

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Lot #7 Buca Run 04103 #40		Owner: ** Craig Holman		Phone: 892-4847		Permit No: <b>000519</b>	
Owner Address: *** 38 Chute Rd. Windham 04062		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Owner/Holman Development, Inc.		Address: N/A		Phone: N/A		Permit Issued:  MAY 18	
Past Use: Vacant		Proposed Use: Single Family W/Attached Garage		COST OF WORK: \$ 80,000.00		PERMIT FEE: \$ 504.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A-3 Type 5B BOCA 99 Signature: <i>[Signature]</i>	
Proposed Project Description:  Construct a new Single Family w/Attached Garage				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <b>R-2</b> CBL: 336-H-057	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: <i>[Signature]</i> with conditions 5/18/00 Special Zone or Reviews: <i>[Signature]</i>	
				Signature: _____ Date: _____		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone - panel 2 end <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> imm <b>A</b> <b># 20000077</b>	
Permit Taken By: UB		Date Applied For: GD May 3, 2000				<b>Zoning Appeal</b>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

- Historic Preservation**
- Not in District or Landmark
  - Does Not Require Review
  - Requires Review

- Action:**
- Approved
  - Approved with Conditions
  - Denied

Date:                     

SIGNATURE OF APPLICANT	ADDRESS:	DATE: May 3, 2000	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	PHONE:		

**PERMIT ISSUED  
WITH REQUIREMENTS**  
CEO DISTRICT 1

COMMENTS

7-11-00 Setback and backfill inspection. Reminded of inspection at footing.

Will receive surveyors letter to verify pins set at foundation corners - meet city code. Measured front 26' - house is now 25' instead of 26'. Setback stakes set on left side (garage is no longer being built) 17.6'. Right rear corner measures 32' to property pin across 30' easement. Craig will amend permit for several changes - all of which show a decrease in what has been proposed & as built plans. This is a manufactured house JB

11/8/00 Spoke w/Craig Holman regarding C.O. inspection. This is a manufactured house so we need to get state cert # in kitchen cab, and check for any exterior stair code compliance. Also the boiler needs to be hooked up & electricity on JB

1/23/01 Final C.O. inspection - exterior steps/pails ok, need guardrail on basement stairs & Heating Appliance permit. JB

2/8/01 Final - wall & handrail installed in basement, Permit submitted for Heating JB C.O. Manufactured Housing Board No. 18638

LIC # 7000112

1996 NEC 1987 NFPA 31

1992 CABO 1994 NFPA 101

Listed Industrial Building 292562 I

Inspection Record

Type

- Foundation: \_\_\_\_\_
- Framing: \_\_\_\_\_
- Plumbing: \_\_\_\_\_
- Final: \_\_\_\_\_
- Other: \_\_\_\_\_

Date

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



Applicant: Craig Holman

Date: 5/15/00

Address: BUCA Run #Lot 7

C-B-L: 336-H-57

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work -

2 story  
construct single family dwelling with attached garage

Sewage Disposal -

City

Lot Street Frontage -

50' req - 124' shown

Front Yard -

25' req - ~~25'~~ 25' shown

Rear Yard -

25' req - 25' shown

Side Yard -

14' req - 16' i 29' shown

Note: The drainage easement is 15' - they can not build on the easement

Projections -

~~front porch~~ - rear deck - rear bulk head

Width of Lot -

80' req - 82' shown at closest point -

Height -

35' - 22.5' shown

Lot Area -

10,000<sup>#</sup> req 11,250<sup>#</sup> shown

Lot Coverage/ Impervious Surface -

20% = 2250<sup>#</sup> MAX

Area per Family -

10,000<sup>#</sup>

Off-street Parking -

2 req ok

Loading Bays -

N/A

Site Plan -

minor/minor  
# 200000 77

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

panel 1 zone-C

GARAGE -  
REAR DECK  
AND FRONT PORCH  
NOT NOW INCLUDED  
PER AMENDMENT  
12' X 31.5' DATED  
7/13/00  
5.5' X 20' DECK - FRONT  
12' X 12' DECK - REAR

ok

26 X 32	=	832
12 X 31.5	=	378
5.5 X 20	=	110
12 X 12	=	144
		<del>1464<sup>#</sup></del>

BUILDING PERMIT REPORT

DATE: 13 July 2000 ADDRESS: (Lot #7) Buca Run CBL: 336-H-057

REASON FOR PERMIT: Amend Permit No. 000519

BUILDING OWNER: Craig Holman

PERMIT APPLICANT: /CONTRACTOR

USE GROUP: R-3 CONSTRUCTION TYPE: 503 CONSTRUCTION COST: 54,000 PERMIT FEES: 30.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

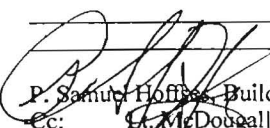
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*36 #31

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.



19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *original conditions still apply*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code. (The BOCA National Building Code/1999).
- ~~36. All requirements of original permit shall be abided too~~

  
 P. Samuel Hoffman, Building Inspector  
 cc: G. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PSH 1/26/00

**\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**\*\*\*\* All PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE ) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.**



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>LOT # 7 BUCK RUN</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot <u>11,250</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>336</u> Block# <u>H</u> Lot# <u>057</u>		Owner: <u>CRAIL HOLMAN</u>	Telephone#: <u>892-4847</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>		Owner's/Purchaser/Lessee Address: <u>CRAIL HOLMAN</u>	Cost Of Work: <u>\$50,000.</u> Fee: <u>\$30.00</u>
Proposed Project Description: (Please be as specific as possible) <u>AMEND PERMIT # 000519</u> <i>(will probably need a reimbursement because cost of work is lower)</i>			
Contractor's Name, Address & Telephone <u>CRAIL HOLMAN 831-5950</u>			Rec'd By: <u>Craig</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

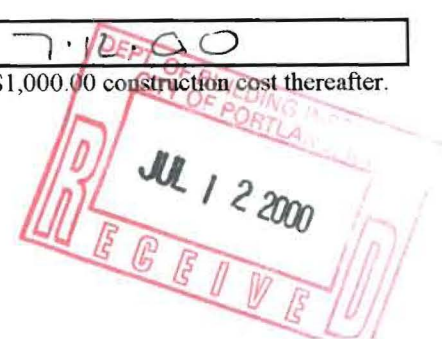
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>7.12.00</u>
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Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



*Handwritten notes:*  
 + Call Craig 831-5950  
 Amend Permit # 000519  
 Relocating module  
 Changing steel built to modular



JULY 12, 2000

STEVE BUSHEY / CITY OF PORTLAND  
389 CONGRESS ST.  
PORTLAND, ME 04101

RE: AMENDMENT PERMIT # 000519

DEAR MR. BUSHEY:

THIS LETTER IS TO INFORM YOU OF THE CHANGES  
TO THE SITE PLAN FOR LOT # 7, BURN.

- ① SIZE OF HOUSE IS REDUCED BY 11".
- ② NO GARAGE WILL BE BUILT.
- ③ FRONT PORCH WILL NOT BE BUILT.  
- PREFORMED FRONT STAIR WILL BE SET.
- ④ NO BACK DECK WILL BE BUILT.
- ⑤ BILCO WILL BE MOVED TO RIGHT REAR OF HS.

IF YOU HAVE ANY FURTHER QUESTIONS, PLEASE CALL  
ME AT 831.5950.

SINCERELY YOURS,



CRAIG HOLMAN

**BH2M** BERRY • HUFF •  
McDONALD • MILLIGAN • INC.

ENGINEERS + SURVEYORS + PLANNERS

LESTER S. BERRY  
WILLIAM A. THOMPSON  
TIMOTHY O. BROWN

July 11, 2000

Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101RE: Setbacks/House Location  
Boca Run Portland, ME

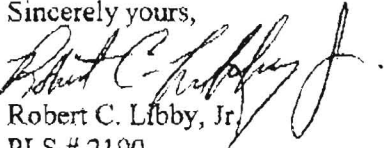
Dear Ms. Bourke:

This letter is to inform your department that on June 8, 2000 our office verified by survey the existing monumentation of Lot # 7 on Boca Run in Portland, Maine for Craig Holman. Once the property corners were verified, the building setbacks were set for Lot # 7 so the house foundation area could be dug.

On June 23, 2000, our office returned to the site and set # 5 rebar at the four corners of the house location shown on the limited site plan and within the building envelope.

If you have any further questions, please feel free to contact me.

Sincerely yours,

  
Robert C. Libby, Jr.  
PLS # 2190

cc: Craig Holman

RCL/wjc  
JeanieBourke?1100



TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: February 9, 2001

RE: C.O. inspection for # 40 Buca Run (CBL 336-H-057)

---

Upon inspection of the #40 Buca Run residence, I have the following comments:

1. The 2 tree per lot standard has not been met.
2. I was unable to verify final grading, loam and seed.
3. The house number is affixed to the side porch, but should be on the front of the building.

Due to the time of year and weather conditions, it is not possible to complete items one and two. I would estimate that these items could be completed by June 1, 2001. Once these items are addressed and re-inspected, then a permanent Certificate of Occupancy can be issued.

At this time, **I recommend issuing a Temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.  
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager

File: O:\drc\40buca1.doc





**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

~~Building or Use Permit Application~~  
~~Detached Single Family Dwelling~~

Minor/Minor

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: LOT 7 BOCA RUN		
Total Square Footage of Proposed Structure	2042	Square Footage of Lot 11,250
Tax Assessor's Chart, Block & Lot Number	Owner:	Telephone#:
Chart# 336 Block# H Lot# 057	* CRAIG HOLMAN	892-4847
Owner's Address:	Lessee/Buyer's Name (If Applicable)	Cost Of Work:
892-4847 * 38 A CHUTE RD. WINDHAM ME 04062		\$ 80,000.
Proposed Project Description:(Please be as specific as possible)		
CONSTRUCT SINGLE FAMILY DWELLING w/ATL GARAGE		
Contractor's Name, Address & Telephone		
OWNER CRAIG HOLMAN - HOLMAN DEVELOPMENT INC.		

