

931089

Permit # City of Portland BUILDING PERMIT APPLICATION Fee

50.00 Sitee Plan + 320.00 = 370.00 Lot# 336-H-040

Owner: R.J. Grondin Phone #
Address: LOCATION OF CONSTRUCTION 107 Milton St
Contractor: Custom Built Homes of ME
27 Main St Windham, ME 04062 Phone # 892-3149
Est. Construction Cost: 60,000 Proposed Use: 1-family dwelling
Past Use: vacant lot
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories: # Bedrooms Lot Size:
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion Minor-Minor Site Plan - Construct 1-fam Dwelling

CBJ: 336-H-040

Foundation:

- 1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

- 1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size: Spacing 16" O.C.
4. Joists Size: Size:
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

- 1. Studding Size Spacing
2. No. windows
3. No. Doors Span(s)
4. Header Sizes Yes No.
5. Bracing: Yes No.
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

- 1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

For Official Use Only
Subdivision:
Date November 15, 1993
Name NOV 19 1993
Inside Fire Limits
Lot
Bldg Code
Ownership: Public Private
Time Limit
Estimated Cost

Zoning:
Street Frontage Provided: Front Back Side
Provided Setbacks: Front Back Side
Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shoreland Zoning Yes No Floodplain Yes No
Special Exception
Other (Explain)

Ceiling:
1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings: Size
4. Insulation Type
5. Ceiling Height: ***** Requires Review.

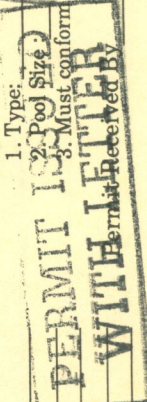
Roof:
1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type

Chimneys:
Type: Number of Fire Places Yes No
Type of Heat: Yes No

Electrical:
Service Entrance Size: Smoke Detector Required Yes No

Plumbing:
1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:
1. Type:
2. Pool Size Square Footage
3. Must conform to National Electrical Code and State Law.



Signature of Applicant Daniel J. McCarthy Date Nov 15, 1993
Signature of CEO Daniel McCarthy

Inspection Dates White Tag - CEO White Tag - Yellow-GPCOG

White-Tax Assessor White Tag - CEO Copyright GPCOG 1988

HISTORIC PRESERVATION
Not in District nor Landmark.
Does not require review.
Requires Review.

WITH I-111111 Square Footage

Mary Gresik

28/2/11

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
Set backs OK No Notification of Foundation back fill	12 18 1993
Drumming RT OK TO pour floor	12 20 1993
Framing OK	1 10 1994
Final OK (CFO OK)	1 26 1994

COMMENTS

12-8-93
 spoke to Contractors of Notificat. son's (foundations) (open Fiberglass Ins. in basement)
 ozilney OK DD (Micro-Lam. Curving beam in basement OK) (CFI - Kit wall offset cover off)
 (Site work looks OK 7-1-94) (1-26-94)

Signature of Applicant

David J. McCarty

Date

11/15/93

BUILDING PERMIT REPORT

Address 107 MILTON ST. Date 18/NOV/93
 Reason for Permit TO CONSTRUCT A SINGLE FAMILY DWELLING
 Bldg. Owner: R. J. Grandley
 Contractor: CUSTOM BUILT HOMES OF ME.
 Permit Applicant: " " " "
 Approval: *1 *2 *6 *7 *9 *10 *12 *13 *14 *15 *16

CONDITION OF APPROVAL:

- * 1. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection).
- * 2. Precaution must be taken to protect concrete from freezing.
- 3. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
- 4. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible locations between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- * 6. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- * 7. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code (BOCA National Building Code 1990), and NFPA 101 Chapter 18 & 19.
- * 8. Private garages located beneath rooms in buildings of Use Group R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2 inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102mm) above the garage floor. The door opening protectives shall be 1 3/4 inch solid core wood doors or approved equivalent.

9. A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 35 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 4 inches cannot pass through any opening. Handrails on stairs shall be no less than 34 inches nor more than 38 inches. Handrails within individual dwelling units shall not be less than 30 inches nor more than 38 inches. For more detail on guards & handrails see Article 8 section 824.0 and 825.0 of the BOCA National Building Code. All other Use Group shall have guards at least 42" in height.

10. Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

11. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

12. Stair construction in Use Group R-3, R-4 is a minimum of 9" tread and 8-1/4" maximum rise.

13. Headroom in habitable space is a minimum of 7'6".

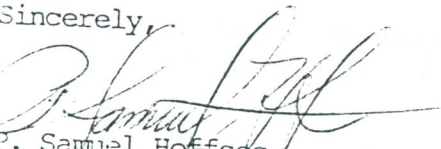
14. The minimum headroom in all parts of a stairway shall not be less than 6 feet 8 inches.

15. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate of occupancy is issued or demolition permit is granted.

16. It is strongly recommended that a register land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.

17. All exit signs, lights and means of egress lighting shall be done in accordance with Article 8 section & subsections 822.0 & 823.0 of the City's building code (The BOCA National Building Code/1990).

Sincerely,


P. Samuel Hoffses
Chief of Inspections

dmm 10/28/93
redo w/additions)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 107 Milton St.

Issued to R. J. Grondin

Date of Issue 1/27/94

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No 93/1089, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

entire

one-family dwelling

Limiting Conditions:

All landscaping issues and final grading be completed by 6/10/94.

This certificate supersedes
certificate issued

Approved:

1-28-94 *[Signature]*

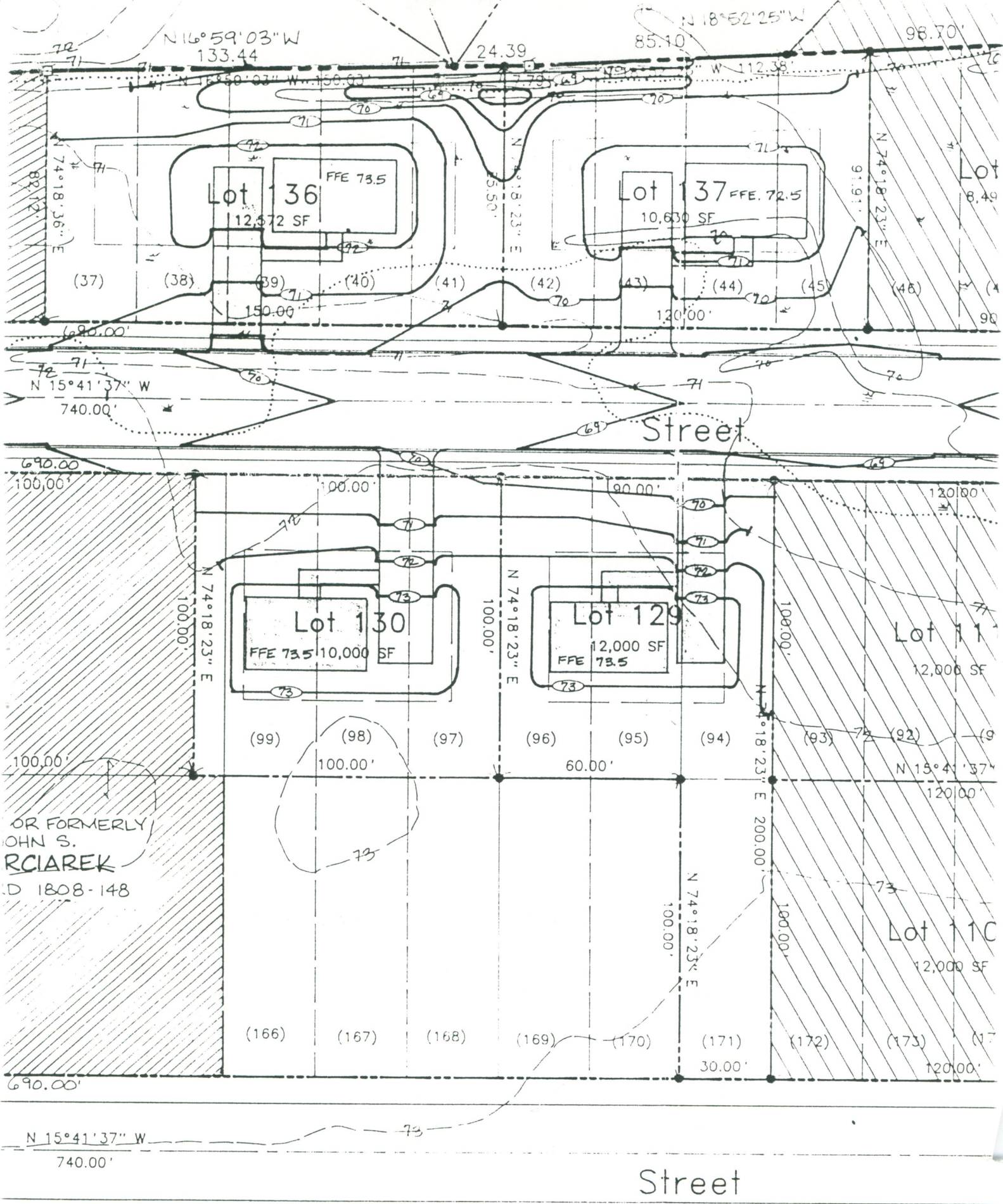
(Date)

