

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 8 Buca Run Portland Maine		Owner: Ronald and Cindy Lowell		Phone: **878-3637		Permit No: 9 066 5
Owner Address: SAA		Lessee/Buyer's Name:		BusinessName:		
Contractor Name:		Address:		Phone:		Permit Issued: JUN 24 1999 CITY OF PORTLAND
Past Use: single family		Proposed Use: same		COST OF WORK: \$ 1,549.27		
Proposed Project Description: 16x16 Deck		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		PERMIT FEE: \$ 25.00		Zone: R-2 CBL: 336-H-062 Zoning Approval: OK → 6/24/99 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
				INSPECTION: <i>Deck</i> Use Group: <i>R3</i> Type: <i>5B</i> <i>BOCA 96</i> Signature: <i>Hoffman</i>		
Permit Taken By: KA		Date Applied For: June 18, 1999 KA		Signature: _____ Date: _____		<p align="center">PERMIT ISSUED WITH REQUIREMENTS</p> <p align="center">CERTIFICATION</p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit</p> <p align="right">June 18, 1999</p>

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.	
2. Building permits do not include plumbing, septic or electrical work.	
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	
SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____	

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 18, 1999

Zone: **R-2** **CBL:** 336-H-062

Zoning Approval: **OK → 6/24/99**

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 1

COMMENTS

6/25/99 Preconstruction by phone with Cindy
howell review conditions see

9/23 Phone call to Cindy, deck is all set except for stairs which
they are in process of getting bids on. JB

Does this need to be completed before C of O (permanent) is issued? No
C of O issued not inclusive of deck under this permit. JB

Inspection Record

Type

Foundation: _____
Framing: _____
Plumbing: _____
Final: _____
Other: _____

Date

BUILDING PERMIT REPORT

DATE: 23 June 99 ADDRESS: 8 Bucca Run CBL: 336-H-062
 REASON FOR PERMIT: 16' x 16' deck
 BUILDING OWNER: Lowell
 PERMIT APPLICANT: _____ / Contractor SAA
 USE GROUP R-3 / deck BOCA 1996 CONSTRUCTION TYPE 513

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *11, *13, *29, *32, *33, *34, *35, *36

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approval from the ~~Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- *33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- *34. Your plan does NOT show a Foundation system - A minimum of 4" Tubes (Piers) 4' deep on Footing with fasten between the two
- *35. The ledger attached to the dwelling shall be fastened to the Lag bolted.
- *36. See Stair detail -

V. Samuel Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 12-14-98

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

ADDRESS

8 BUICA RUN

INSPECTION DATE

1-27-99

125' x 80' LOT

SCALE

1" = 30'

PORTLAND WATER DISTRICT

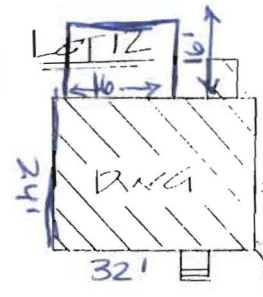
R-2 -
REAR: 25' req - 30' + Show
side yard
on side St: 20' req - 20' + Show

Note Lynn St. was discontinued with this development

DELIAM STREET

LOT I
STREET

125' ±

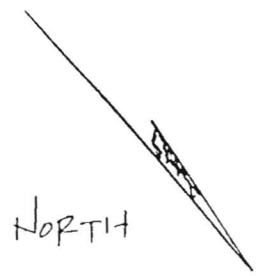


LOT II

125' ±

DRIVE

80' ±



BUICA RUN

LOT size 80' x 125'

Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

congratulations !!!!!