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- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

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- 3) A Plot Plan (Sample Attached)

FEE 564  
300 minor minor  
804

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 5.3.00
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Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.



①

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$80,000.00 Plan Review # 0663

Fee: \$504.00 Date: 4 MAY 2006

Building Location: LOT #7 BUCARUN CBL: 336-H-057

Building Description: Single Family dwelling with attached private garage

Reviewed By: S. Hoffse

Use or Occupancy: R-3 Type of Construction: 503  
 \*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0
2.	Waterproofing and dampproofing shall comply with Section 1813.0	1813.0
3.	Concrete Floors shall comply with section 1905.0	1905.0
4.	Bridging shall comply with Section 2305.16	2305.16
5.	Coring, cutting and notching shall comply with sections 2305.3, 2305.3.1, 2305.4.4 & 2305.5.1 or as per manufacturer's requirements	See section
6.	All Fastening shall comply with Table 2305.2	Table 2305.2
7.	Chimneys and vents shall comply with NFPA 211 and BOCA Mech/97 Chapter 12	NFPA 211
8.	Glazing shall comply with Chapter 24 Safety Glazing 2406.0	2406.0
9.	Private Garage shall comply with section 407.0	407.0
10.	Guardrails shall comply with section 1021.0	1021.0
11.	Handrails " " " " Section 1022.0	1022.0
12.	STAIR Construction shall comply with section 1014.0	1014.0
13.	Sleeping room egress or rescue window shall comply with section 1010.4	1010.4

REV: PSH 4-7-00





## Foundations (Chapter 18)

### Wood Foundation (1808)

- ~~NA~~ Design
- ~~NA~~ Installation

### Footings (1807.0)

- ~~X~~ Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Foundation Walls

- ~~X~~ Design (1812.1)
- ~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~SA~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~X~~ Anchorage bolting in concrete (2305.17)
- ~~X~~ Columns (1912)
- ~~NA~~ Crawl space (1210.2) Ventilation
- ~~NA~~ Crawl opening size (1210.2.1)
- ~~SA~~ Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

### Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SR~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~SR~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- \_\_\_\_\_ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~SR~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~SR~~ Metal construction
- ~~SR~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~SR~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Chimneys and Fireplaces  
 BOCA Mechanical/1993**

- S/A Masonry (1206.0)
- NA Factory - built (1205.0)
- NA Masonry fireplaces (1404)
- NA Factory - built fireplace (1403)
- S/A NFPA 211

**Mechanical  
 1993 BOCA Mechanical Code**

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\_\_\_\_\_

**Load Design Criteria**

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>46 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

**Glazing (Chapter 24)**

- SR Labeling (2402.1)
- | Louvered window or jalousies (2402.5)
- | Human impact loads (2405.0)
- | Specific hazardous locations (2405.2)
- | Sloped glazing and skylights (2404)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Private Garages (Chapter 4)**

- SR General (407)
- | Beneath rooms (407.3)
- | Attached to rooms (407.4)
- | Door sills (407.5)
- | Means of egress (407.8)
- | Floor surface (407.9)
- |
- \_\_\_\_\_
- \_\_\_\_\_

**Egress (Chapter 10)**

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SR~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~X~~ Ramp slope (1016.0)
- ~~SR~~ Stairways (1014.3) 36" W
- ~~SR~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SR~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SR~~ Handrails (1022.2.2.) Ht.
- ~~SR~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SR~~ Guards (1012.0) 36" min.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SR~~ Location and interconnection
- ~~SR~~ Power source

**Dwelling Unit Separation  
Table 602**

~~NA~~

**Electrical  
NFPA #**

~~70~~

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000077

I. D. Number

Holman Development Inc.

Applicant

38 A Chute Road, Windham, ME 04062

Applicant's Mailing Address

Craig Holman

Consultant/Agent

892-4847

Applicant or Agent Daytime Telephone, Fax

5/3/00

Application Date

Buca Run - Lot #7

Project Name/Description

Buca Run, New Single Family

Address of Proposed Site

336-H-057

Assessor's Reference: Chart-Block-Lot

---

**DRC Conditions of Approval**

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**Planning Conditions of Approval**

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**Inspections Conditions of Approval**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Please note that there are alot of easements running thru this property. There shall be no construction in the area of any easements unless we receive written approvals from the Planning Division.
3. Separate permits shall be required for future decks, sheds, pools, and/or garage.

---

**Fire Conditions of Approval**



BUILDING PERMIT REPORT

DATE: 4 MAY 2009 ADDRESS: Lot #7 Bucar Run CBL: 336-H-057

REASON FOR PERMIT: To Construct a single family dwelling with attached garage

BUILDING OWNER: Craig Holman

PERMIT APPLICANT: CONTRACTOR Holman Dev. Inc

USE GROUP: R-3 CONSTRUCTION TYPE: 5-13 CONSTRUCTION COST: \$80,000.00 PERMIT FEES: \$504.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1 \*2 \*3 \*5 \*7 \*8 \*9 \*11 \*13 \*14 \*15 \*19 \*26 \*27 \*28 \*29 \*30 \*32 \*34 \*31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
\*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
\*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
\*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
\*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
\*6. Precaution must be taken to protect concrete from freezing. Section 1908.0
\*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
\*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
\*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
\*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
\*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
\*12. Headroom in habitable space is a minimum of 7'6".
\*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
\*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
\*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
\*16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
\*17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
\*18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.



- X19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- X26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X28. All requirements must be met before a final Certificate of Occupancy is issued.
- X29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- X31. Please read and implement the attached Land Use Zoning report requirements. *see Attached Site Development Permit Requirements and conditions*
- X32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 33. Bridging shall comply with Section 2305.16.
- X34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

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*[Signature]*  
 D. Samuel Housley, Building Inspector  
 Cc: Lt. McLaughall, PFD  
 Marga Schmuckal, Zoning Administrator

PSH 1.2500

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE ) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000077  
I. D. Number

Holman Development Inc.  
Applicant  
38 A Chute Road, Windham, ME 04062  
Applicant's Mailing Address  
Craig Holman  
Consultant/Agent  
892-4847  
Applicant or Agent Daytime Telephone, Fax

5/3/00  
Application Date  
Buca Run - Lot #7  
Project Name/Description

40 Buca Run, New Single Family  
Address of Proposed Site  
336-H-057  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 40 Buca Run, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The Applicant shall submit a revised site plan showing the existing culvert inlet located on the east side.

The Applicant shall be responsible to provide all necessary erosion control measures including, but not limited to, silt fencing, hay bale barriers and stabilized stone construction entrance to avoid tracking of mud onto Buca Run.

**Planning Conditions of Approval**

**Inspections Conditions of Approval**



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000077

I. D. Number

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Applicant or Agent Daytime Telephone, Fax

**5/3/00**  
Application Date  
**Buca Run - Lot #7**  
Project Name/Description

**40 Buca Run, New Single Family**  
Address of Proposed Site  
**336-H-057**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **w/att garage & deck**  
**2042** **11,250** **R-2 zone**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision - # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                     | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance               | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$200.00** Subdivision \_\_\_\_\_ Engineer Review **\$100.00** Date: **5/3/00**

**DRC Approval Status:**

Reviewer **Steve Bushey**

- Approved  **Approved w/Conditions**  Denied  
see attache

Approval Date **5/12/00** Approval Expiration **5/12/01** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Steve Bushey** **5/12/00**  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

FMS PERMITS

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000077

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5/3/00

Application Date

**Buca Run - Lot #7**

Project Name/Description

**Buca Run, New Single Family**

Address of Proposed Site

336-H-057

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) w/att garage & deck  
 2042 11,250 R-2 zone  
 Proposed Building square Feet or # of Units 11,250 Acreage of Site R-2 zone Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$200.00 Subdivision                      Engineer Review \$100.00 Date: 5/3/00

**Inspections Approval Status:**

Reviewer Marge Schmuckal

Approved  **Approved w/Conditions**  Denied  
see attached  
 Approval Date 5/15/00 Approval Expiration                      Extension to                       Additional Sheets Attached  
 Condition Compliance                      signature                      date                     

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	<u>                    </u> date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u>                    </u> date	<u>                    </u> amount	
<input type="checkbox"/> Building Permit Issued	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u>                    </u> date	<u>                    </u> remaining balance	<u>                    </u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	<u>                    </u> date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Certificate Of Occupancy	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Released	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Defect Guarantee Submitted	<u>                    </u> submitted date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Defect Guarantee Released			

**BH2M** BERRY • HUFF •  
McDONALD • MILLIGAN • INC.

ENGINEERS + SURVEYORS + PLANNERS

LESTER S. BERRY  
WILLIAM A. THOMPSON  
TIMOTHY O. BROWN

July 11, 2000

Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101RE: Setbacks/House Location  
Boca Run Portland, ME

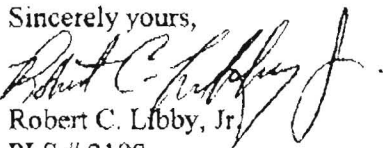
Dear Ms. Bourke:

This letter is to inform your department that on June 8, 2000 our office verified by survey the existing monumentation of Lot # 7 on Boca Run in Portland, Maine for Craig Holman. Once the property corners were verified, the building setbacks were set for Lot # 7 so the house foundation area could be dug.

On June 23, 2000, our office returned to the site and set # 5 rebar at the four corners of the house location shown on the limited site plan and within the building envelope.

If you have any further questions, please feel free to contact me.