Inspector

[Signature]

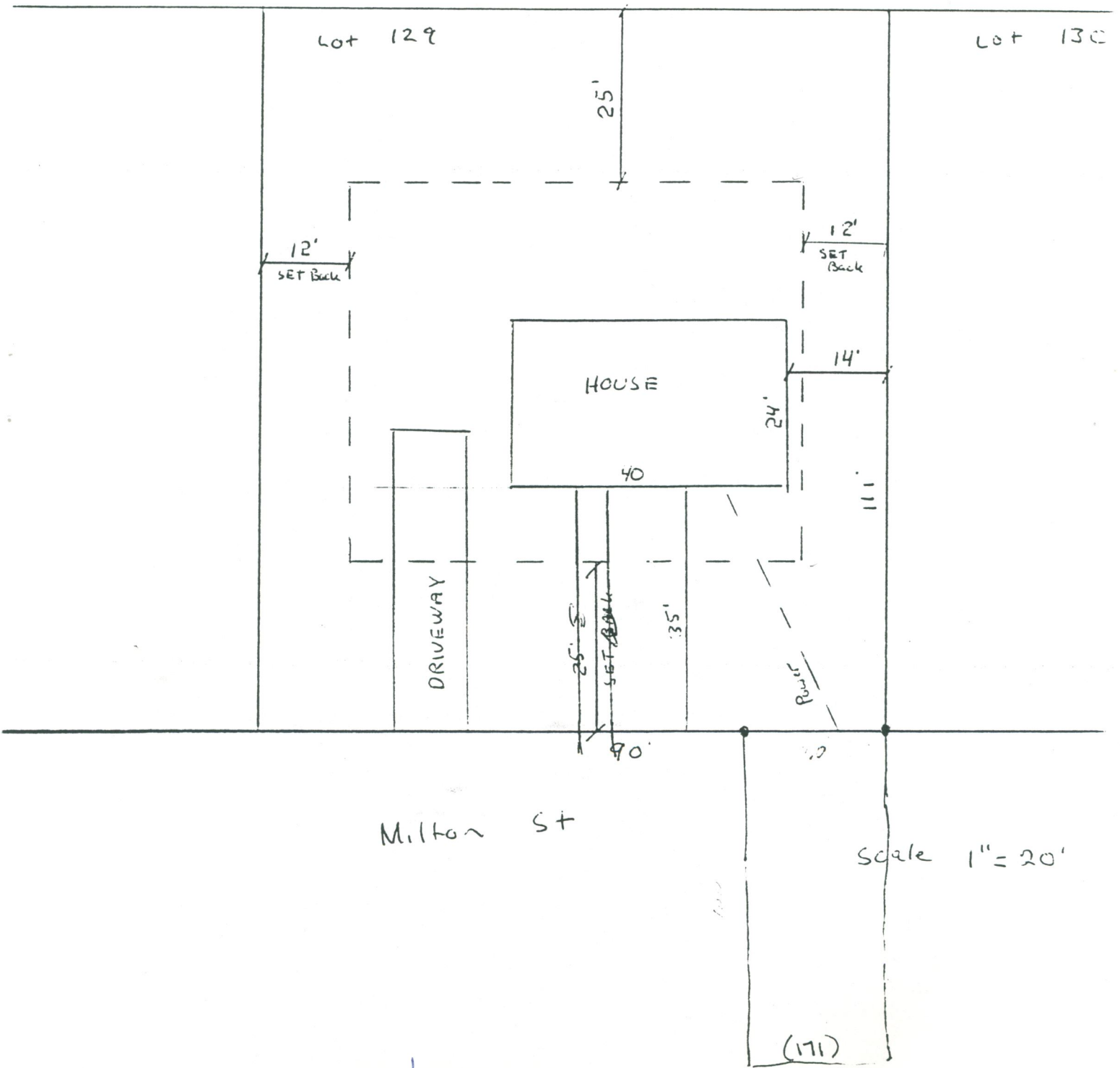
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



NOTES

30
011



Lot 129

Lot 130

25'

12'
SET Back

12'
SET Back

HOUSE

14'

24'

40

DRIVEWAY

25'
SET Back

35'

Power

90'

90'