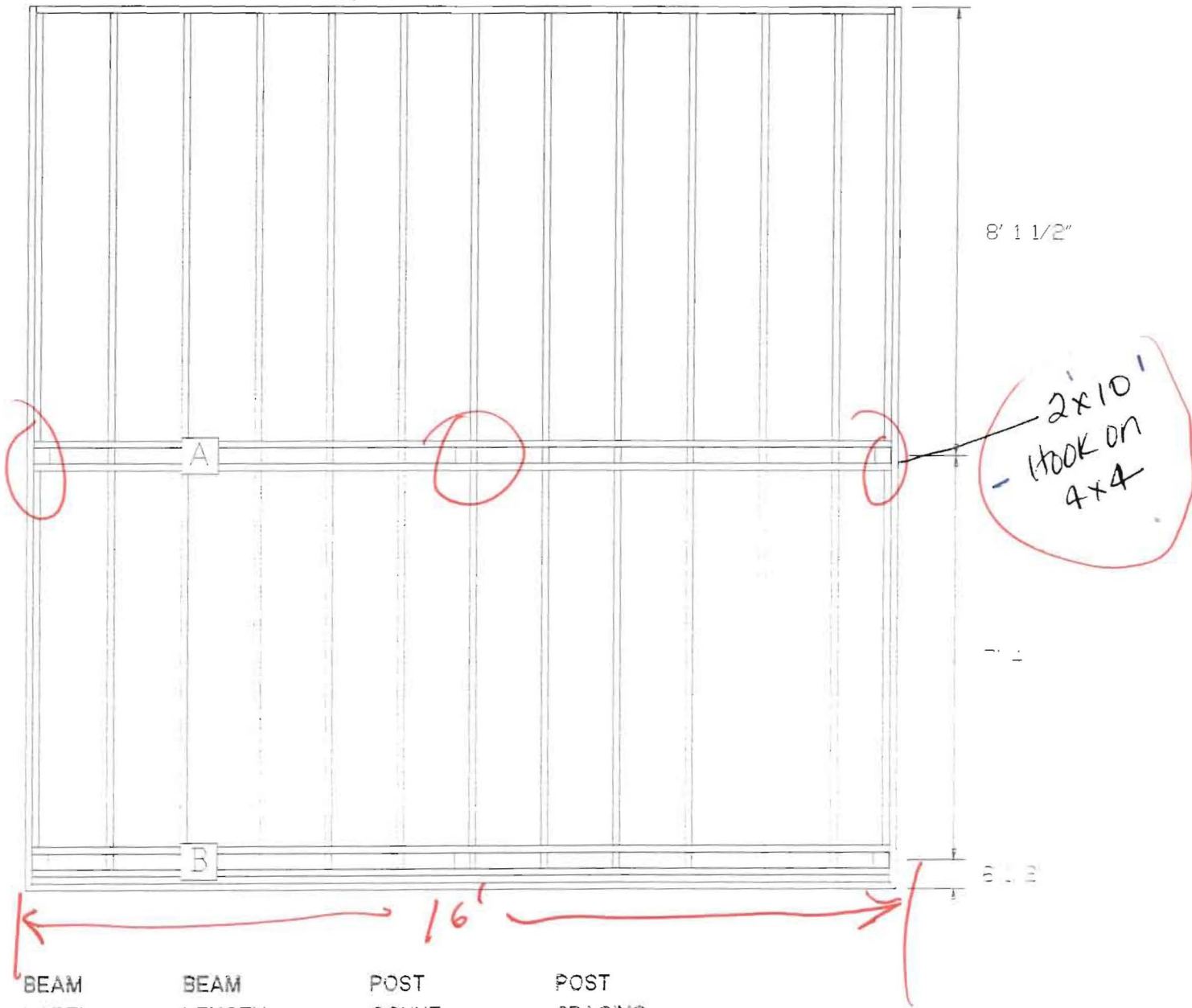
**Building or Use Permit Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read **ALL** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Cindy Lowell

BEAM LAYOUT
CUSTOMER -- GENERIC CUSTOMER
DATE 06/18/99 REF Deck99169

STORE NAME
123 STREET RD.
CITY, ST
(800) 555 1212



BEAM LABEL	BEAM LENGTH	POST COUNT	POST SPACING
A	15' 9"	3	7' 9"
B	15' 9"	3	7' 9"

Post spacing is measured center-to-center.