Sincerely yours,

  
Robert C. Libby, Jr.  
PLS # 2190

cc: Craig Holman

RCL/wjc  
JeanieBourke71100



CBL 336-H-57

# BH2M ENGINEERS

28 State Street  
Gorham, ME 04038  
Tel: (207) 839-2771  
Fax: (207) 839-8250

Lester S. Berry  
William A. Thompson  
Timothy O. Brown

To: JEANIE BOURKE

Fax # 874-8716

From: BOB LIBBY

Date: 7/11/00

Faxed pages: 2

Message: CRAIG HOLMAN REQUESTED I  
SEND YOU A LETTER DETAILING OUR SURVEY  
LAYOUT FOR LOT #7 BOCA RD PORTLAND

If there are any problems with this facsimile transmittal, please contact BH2M as soon as possible. Thank you!

CBL 336-H-57

**BH2M** BERRY • HUFF •  
McDONALD • MILLIGAN • INC.  
ENGINEERS + SURVEYORS + PLANNERS

LESTER S. BERRY  
WILLIAM A. THOMPSON  
TIMOTHY D. GROWN

July 11, 2000

Jeanie Bourke  
Code Enforcement Officer  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Setbacks/House Location -  
Boca Run Portland, ME

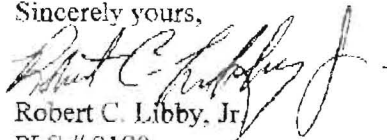
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If you have any further questions, please feel free to contact me.

Sincerely yours,

  
Robert C. Libby, Jr.  
PLS # 2190

cc: Craig Holman

RCL:wjw  
JeanieBourke@1100

# Cover Sheet

## A. Manufacturer Information:

MAILING ADDRESS: P.O. Box 9000  
Oxford, ME 04270

Manufacturing Plant Address: RTE 121 Oxford,  
ME 04270

Expiration Date Of Current Certification: April 30, 2001

Manufacturer State Certification Number: Maine: MF70000112  
New Hampshire: M9308D19  
Vermont: 50171  
Connecticut: N/A  
Rhode Island: Y9588  
Massachusetts: MC#137

## B. Third Party Inspection Agency Information:

3rd Party Inspection Agency: T.R. Arnold & Associates, INC.

3rd Party Inspection Agency Authorization: 1A, #03

Agency Authorization Expiration Date: April 30, 2001

Keiser Industries Certifies That This Document Conforms With The Systems Approvals And Specifications Approved By T.R.A. And Is In Compliance With The Following State Codes: ME, NH, VT, RI, MA, CT.

## C. Index Of Information:

Total Number Of Sheets In Each Set

DWG/PG#	DESCRIPTION	DWG. Date	REV. DATE
1	Cover Sheet	7/12/00	
2	1ST Floor Plan	7/12/00	
2A	2ND Floor Plan (If Required)	7/12/00	
3	Elevation Plan	7/12/00	
3A	Elevation Plan (If Required)	7/12/00	
4	Foundation Plan	7/12/00	
5	1ST FLR Electrical Plan	7/12/00	
5A	2ND FLR Elec Plan (If Required)		
6	1ST FLR Heat Plan	7/12/00	
6A	2ND FLR Heat Plan (If Required)		
7	Construction Data & Reference Sheet	7/12/00	
8	Cross Section (If Required)		
9-9A	Plumbing (If Required)		
DT	Firewall Detail		

## D. Building Information:

Builder: Keiser Industries

Builder's Address: P.O. Box 9000 58 Mechanic Falls Road

City, State, Zip: Oxford, ME 04270-9000

Rhode Island Builder's LIC #

Project Location: Maine

Model Designation: 25' x 32' Revised Winterport Cape

Use Group: R-4 Construction Classification: S-B

Area: 1st Floor: 800 2nd Floor: 602 3rd Floor: N/A

Volume Of Enclosed Space: 10,515 Cubic Feet

Height Above Sill: 1 1/2 Stories: 24'-4" Feet  
Unfinished 2nd Floor

Design Occupancy Load:  
1st Floor: N/A 2nd Floor: N/A 3rd Floor: N/A

Special Systems: Fire Alarm Type: Smoke Detectors U.L. 217-77

Fire Suppression System: N/A

(Other) When Floor Area Exceeds 1200 S.F.

(2) U.L. 217-77 Smoke Detectors Are Req'd (Rhode Island Only)

Design Live Loads: Walls: 21 PSF Roof: 40 PSF 1st Floor: 40 PSF  
2nd Floor: 30 PSF (Cape / Colonial) N/A (Ranch)  
3rd Floor: N/A Corridors: N/A  
Stairs: 100 PSF (Cape / Colonial) N/A (Ranch)  
Wind Horizontal: 90 MPH  
Interior Walls: 5 PSF  
Seismic Hazard Exposure Group: #1  
Special Use Provisions: Not To Be Built Within Fire Unit Limits  
Must Be Located 6' From 1st Line

## E. Heating System Information:

System Type: Hydronic Baseboard

Fuel: Electric, Natural, LPG, Oil

Chimney/Venting System Type: Other Than Electric Heat-Masonry  
Chimney By Builder Per State & Local Building Code Or An Approved Equal.

Basement

!! Hot Water Boiler And/Or Water Heater Are Installed, In Basement  
Then Either Basement Foundation Walls Must Be Installed Per  
State & Local Building Code, Or The Below The Floor Water Lines  
Must Be Insulated Per State & Local Building Code

## F. Exterior Envelope Thermal Performance Information

Element	Code Requirement	Actuals
Wall	.08	.05
Floor	.05	.05+
Roof/Ceiling	033	.028
Doors	.6	.40
Windows	.87	.33*
Foundations	10	N/A

## G. Locations Of Information Labels

Data Plate: One Per Dwelling (See Floor Plan)

State Label: One Per Module (See Floor Plan)  
(MA, NH, CN, RI)

TRA Label: One Per Module (See Floor Plan)  
(ME, VT)

## H. Attic Ventilation

Required:	(1) SQ. FT. Per (300) SQ. FT. Of Ceiling Area
Actual:	800 SQ. FT. Ceiling Area
	2.67 SQ. FT. Ventilation Required
	2.76 SQ. FT. Provided At Eaves. (6.2 SQ. IN. Per LIN. FT.)
	.75 SQ. FT. Provided At Gable Ends (54 SQ. IN. Per End)
	N/A SQ. FT. Provided At Ridge. (18 SQ. IN. Per LIN. FT.)
Total:	3.51 SQ. FT. Provided

# KEISER

Industries INC.  
P.O. BOX 9000 RTE. 121  
Oxford, ME 04270  
TELE. (207) 539 8883  
FAX. (207) 539-4446

DWG NO.  
00-266/KIM

File NO.  
Cover

Style:  
25' x 32'  
Revised Winterport  
Cape

Dealer:  
Keiser Industries

Customer:  
Craig Holeman

Date:  
7/12/00

Drawn By:  
MDM

Checked By:

Codes:  
1992 CABO 1&2 Family Dwelling

## Revisions

Date	Item

Scale:  
No Scale

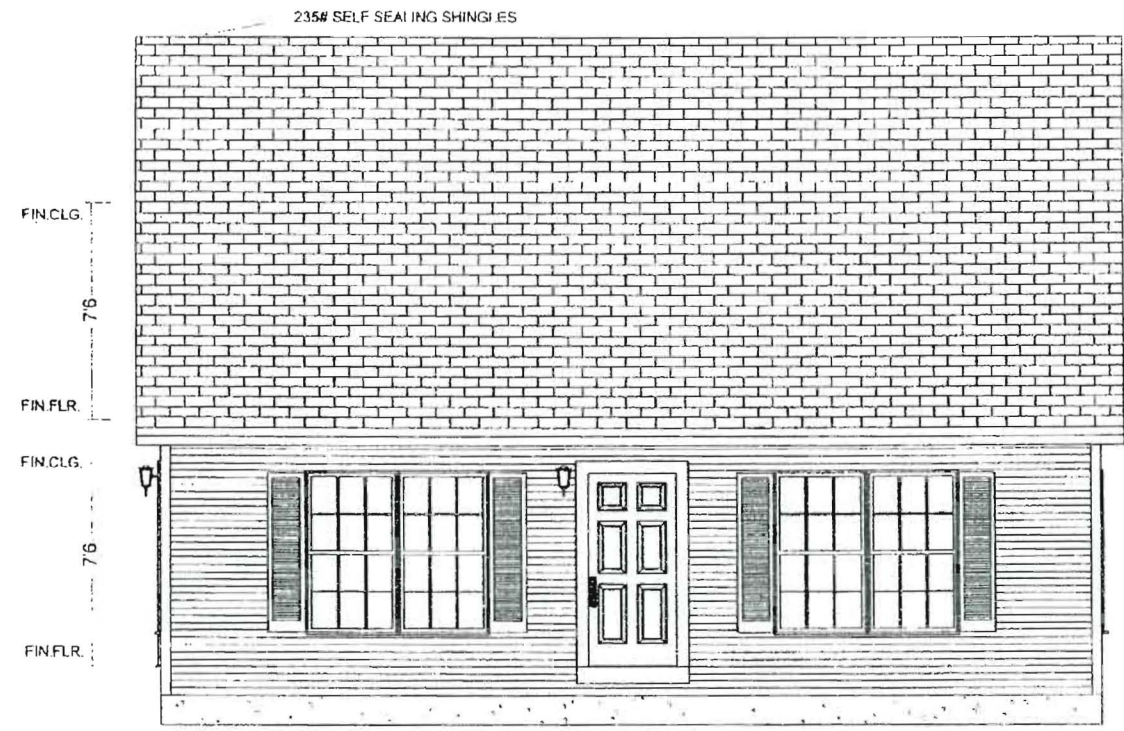
Sheet NO.

1





NOTE: REFER TO SHEET NO. 7 FOR THE WINDOW AND DOOR SCHEDULES.