Milton St

Scale 1" = 20'

(171)

Applicant: Custom Built Homes of Maine Date: 11-18-93
Address: 107 Milton street

Assessors No.:

CHECK LIST AGAINST ZONING ORDINANCE

Date - R2

Zone Location -

Interior or corner lot -

Use - single

Sewage Disposal - city

Rear Yards - 25' + 25' req

Side Yards - 12' 12' req

Front Yards - 25' + 25' req

Projections - front steps 5'

Height - 1 1/2 stories

Lot Area - 9990 sq ft

Building Area - 24x40

Area per Family - entire

Width of Lot - 90'

Lot Frontage - 90'

Off-street Parking - 2 cars

Loading Bays - N/A

Site Plan -

Shoreland Zoning -

Flood Plains -

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

November 19, 1993

RE: 107 Milton Street

Custom Built Homes of Maine
27 Main St.
Windham, ME 04062

Dear Sir:

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the following requirements:

No Certificate of Occupancy can be issued until all requirements of this letter are met.

SITE PLAN REVIEW REQUIREMENTS

Inspection Services Approved William Giroux
Public Works Approved with condition (see attached) C. Carrigan

BUILDING CODE REQUIREMENTS

Please read and implement items 1, 2, 6, 7, 9, 10, 12, 13, 14, 15 and 16 of the attached building permit report.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


S. P. Hoffses
Chief of Inspection Services

/el

cc: William Giroux, Zoning Administrator
Craig Carrigan, PE, Development Review Coordinator

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Custom Built Homes of Maine

Applicant 27 Maine St Windham, ME 04062

Mailing Address 1-family dwelling

Proposed Use of Site 9,990 sq/ft 960 sq ft

Acreage of Site / Ground Floor Coverage

November 15, 1993

Date

107 Milton St ~~Lot #129~~
Address of Proposed Site

Site Identifier(s) from Assessors Maps

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors 1 1/2

Board of Appeals Action Required: () Yes () No

Total Floor Area 10,000 sq ft

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

Use complies with Zoning Ordinance — Staff Review Below

Zoning: **SPACE & BULK,**
as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
COMPLIES	_____																	
COMPLIES CONDITIONALLY																		
DOES NOT COMPLY																		

CONDITIONS SPECIFIED BELOW
REASONS SPECIFIED BELOW

REASONS:

WDH - 11-18-93

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Planning.
C. Corrigan

Custom Built Homes of Maine

Applicant

27 Maine St Windham, ME 04062

Mailing Address

1-family dwelling

Proposed Use of Site

9,990 sq/ft 960 sq ft

Acreage of Site / Ground Floor Coverage

November 15, 1993

Date

107 Milton St Lot #129
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Site Identifier(s) from Assessors Maps

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Board of Appeals Action Required: () Yes () No

Planning Board Action Required: () Yes () No

Proposed Number of Floors 1 1/2

Total Floor Area 10,000 sq ft

Other Comments:

Date Dept. Review Due:

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER
APPROVED															
APPROVED CONDITIONALLY															
DISAPPROVED															

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: SEE ATTACHED CONDITIONS

(Attach Separate Sheet if Necessary)

[Signature]
11/16/93
SIGNATURE OF REVIEWING STAFF/DATE

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

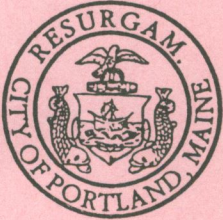
APPLICANT: CUSTOM BUILT HOMES
ADDRESS: 27 MAINE ST WINDHAM ME 04062
SITE ADDRESS/LOCATION: 107 MILTON ST (L129)
DATE: _____

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now 107 MILTON ST, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8300, ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closings with these requirements in mind.
- A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300 ext 8838. The Sewer Division of Parks and Public Works (Jackie Wurslin at 797-5302) must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- As-built record information for sewer and storm service connections must be submitted to Parks & Public Works Engineering Division (55 Portland St.) and approved prior to issuance of a Certificate of Occupancy.
- A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible).
- SET SILL ELEVATION TO ALLOW POSITIVE DRAINAGE AWAY FROM FOUNDATION AND TOWARDS MILTON ST.

cc: P. Niehoff



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Dave Jordan, Code Enforcement Officer
FROM: Craig Carrigan, Development Review Coordinator
DATE: January 14, 1994
SUBJECT: 83 and 107 Milton Street

I have reviewed the two lots in question and have no objection to issuance of a Certificate of Occupancy with the following condition:

1. That all landscaping issues and final grading be completed by June 30, 1994.