Cindy Lowell

SOLD TO: LARRY (CASH SALES) BLANCHET

ACCT CRT: 003010-000
INVOICE #: 99022229874

DATE: 06/18/99

TIME: 10:47:18

SHIP TO: LOWELL/CINDY/DECKING MATL

SALESMAN: LARRY B

DELIVERY: 06/30/99

ORD#04054W REV 1

3000-712 PAGE 1

ORD #04054W**ORD #04054W*****ORD #04054W**
** ORD #04054W REV 1 **
ORD #04054W**ORD #04054W*****ORD #04054W**

ITEM	QTY	UOM	DESCRIPTION	U-PRD PER	NET AMT
88TCUT	24	LFT	3" BUILDERS TUBE	1.250 LFT	30.00
800	12	EA	80# CONCRETE SAKRETE	3.990 EA	47.88
448PT	3	EA	4X4-8 PT SEE BACK OF INVOICE	549.710 MBF	17.59
AB44	6	EA	SIMPSON AB44 POST BASE	7.590 EA	45.54
8AB	3	EA	3" ANCHOR BOLT	2.830 EA	8.49
2X1016PT	19	EA	2X10-16 PT SEE BACK OF INVOICE	70.140 MBF	355.30
246160	17	EA	2"X4X6-16" KNOTTY CEDAR DECKING	1.000.230 MBF	335.01
2X2416	5	EA	2X4-16 4X6 RED CEDAR	41.380 EA	248.29
38TEP	4	EA	PT 3-STEP STRINGER SEE INV BAG	3.590 EA	32.36
258PT	1	EA	2X6-8 PT SEE BACK OF INVOICE	246.060 MBF	4.37
11210	3	EA	1 1/2"X10" WINDOW FLASHING	3.350 EA	10.05
HF	2	EA	HILLMAN FASTENERS	1.750 EA	16.11
			2"X4 GAL LAG W/WASHER		
HF	2	EA	HILLMAN FASTENERS	23.950 EA	37.90
			2-1/2" STAINLESS SCREWS BOX		
2100H	10	EA	2X10 JOIST HANGER	3.490 EA	34.90
N10	2	EA	N10 HANGER NAIL 1# BOX	3.950 EA	7.90
2P1000	2	EA	2# BOX 16D GALV. COMM NAIL	5.990 EA	11.98
2P600N	2	EA	1# BOX 6D GALV. FINISH NAIL	1.490 EA	2.98
11-2300	1	EA	WHITE ACX-LATEX CAULKING	1.890 EA	1.89