FRONT ELEVATION

# KEISER

INDUSTRIES, INC.

P.O. BOX 9000 RTE. 121  
OXFORD, ME. 04270  
TELE: (207) 539-8883  
FAX: (207) 539-4446

DWG. NO.:  
00-266/KIM

FILE NO.:  
SHEET1ELEV

ELEVATION

DATE: 7/12/00

DRAWN BY: MDM

CHECKED BY:

REVISIONS:

DATE:	ITEM:

SCALE:  
1/4"=1'-0"

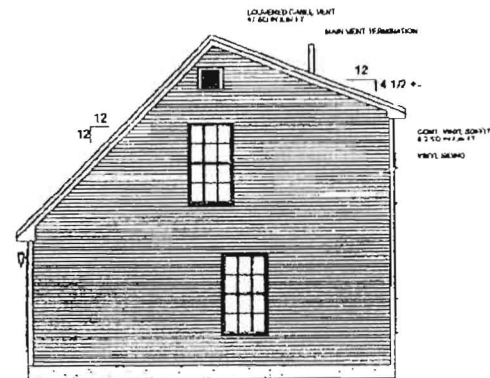
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3

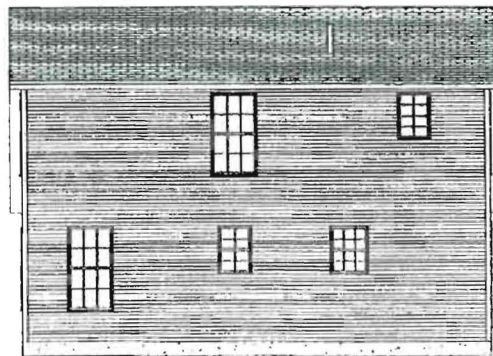
NOTE: REFER TO SHEET NO. 7 FOR THE WINDOW AND DOOR SCHEDULES.



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

**KEISER**

INDUSTRIES, INC.

P.O. BOX 9000 RTE. 121  
OXFORD, ME. 04270  
TELE: (207) 539-8883  
FAX: (207) 539-4446

DWG. NO.:  
00-266/KJM

FILE NO.:  
SHEET2/ELEV

**ELEVATIONS**

DATE:  
7/12/00

DRAWN BY:  
MDM

CHECKED BY:

REVISIONS:  
DATE: ITEM:

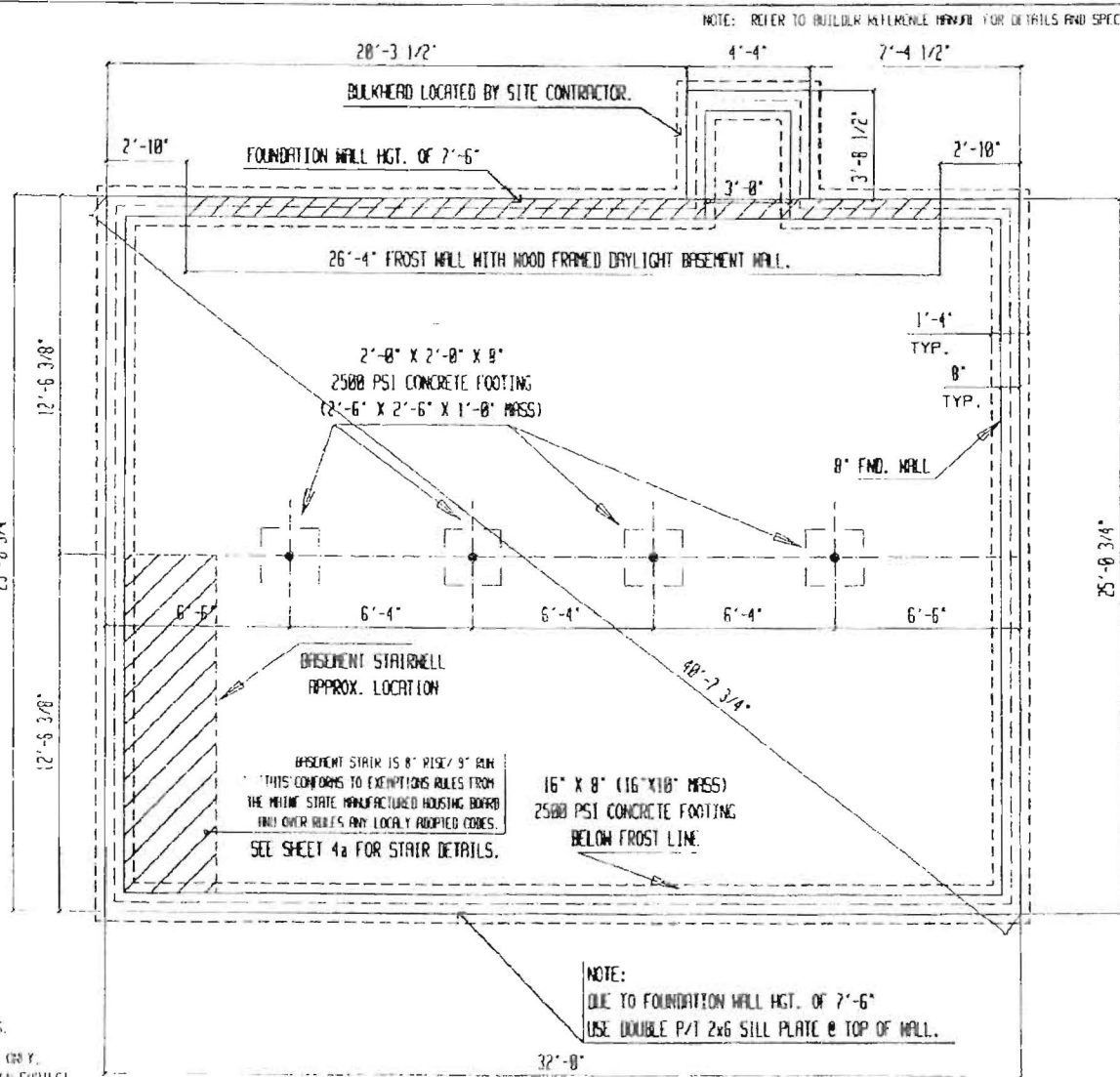
SCALE:  
1/8"=1'-0"

SHEET NO.:

**3A**



PLANS DRAWN FOR:  
CRAIG HOLEMAN  
WINTERPORT, ME



NOTE: REFER TO BUILDER REFERENCE MANUAL FOR DETAILS AND SPECIFICATIONS.

NOTE: 1) FOUNDATION DESIGN AS SHOWN ONLY SUGGESTIVE, ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS AND IN ACCORDANCE WITH LOCAL REQUIREMENTS.  
2) FOUNDATION HAS BEEN APPROVED FOR SUPPORT PLACEMENT ON Y. TIE DOWN, VENTILATION, ACCESS, AND FOUNDATION DESIGN SUBJECT TO LOCAL CODE OFFICIAL INSPECTION.

**KEISER INDUSTRIES INC.**  
P.O. BOX 2600 WIC. 01721  
00700, ME 04278  
TEL: (207) 539-0600  
FAX: (207) 539-4446

DWG NO. sp00-256  
FILE NO. sheetfnd  
DATE: 2000-06-27

25'-0 3/4" x 32'-0"  
REVERSED WINTERPORT CAPE  
**FOUNDATION PLAN**

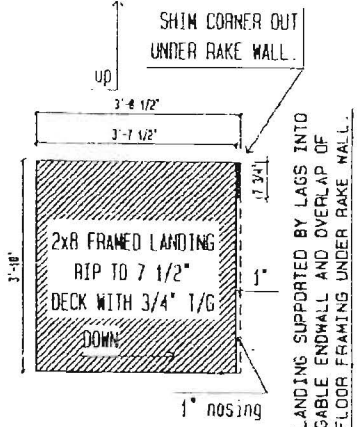
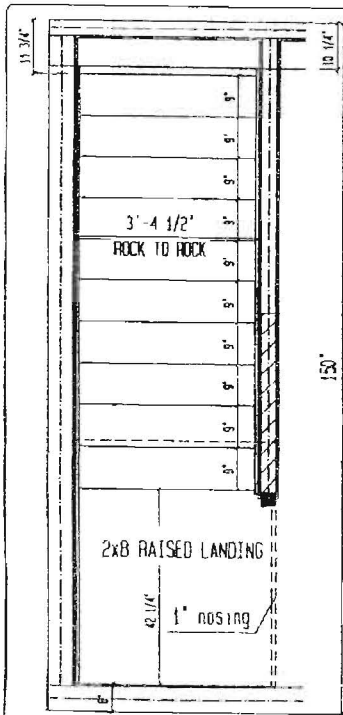
DRAWN BY: RPG  
CHECKED BY:

REVISIONS	
DATE	ITEMS
7/6/00	ISSUE SOME FINAL
7/11/00	ISSUE SOME 1 REVISION

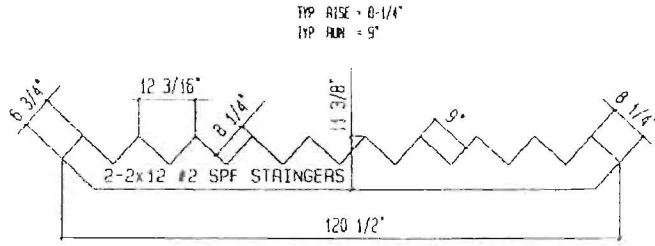
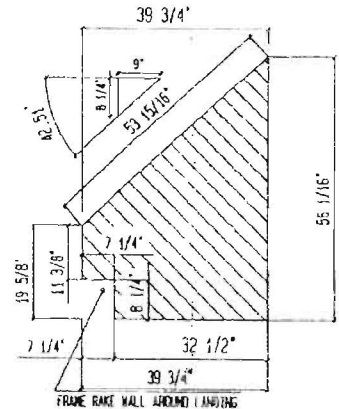
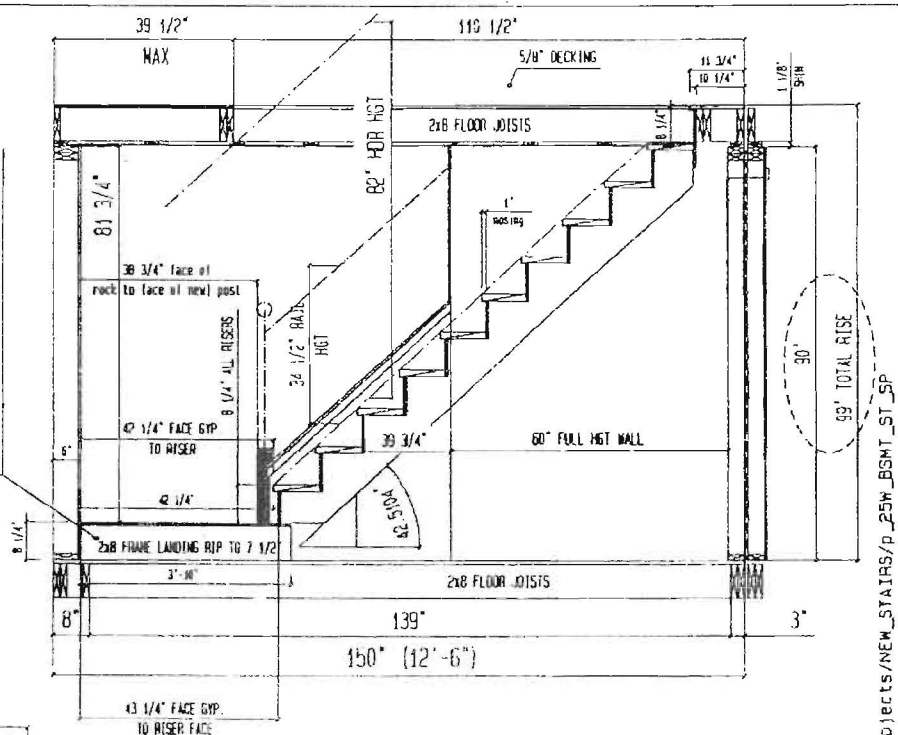
SCALE: 1/4" = 1'-0"  
SHEET NO. 4

z:\usr\apl\argus\PROJECTS\pro\_ects\KIM1745/p\_sheetfnd00256

JUL-12-2000 08:51 KEISER INDUSTRIES INC. 207-539-4446 P. 07/09



LANDING SUPPORTED BY LAGS INTO GABLE ENDWALL AND OVERLAP OF FLOOR FRAMING UNDER RAKE WALL.



**ALL RISERS = 8 1/4"**

**NOTES**

**STRINGERS**  
2x12 #2 SPF TO BE USED FOR STRINGERS  
SEE DETAIL BELOW FOR LENGTH

**TREADS**  
2x12 1/2 SPF TO BE USED FOR TREADS  
TREAD WIDTH = 2'-10 1/2"  
TREAD DEPTH = 1"

**RISERS**  
RISER MIL = 1/2" PLYWOOD  
ALL RISERS = 8 1/4" x 2'-10 1/2"

**BOTTOM RISER**  
RISER MIL = 1/2" PLYWOOD  
1ST RISER = 8 1/4" x 2'-10 1/2"  
LAST RISER = 8 1/4" x 2'-10 1/2"

TOTAL P. 09

**KEISER INDUSTRIES INC**  
P. O. BOX 9008 RTE. 121  
GREENSBORO, NC 27409  
TEL: (252) 520-6800  
FAX: (252) 520-4446

DRG NO.  
NEW\_STAIRS

FILE NO.  
p\_25W\_BSMT\_ST\_SP

DATE:  
1998-03-10

25' WIDE / 36" STR  
90" WALLS  
12' 6" BOXES

z: /usr/ed01/argos/projects/NEW\_STAIRS/p\_25W\_BSMT\_ST\_SP

DRAWN BY:  
APG

CHECKED BY:

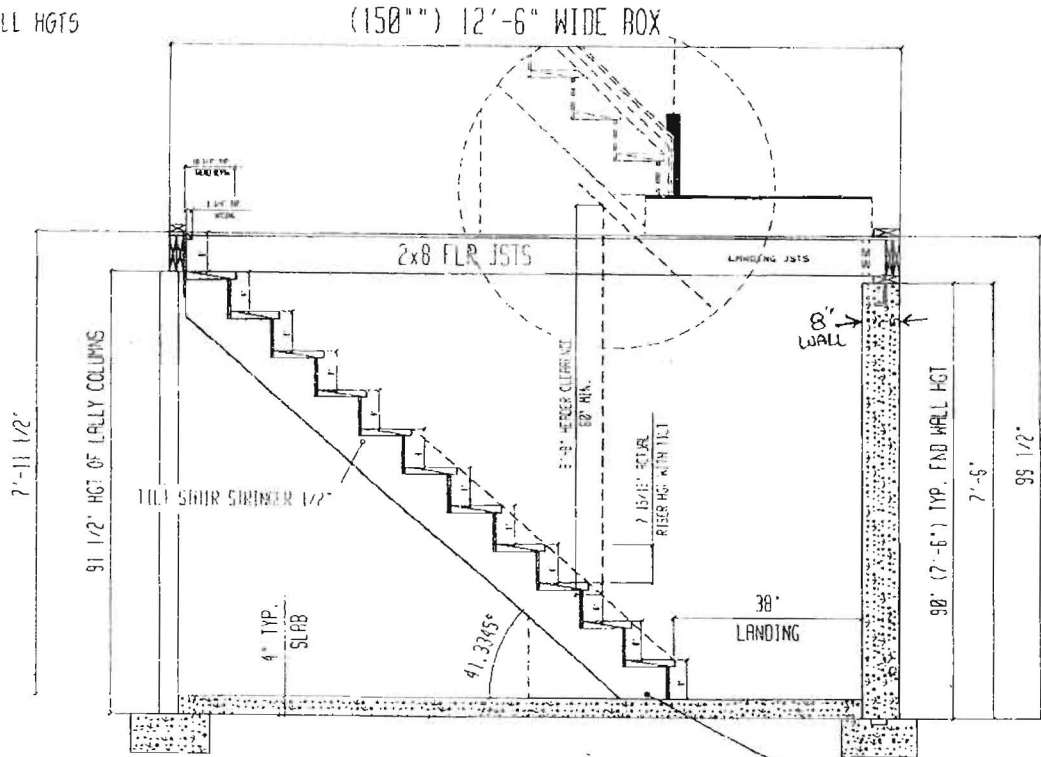
REVISIONS	
DATE	ITEM

SCALE:  
1/2" = 1'-0"

SHEET NO.  
8-STR

THIS DESIGN IS BASED ACTUAL FND WALL HGTS  
 TOTAL RISE = 95 1/2"  
 MATR'LS FIGURED FOR STRINGERS  
 STRINGERS 2x12 SPF #1/2  
 TREADS 2x12 SPF #1/2  
 RISERS 1/2 PLY

12 RISERS @ 8"  
 TILT BOTTOM OF STAIR  
 STRINGER 1/2"



FOUNDATION STAIR DESIGN PRINT  
 FOR SPECIFIC BASEMENT WALL HEIGHT  
 OF 7'-6". THIS STAIR CONFORMS TO  
 THE MAINE STATE MANUFACTURED HOUSING BOARD.

TILT STAIR STRINGER 1/2"  
 THIS CONFORMS TO 1997 NFPA 101  
 LIFE SAFETY CODE. THE UNIT OF  
 TILT IS NOT TO EXCEED 1 UNIT  
 IN 48 UNITS OR APPROX. 2%.

NOTE: ALL DIMENSIONS ARE CRITICAL TO HGT OF FND FLOOR

z:\user\apl\ar60s\PROJECTS4\projects\NEW\_STAIRS\p\_25W\_BSMT\_ST\_5P

**KEISER INDUSTRIES INC.**  
 P.O. BOX 8808 RTE. 121  
 OXFORD, ME. 04270  
 TEL: (207)539-0003  
 FAX: (207)539-4446

DWG NO. NEW STAIRS  
 FILE NO. 25W BSMT ST 5P  
 DATE: 6/3/00

25 WIDE  
 BSMT STAIRS  
 (CUSTOM FND HGT)

DRAWN BY: APG  
 CHECKED BY:

REVISIONS	
DATE	ITEM
6/18/00	HEADER DETAIL

SCALE: 1/2" = 1'-0"

SHEET NO. 4a



# Cover Sheet

## A. Manufacturer Information:

MAILING ADDRESS: P.O. Box 9000  
Oxford, ME 04270

Manufacturing Plant Address: RTE 121 Oxford,  
ME 04270

Expiration Date Of Current Certification: April 30, 2001

Manufacturer State Certification Number. Maine: MF70000112  
New Hampshire: M9308019  
Vermont: 50171  
Connecticut: N/A  
Rhode Island: Y9588  
Massachusetts: MC#137

## B. Third Party Inspection Agency Information:

3rd Party Inspection Agency: T.R. Arnold & Associates, INC.

3rd Party Inspection Agency Authorization: I.A. #03

Agency Authorization Expiration Date: April 30, 2001

Keiser Industries Certifies That This Document Conforms With The  
Systems Approvals And Specifications Approved By T.R.A. And Is In  
Compliance With The Following State Codes: ME, NH, VT, RI, MA, CT.

