAME & LOCATION  
Samson Residence-Garage  
14 Braintree Street  
Portland, ME 04103

---

DRAWING TITLE  
Legend, symbols, etc

---

DATE  
July 7, 2011

---

DESIGNERS

---

SCALE  
AS NOTED

---

SHEET NUMBER  
**A0.1**

OWNER: SIMSON BROS.  
 CLASS: 14  
 PROJECT: SIMSON BROS. GARAGE  
 PROJECT NUMBER: 14-0001  
 DATE: 7/7/2011  
 DRAWN BY: LANGFORD AND LOW  
 CHECKED BY: LANGFORD AND LOW  
 PROJECT LOCATION: 14 BRAINTREE STREET, PORTLAND, ME 04103

NO. VIEW LEFT: \_\_\_\_\_  
 JOB NUMBER: \_\_\_\_\_

- DRAWING STATUS
- OFFICE REVIEW
  - CLIENT REVIEW
  - PERMIT SET
  - CONSTRUCTION SET
  - CONTRACT DRAWINGS
  - CONSTRUCTION SET

CONSULT: \_\_\_\_\_

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
**Simson Bros. Garage**  
 14 Braintree Street  
 Portland, ME 04103

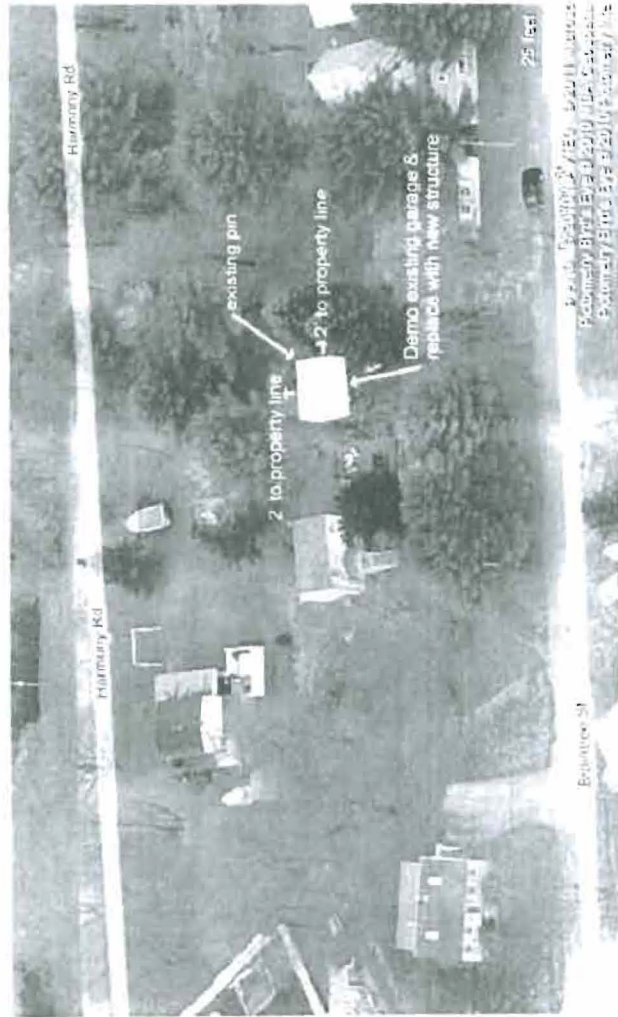
DRAWING TITLE  
**Site Plan**

DATE  
**July 7, 2011**

REVISIONS

SCALE  
**AS NOTED**

DRAWING NUMBER  
**A0.2**





DRAWN BY  
SARAH RUSSELL, P.E., P.E.  
LANGFORD AND LOW

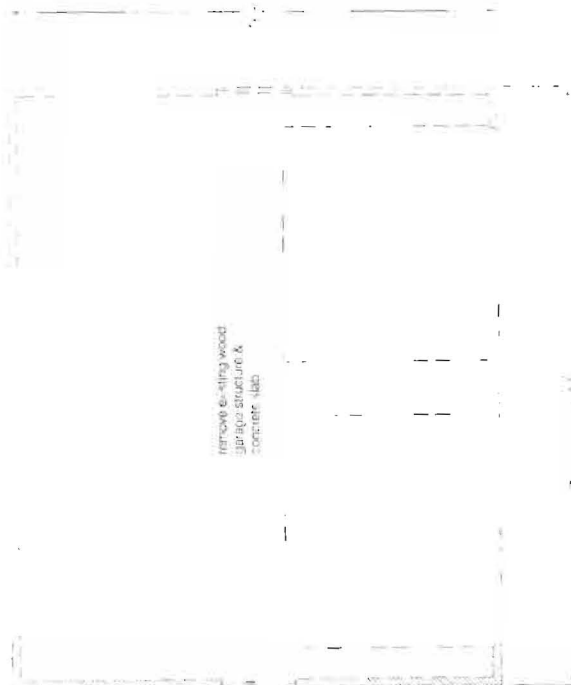
PROJECT NAME & LOCATION  