SUB TOTAL 1468.53

FE 3.50% SALES TAX 51.77

CASH 1549.30

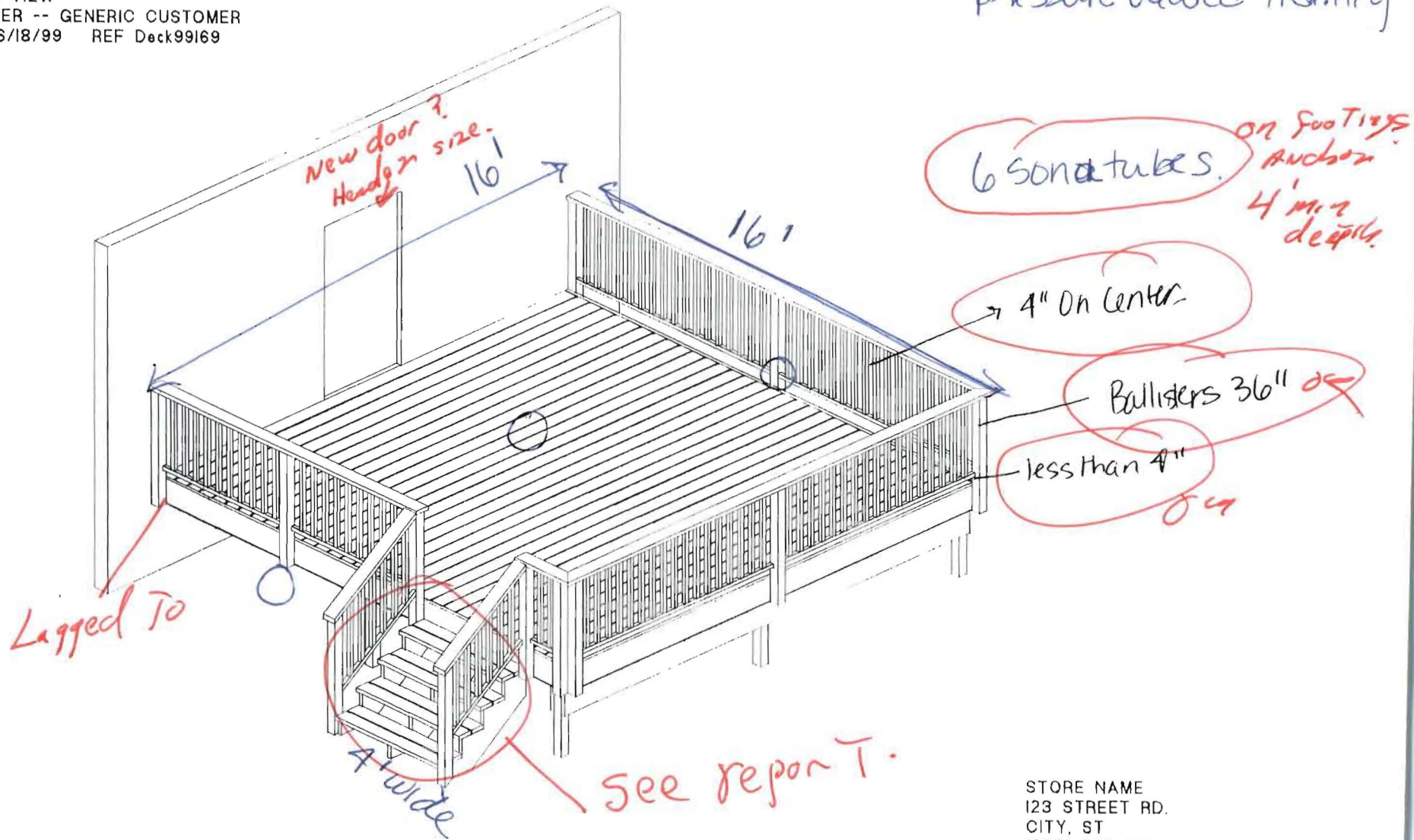
TOTAL ORDER DEPOSIT 1549.30

TOTAL 1549.30

Cindy Lowell

CUSTOM VIEW
CUSTOMER -- GENERIC CUSTOMER
DATE 06/18/99 REF Deck99169

Cedar decking
pressure treated framing



STORE NAME
123 STREET RD.
CITY, ST
(800) 555 1212

STRESS ANALYSIS

Cindy Lowell

CUSTOMER: GENERIC CUSTOMER
 DATE: 06/18/99 REF:
 SALESMAN #

MEMBER TYPE	SIZE	STRESS FACTOR	FACTOR LOAD	COMPOSITE LOAD
JOISTS	2X10 16IN	DEFLECTION	415 PSF	
		BENDING	268 PSF	
		SHEAR	202 PSF	
		COMPRESSION	247 PSF	202 PSF
BEAMS	2-2X10	DEFLECTION	178 PSF	
		BENDING	87 PSF	
		SHEAR	66 PSF	
		COMPRESSION	248 PSF	66 PSF
BOLTS	1/2IN	SHEAR	1661 PSF	1661 PSF
POSTS	4X4	STABILITY	372 PSF	372 PSF
		TOTAL LOAD		66 PSF
		DEAD LOAD		10 PSF
		LIVE LOAD		56 PSF
STRINGER	2X12	DEFLECTION	276 PSF	
		BENDING	231 PSF	
		SHEAR	166 PSF	
		COMPRESSION	645 PSF	
		TOTAL LOAD		166 PSF
		DEAD LOAD		10 PSF
		LIVE LOAD		156 PSF