## C. Index Of Information:

Total Number Of Sheets In Each Set

DWG/PG#	DESCRIPTION	DWG. Date	REV. Date
1	Cover Sheet	7/12/00	
2	1ST Floor Plan	7/12/00	
2A	2ND Floor Plan (If Required)	7/12/00	
3	Elevation Plan	7/12/00	
3A	Elevation Plan (If Required)	7/12/00	
4	Foundation Plan	7/12/00	
5	1ST FLR Electrical Plan	7/12/00	
5A	2ND FLR Elec Plan (If Required)		
6	1ST FLR Heat Plan	7/12/00	
6A	2ND FLR Heat Plan (If Required)		
7	Construction Data & Reference Sheet	7/12/00	
8	Cross Section (If Required)		
9-9A	Plumbing (If Required)		
DT	Firewall Detail		

## D. Building Information:

Builder: Keiser Industries

Builder's Address: P.O. Box 9000 58 Mechanic Falls Road

City, State, Zip: Oxford, ME 04270-9000

Rhode Island Builder's LIC. #

Project Location: Maine

Model Designation: 25' x 32' Revised Winterport Cape

Use Group: R-4 Construction Classification: 5-B

Area: 1st Floor: 800 2nd Floor: 602 3rd Floor: N/A

Volume Of Enclosed Space: 10,515 Cubic Feet

Height Above Sill: 1 1/2 Stories: 24'-4" Feet  
Unfinished 2nd Floor

Design Occupancy Load:  
1st Floor: N/A 2nd Floor: N/A 3rd Floor: N/A

Special Systems: Fire Alarm Type: Smoke Detectors U.L. 217-77  
Fire Suppression System: N/A

(Other): When Floor Area Exceeds 1200 S.F.  
(2) U.L. 217-77 Smoke Detectors Are Req'd. (Rhode Island Only)

Design Live Loads: Walls: 21 PSF Roof: 40 PSF 1st Floor: 40 PSF  
2nd Floor: 30 PSF (Cape / Colonial) N/A (Ranch)  
3rd Floor: N/A Corridors: N/A  
Stairs: 100 PSF (Cape / Colonial) N/A (Ranch)  
Wind Horizontal: 90 MPH  
Interior Walls: 5 PSF  
Seismic Hazard Exposure Group #1  
Special Use Provisions: Not To Be Built Within Fire Unit Limits  
Must Be Located 6' From 1st Line

## E. Heating System Information:

System Type: Hydronic Baseboard

Fuel: Electric, Natural, LPG, Oil

Chimney/Venting System Type: Other Than Electric Heat Masonry  
Chimney By Builder Per State & Local  
Building Code Or An Approved Equal.

## Basement:

If Hot Water Boiler And/Or Water Heater Are Installed, In Basement  
Then Either Basement Foundation Walls Must Be Installed Per  
State & Local Building Code, Or The Below The Floor Water Lines  
Must Be Insulated Per State & Local Building Code.

## F. Exterior Envelope Thermal Performance Information

Element	Code Requirement	Actuals
Wall	.08	.05
Floor	.05	.05+
Roof/Ceiling	.033	.026
Doors	.6	.40
Windows	.87	.33+
Foundations	10	N/A

## G. Locations Of Information Labels

Data Plate: One Per Dwelling (See Floor Plan)

State Label: One Per Module (See Floor Plan)  
(MA, NH, CN, RI)

TRA Label: One Per Module (See Floor Plan)  
(ME, VT)

## H. Attic Ventilation

Required:	(1) SQ. FT. Per (300) SQ. FT. Of Ceiling Area.
Actual:	800 SQ. FT. Ceiling Area
	2.67 SQ. FT. Ventilation Required
	2.76 SQ. FT. Provided At Eaves (6.2 SQ. IN. Per LIN. FT.)
	.75 SQ. FT. Provided At Gable Ends (54 SQ. IN. Per End)
	N/A SQ. FT. Provided At Ridge. (18 SQ. IN. Per LIN. FT.)
Total:	3.51 SQ. FT. Provided

*see original  
part.*

# KEISER

Industries INC.

P.O. BOX 9000 RTE. 121  
Oxford, ME 04270  
TELE: (207) 539 8883  
FAX: (207) 539-4446

DWG NO.

00-266/KIM

File NO.

Cover

Style:

25' x 32'  
Revised Winterport  
Cape

Dealer:

Keiser Industries

Customer:

Craig Holeman

Date:

7/12/00

Drawn By:

MDM

Checked By:

Codes:

1992 CABO 1&2 Family Dwelling

## Revisions

Date	Item

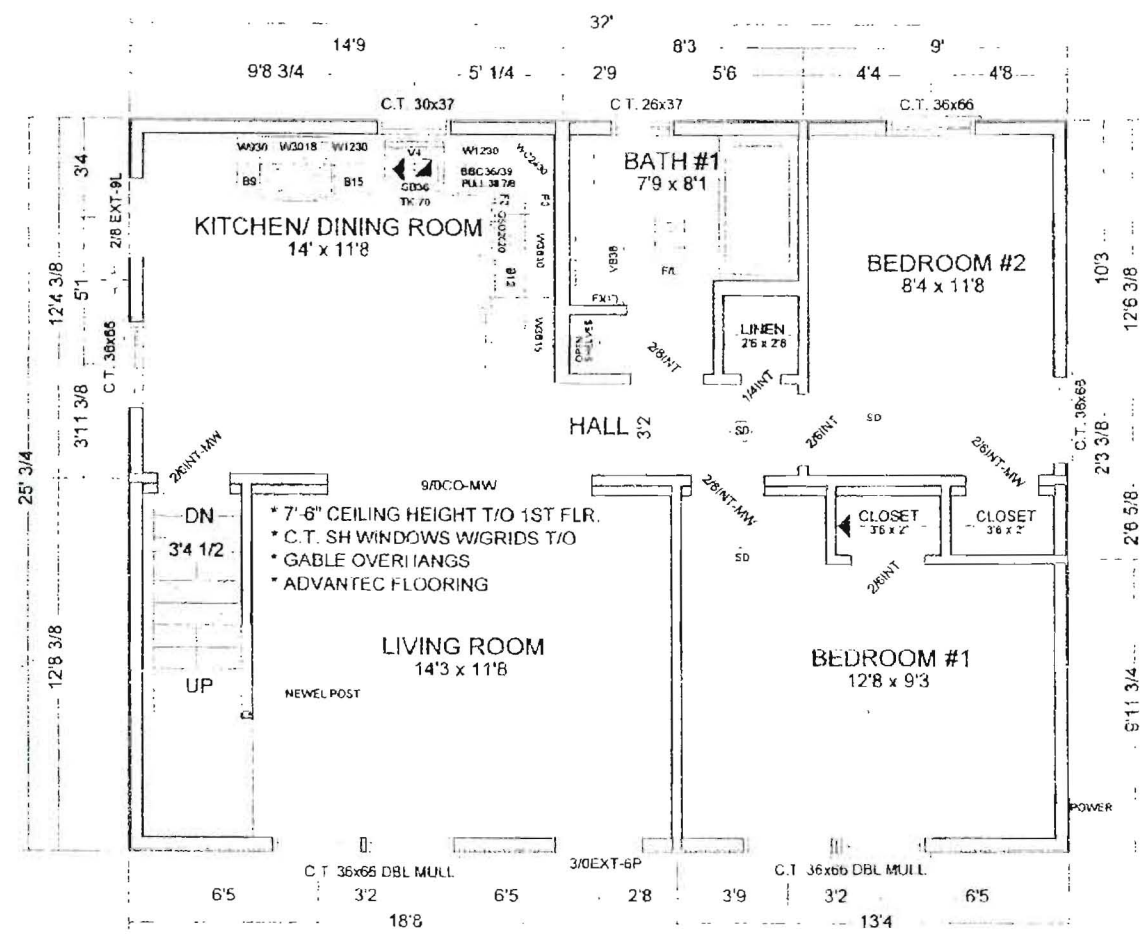
Scale:

No Scale

Sheet NO.

1

NOTE: REFER TO SHEET NO. 7 FOR THE WINDOW AND DOOR SCHEDULES



# KEISER

INDUSTRIES, INC.

P.O. BOX 9000 RTE. 121  
OXFORD, ME. 04270  
TELE: (207) 539-8883  
FAX: (207) 539-4446

DWG. NO.:  
00-266/KIM

FILE NO.:  
SHEET1PLAN

## 1ST FLOOR PLAN

DATE:  
7/12/00

DRAWN BY:  
MDM

CHECKED BY:

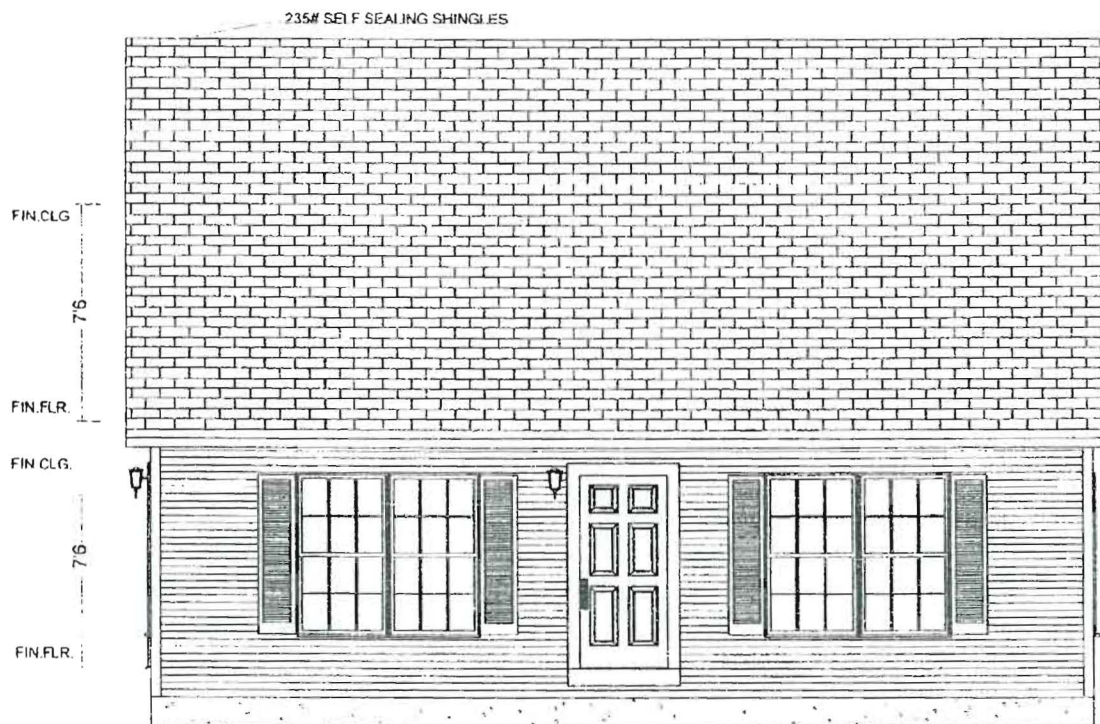
REVISIONS:	
DATE:	ITEM:

SCALE:  
1/4"=1'-0"

SHEET NO.:

2

NOTE: REFER TO SHEET NO. 7 FOR THE WINDOW AND DOOR SCHEDULES.