Samsen Residence-Garage  
14 Braintree Street  
Portland, ME 04103

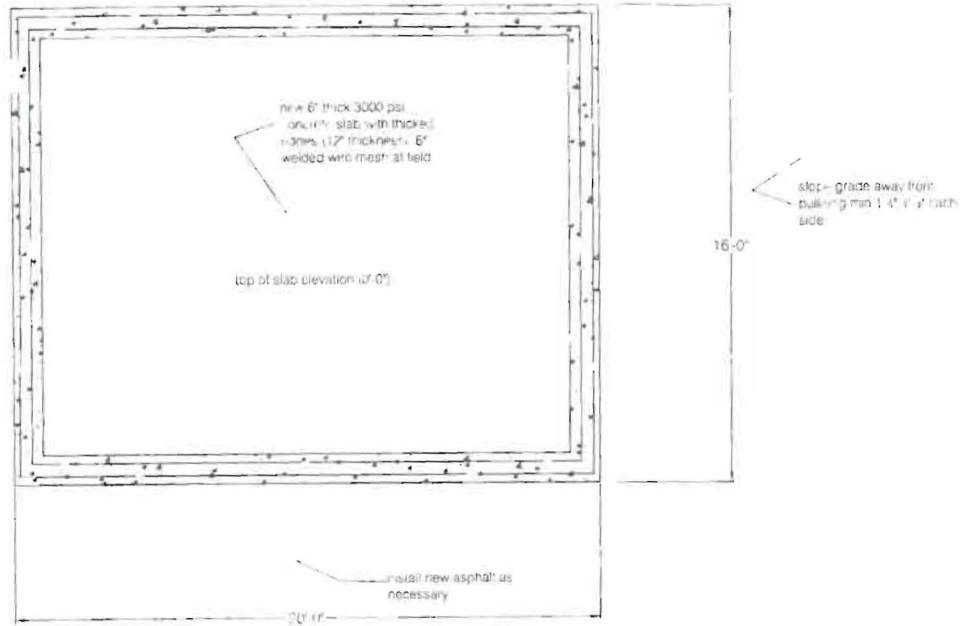
DATE  
July 7, 2011

REVISIONS

SCALE  
AS NOTED

SHEET NUMBER  
A1.1





general notes

1-new garage shall not be closer to property line(s) than existing garage

2-new wall height shall not exceed existing wall height

1 Foundation Plan  
Scale: 1/4"=1'



2 Slab Section  
Scale: 1/4"=1'

<b>LANGFORD</b> ARCHITECTS & ENGINEERS	
DRAWN BY: GABRIELLE H. JOYCE, LEED AP PROJECT MANAGER / PROJECT COORDINATOR LANGFORD AND LOW REGISTERED PROFESSIONAL ARCHITECTS REGISTERED PROFESSIONAL ENGINEERS	
REVIEWED BY: _____	
JOB NUMBER: _____	
DRAWING STATUS: <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input type="checkbox"/> PERMIT SET <input type="checkbox"/> BID / ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS: _____	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION: Samson Residence-Garage 14 Braintree Street Portland, ME 04103	
DRAWING TITLE: New Foundation Plan & Section	
DATE: July 7, 2011	
REVISIONS:	
SCALE: AS NOTED	
SHEET NUMBER: <b>A1.2</b>	