FRONT ELEVATION

**KEISER**

INDUSTRIES, INC.

P.O. BOX 9000 RTE. 121  
OXFORD, ME. 04270  
TELE: (207) 539-8883  
FAX: (207) 539-4446

DWG. NO.:  
00-266/KJM

FILE NO.:  
SHEET 1ELEV

ELEVATION

DATE: 7/12/00

DRAWN BY: MDM

CHECKED BY:

REVISIONS:

DATE: ITEM:

SCALE: 1/4"=1'-0"

SHEET NO.:

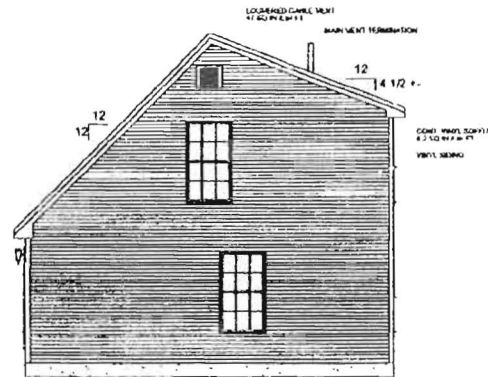
3



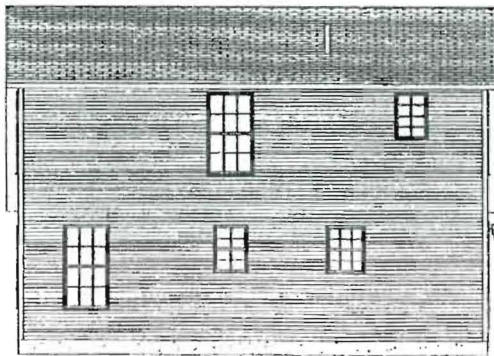
NOTE: REFER TO SHEET NO. 7 FOR THE WINDOW AND DOOR SCHEDULES.



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

**KEISER**

INDUSTRIES, INC.

P.O. BOX 9000 RTE. 121  
OXFORD, ME. 04270  
TELE: (207) 539-8883  
FAX: (207) 539-4446

DWG. NO.:  
00-266/KJM

FILE NO.:  
SHEET2ELEV

**ELEVATIONS**

DATE:  
7/12/00

DRAWN BY:  
MDM

CHECKED BY:

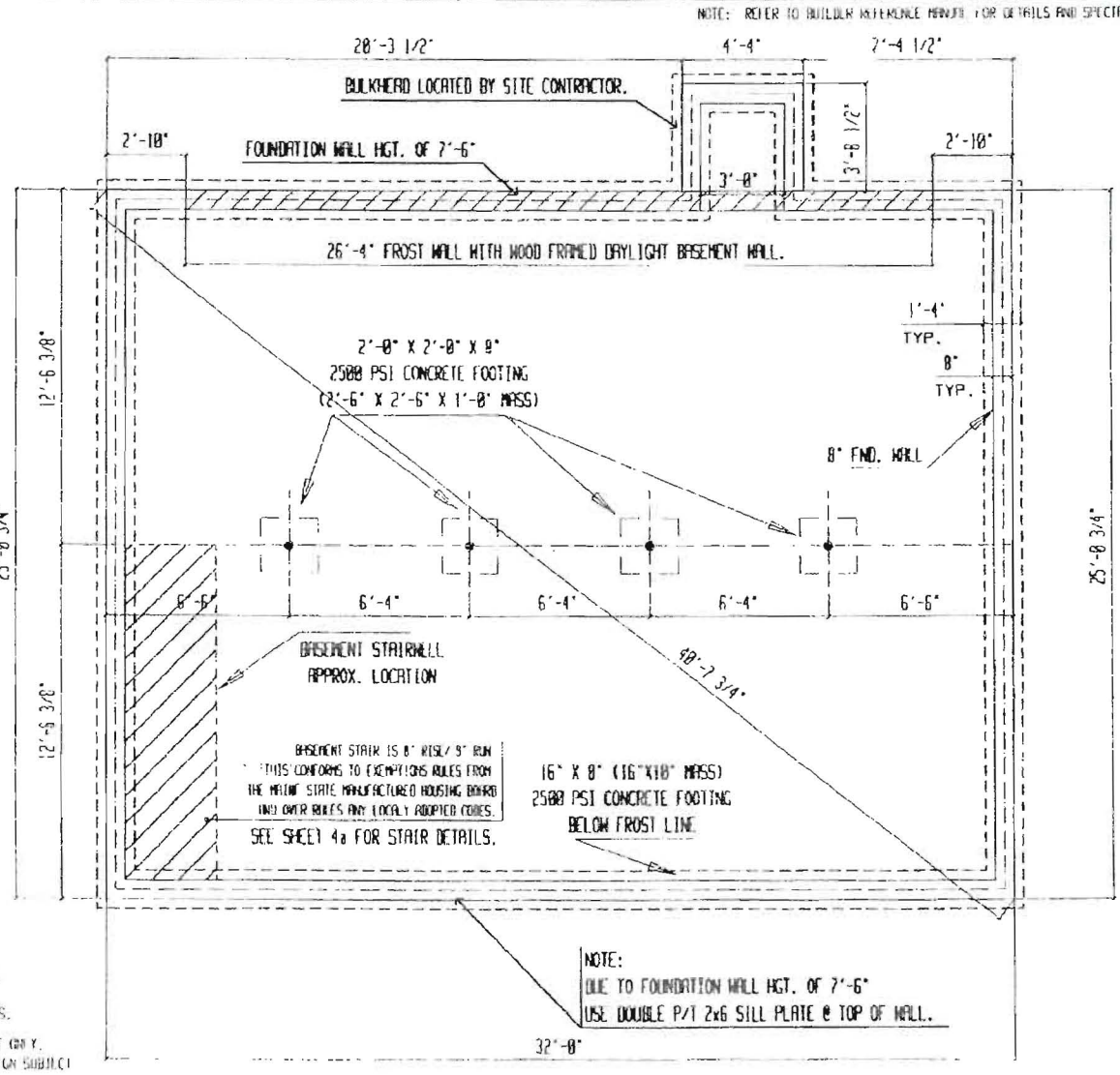
REVISIONS:  
DATE: ITEM:

SCALE:  
1/8"=1'-0"

SHEET NO.:

**3A**

PLANS DRAWN FOR:  
 CRAIG HOLEMAN  
 WINTERPORT, ME



NOTE: REFER TO BUILDER REFERENCE MANUAL FOR DETAILS AND SPECIFICATIONS.

NOTE: 1) FOUNDATION DESIGN AS SHOWN ONLY SUGGESTIVE, ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS AND IN ACCORDANCE WITH LOCAL REQUIREMENTS.  
 2) FOUNDATION HAS BEEN APPROVED FOR SUPPORT PLACEMENT ON Y. THE DRAIN, VENTILATION, ACCESS, AND FOUNDATION DESIGN SUBJECT TO LOCAL CODE OFFICIAL INSPECTION.

NOTE: DUE TO FOUNDATION WALL HGT. OF 7'-6" USE DOUBLE P/1 2x6 SILL PLATE @ TOP OF WALL.

z:\usr\ap\argos\PROJECTS\proj\_ects\KIM1745/p\_sheets\fd02266

**KEISER INDUSTRIES INC.**  
 P.O. BOX 3688 WIC. (171)  
 06760, ME. 04276  
 TEL: (207) 529-8888  
 FNO: (207) 529-4446

DWG NO. sp00-265  
 FILE NO. sheetfd  
 DATE: 2000-06-27

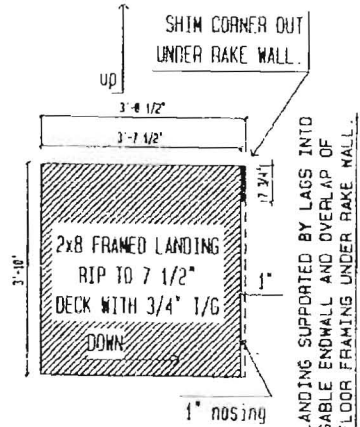
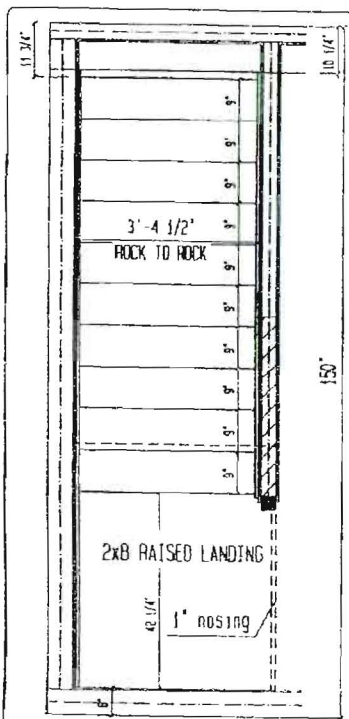
25'-0 3/4" x 32'-0"  
 REVERSED WINTERPORT CAPE  
**FOUNDATION PLAN**

DRAWN BY: APC  
 CHECKED BY:

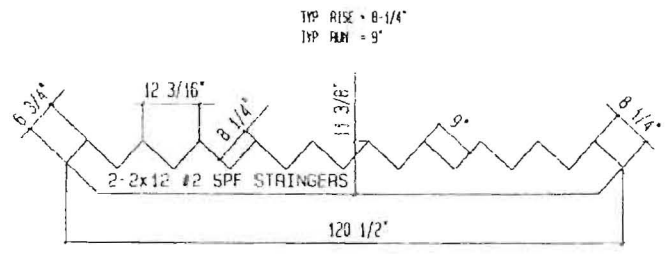
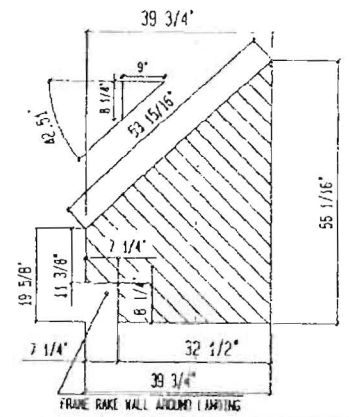
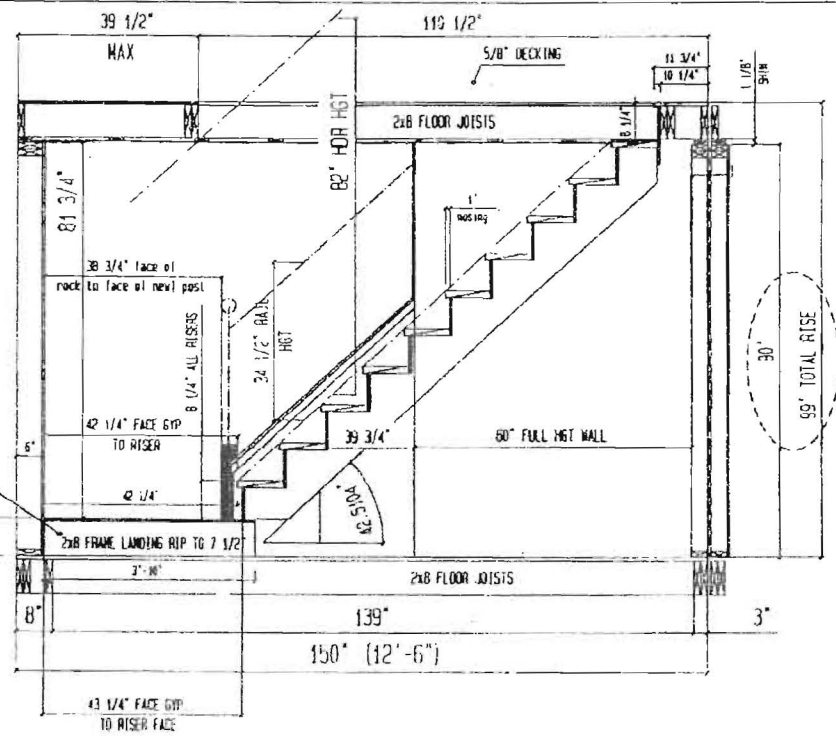
REVISIONS	
DATE	ITEMS
7/6/00	FIXED STAIR FRAME
7/11/00	REIN STAIRS & BENCH

SCALE: 1/4" = 1'-0"  
 SHEET NO. 4

JUL-17-2000 08:51 KEISER INDUSTRIES INC. 207-529-4446 P.01703



LANDING SUPPORTED BY LAGS INTO GABLE ENDWALL AND OVERLAP OF FLOOR FRAMING UNDER RAKE WALL.



TYP RISE = 8-1/4"  
TYP RUN = 9"

ALL RISERS = 8 1/4"

NOTES

- STRINGERS**  
2x12 #1/2 SPF TO BE USED FOR STRINGERS  
SEE DETAIL BELOW FOR LENGTH
- TREADS**  
2x12 #1/2 SPF TO BE USED FOR TREADS  
TREAD WIDTH = 2'-10 1/2"  
TREAD DEPTH = 18"
- RISERS**  
RISER MIL = 1/2" PLYWOOD  
ALL RISERS = 8 1/4" x 2'-10 1/2"
- BOTTOM RISER**  
RISER MIL = 1/2" PLYWOOD  
1ST RISER = 8 1/4" x 2'-10 1/2"  
LAST RISER = 8 1/4" x 2'-10 1/2"

TOTAL P.09



DRG NO. NEW\_STAIRS  
FILE NO. p\_25W\_BSMT\_ST\_SP  
DATE: 1998-03-10

25" WIDE/36" STR  
90" WALLS  
12'6" BOXES

DRAWN BY: APG  
CHECKED BY:

REVISIONS	
DATE	ITEM

SCALE: 1/2" = 1'-0"

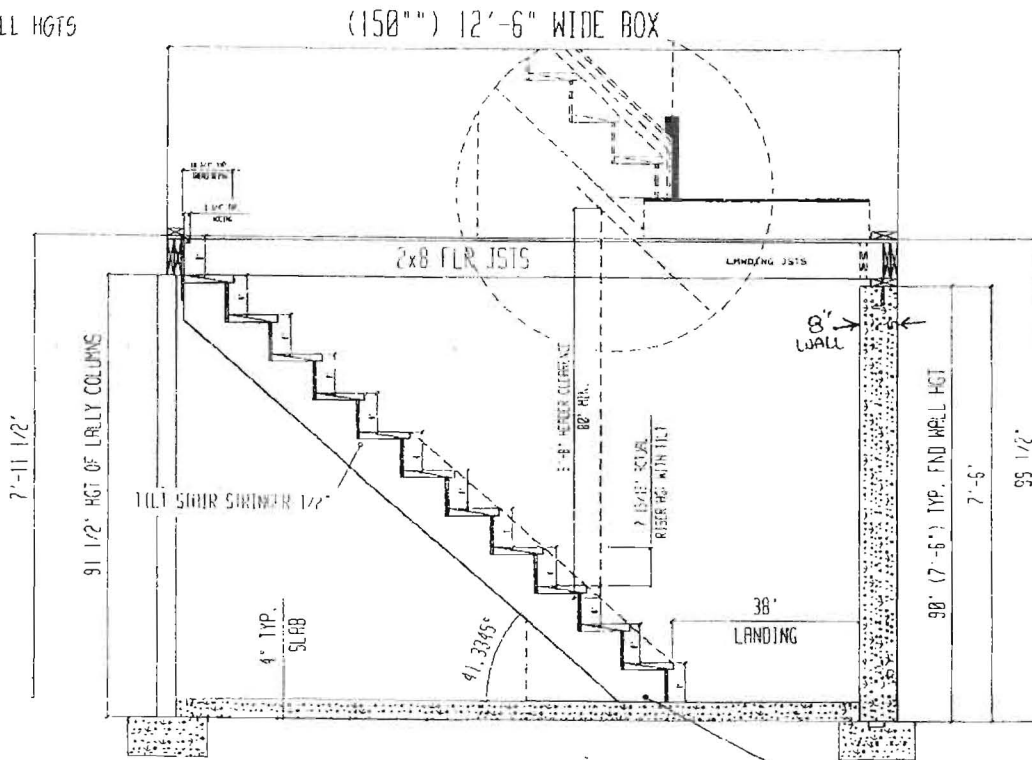
SHEET NO. 8-STR

z: /usr/rdj/argos/projects/NEW\_STAIRS/p\_25W\_BSMT\_ST\_SP



THIS DESIGN IS BASED ACTUAL FND WALL HGTS  
 TOTAL RISE = 95 1/2"  
 MATR'LS FIGURED FOR STRINGERS  
 STRINGERS 2x12 SPF #1/2  
 TREADS 2x12 SPF #1/2  
 RISERS 1/2 PLY

12 RISERS @ 8"  
 TILT BOTTOM OF STAIR  
 STRINGER 1/2"



NOTE: ALL DIMENSIONS ARE CRITICAL TO HGT OF FND FLOOR

FOUNDATION STAIR DESIGN PRINT  
 FOR SPECIFIC BASEMENT WALL HEIGHT  
 OF 7'-6". THIS STAIR CONFORMS TO  
 THE MAINE STATE MANUFACTURED HOUSING BOARD.

TILT STAIR STRINGER 1/2"  
 THIS CONFORMS TO 1997 NFPA 101  
 LIFE SAFETY CODE. THE UNIT OF  
 TILT IS NOT TO EXCEED 1 UNIT  
 IN 48 UNITS OR APPROX. 2%.

z:\usr\ap\largo\PROJECTS4\projects\NEW\_STAIRS\p\_25W\_BSMT\_ST\_5P

**KEISER INDUSTRIES INC.**  
 P.O. BOX 9800 RTE. 121  
 OXFORD, ME. 04270  
 TELE: (207)539-4003  
 FAX: (207)539-4446

DWG NO. NEW STAIRS  
 FILE NO. 25W BSMT ST 5P  
 DATE: 6/3/00

25 WIDE  
 BSMT STAIRS  
 (CUSTOM FND HGT)

DRAWN BY: APG  
 CHECKED BY:

REVISIONS	
NO.	DESC.
1	HEADER DETAIL

SCALE: 1/2" = 1'-0"  
 SHEET NO. 4a