**LANGFORD LOW**

ARCHITECT  
 1000 W. BRIMFIRE STREET  
 PORTLAND, ME 04103  
 TEL: 207.761.1111  
 FAX: 207.761.1112

PROJECT NAME  
 JOB NUMBER

DRAWING STATUS

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
- BID ESTIMATING SET
- CONTRACT SET
- CONSTRUCTION SET

CONSULTANTS

REGISTERED PROFESSIONAL SEAL

PROJECT NAME & LOCATION  
**Samsom Residence-Garage**  
 14 Bramfire Street  
 Portland, ME 04103

DATE  
**July 7, 2011**

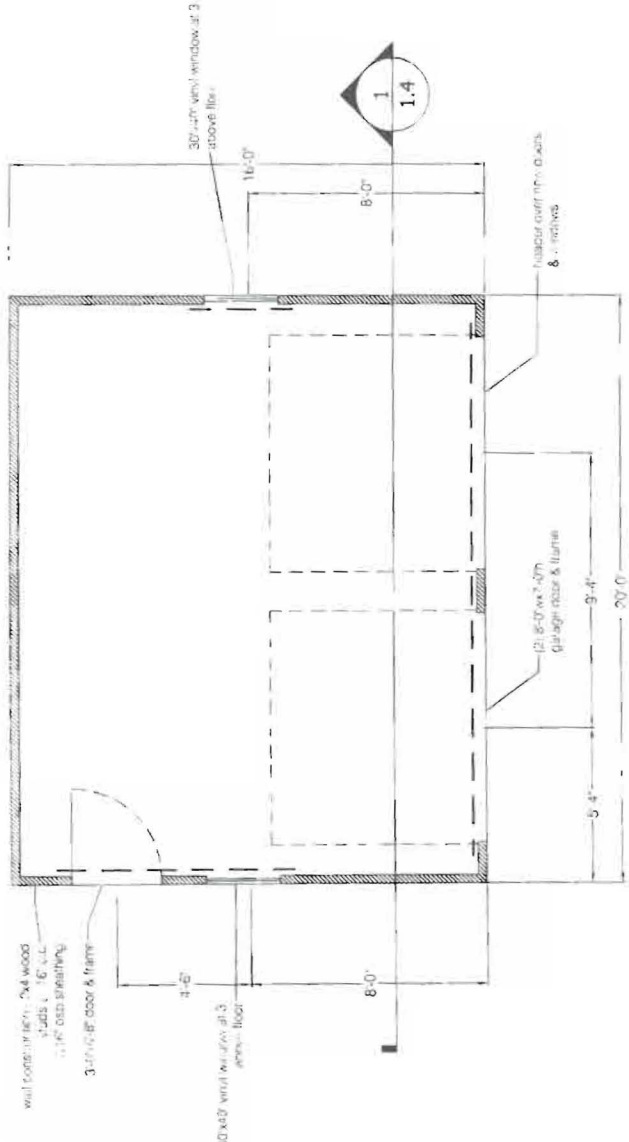
SCALE  
**AS NOTED**

PROJECT NUMBER  
**A1.3**

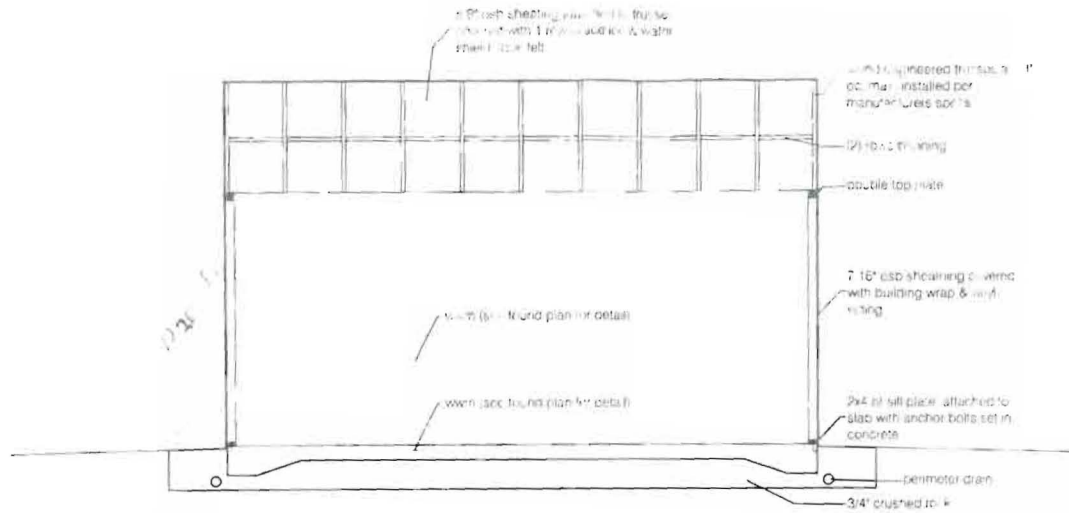
DATE  
**July 7, 2011**

SCALE  
**AS NOTED**

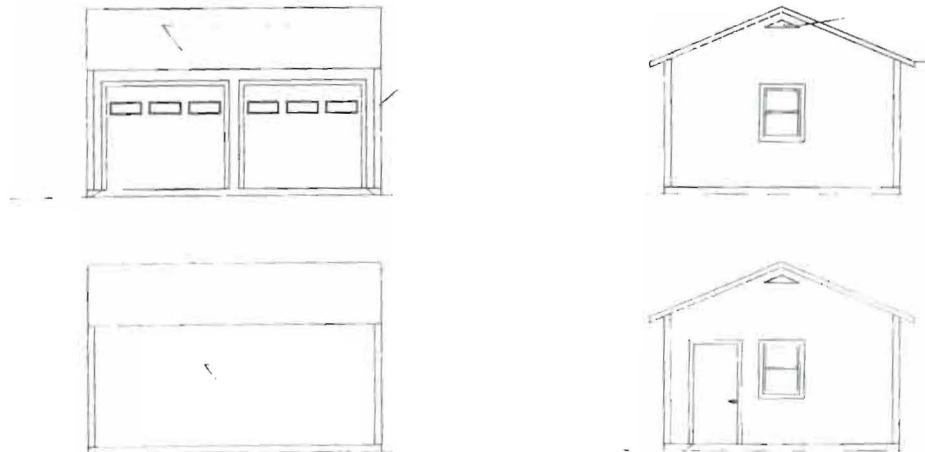
PROJECT NUMBER  
**A1.3**



**1 Plan** Scale: 1/4" = 1'

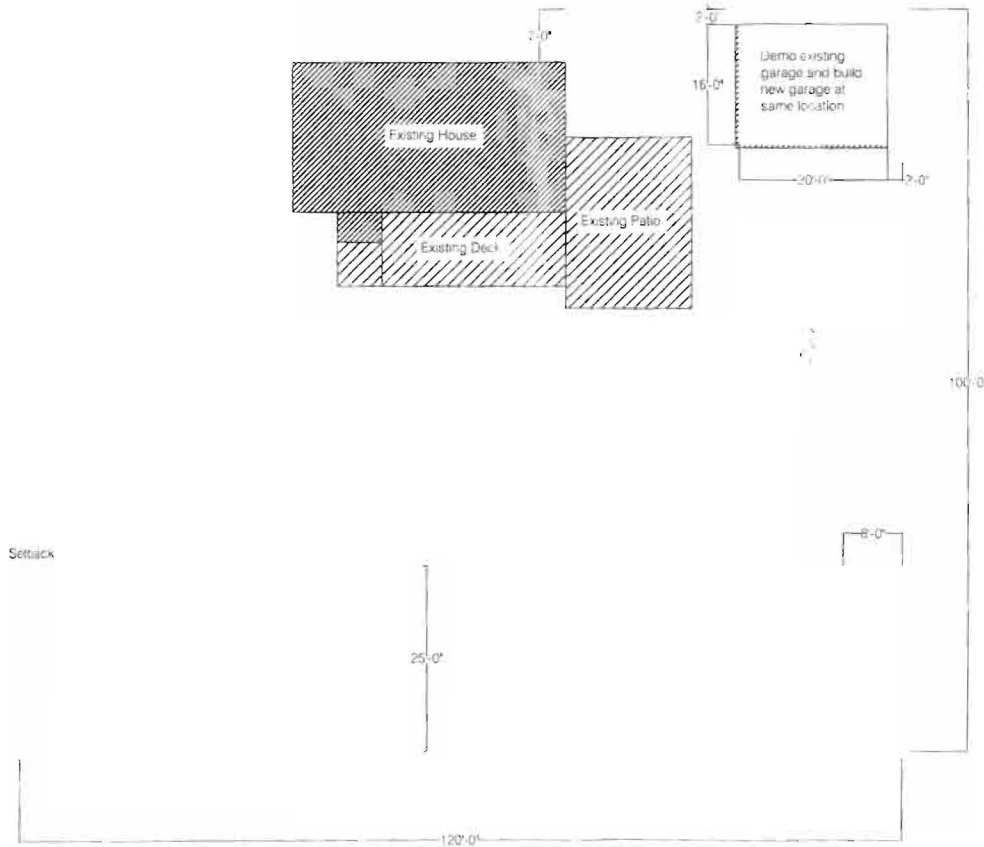


1 Section  
Scale: 1/4"=1'



2 Elevations  
Scale: 1/8"=1'

<b>LANGFORD</b> <small>ARCHITECTS</small> <small>AND</small> <small>LOW</small>	
DRAWN BY ABRIEL RUSSELL LEED AP PROJECT LOCATION LANGFORD AND LOW 200 SOUTH WASHINGTON STREET, PORTLAND, ME 04103 TEL: 603.761.1111 FAX: 603.761.1112	
REVIEW BY	
JOB NUMBER	
DRAWING STATUS <input type="checkbox"/> OFFICE REVIEW <input type="checkbox"/> CLIENT REVIEW <input type="checkbox"/> PERMIT SET <input type="checkbox"/> BID/ESTIMATING SET <input type="checkbox"/> CONTRACT DRAWINGS <input type="checkbox"/> CONSTRUCTION SET	
CONSULTANTS	
REGISTERED PROFESSIONAL'S SEAL	
PROJECT NAME & LOCATION Samson Residence-Garage 14 Braintree Street Portland, ME 04103	
DRAWING TITLE <b>Sections</b>	
DATE July 7, 2011	
REVISIONS	
SCALE <b>AS NOTED</b>	
SHEET NUMBER <b>A1.4</b>	



Zone: R-3

Setbacks

Rear = n/a

Front = 25' min

Side = 8' min

**LANGFORD** LOW

DRAWN BY  
GABRIELLE RUSSELL, LEED AP  
PROJECT DESIGNER / PROJECT COORDINATOR  
LANGFORD AND LOW  
ARCHITECTURE, PLANNING, INTERIOR  
DESIGN, INTERIORS, DESIGN, CONSTRUCTION

REVIEWED BY

ITB NUMBER

DRAWING STATUS

- OFFICE REVIEW
- CLIENT REVIEW
- PERMIT SET
- BID / ESTIMATING SET
- CONTRACT DRAWINGS
- CONSTRUCTION SET

CONSULTANTS

REGISTERED PROFESSIONAL'S SEAL

PROJECT NAME & LOCATION  
Samson Residence-Garage  
14 Braintree Street  
Portland, ME 04103

DRAWING TITLE

**Plot Plan**

DATE

July 7, 2011

REVISIONS

SCALE

**AS NOTED**

SHEET NUMBER

**A0.3**

1

Plot Plan

Scale: 1/16"=1'



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

8-5-20 11

Received from Richard Water Truck

Location of Work 14 Brewster Ave

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 30

Building (IL) \_\_\_\_\_ Plumbing (IS) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 236-5-15

Check #: 1927

Total Collected \$ 30

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



# PORTLAND MAINE

*Strengthening a Remarkable City. Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-07-1651-ALTR

Located At: 14 BRAINTREE

CBL: 336 - - J - 013 - 001 - - - - -

## Conditions of Approval:

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date. The proposed new garage is changing the roof from a hip roof to a gable roof but the ridge will be lower (13' to 12'3") and the pitch is going from a 7/12 to a 5/12, so the volume will not increase.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This amended permit is being approved because the changes to the shell or minimal so the change to the volume is also minimal.

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. All conditions under Building Permit # 2011-07-1651-ALTR apply.