

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1623	Issue Date:	CBL: 336 H037001
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Location of Construction: 99 MILTON ST	Owner Name: VANSANFORD FRANK	Owner Address: 99 MILTON ST	Phone:
Business Name:	Contractor Name: Art Libby Contruction	Contractor Address: 51 Tremont Street South Portland	Phone 2072339335
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family Home	Proposed Use: Single Family Home/ Build a 20' x 20' Garage	Permit Fee: \$138.00	Cost of Work: \$12,375.00	CEO District: 5
Proposed Project Description: Build a 20' x 20' Garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 11/04/2005	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zon <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Us <input type="checkbox"/> Interpretatio <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landma <input type="checkbox"/> Does Not Require Revie <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN	ADDRESS	DATE	PHO
RESPONSIBLE PERSON IN CHARGE OF WORK, TIT		DATE	PHO

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Business Name:	Contractor Name: Art Libby Construction	Contractor Address: 51 Tremont Street South Portland	Phone 2072339335
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 11/17/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 11/17/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
2) Separate permits are required for any electrical, plumbing, or heating.			

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SIGNATURE OF APPLICAN

ADDRESS

DATE

PHO

RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

DATE

PHO

12/12/05 Slab/ setbacks ok D
(chg order on slab Rec'd from owner - attached)

12/19/05 — B Clou In - OK
No Electric - will require separate
permit if problem D



PROTEA

Behavioral Health Services

1011 Forest Ave. Portland, Me. 04103

Phone: (207) 553-2069 / 800579-5644 Fax: (207) 553-2074

Portland Tue-free

Web-Site: www.proteabhs.com E-mail: info@proteabhs.com

Fax Cover Memo

To: *Kevin Carroll*
 Company: *City of Portland*
 From: *Frank Van Sordani*
99 MILTON ST

Date: *12/12/05*
 Fax: *874-8716*
 Pages (Including Cover): 2

Change order to slab foundation

NOTICE

This transmittal is intended only for use of the individual or entity named above. It may contain information which is privileged and/or confidential under applicable law. If you are not the intended recipient or such recipient's employee or agent, you are hereby notified that any dissemination, copy, or disclosure of this communication is strictly prohibited. If you have received this communication in error, please immediately notify us at (207) 992-7010 and return the original transmission to us by mail without making a copy.

FOR RECORDS PROTECTED BY FEDERAL AND STATE CONFIDENTIALITY RULES

- 42 CFR Part 2 "Confidentiality of Alcohol and Drug Abuse Patient Records"
- Title 34-B M.R.S.A. § 1207 "Confidentiality of Information"
- Rights of Recipients of Mental Health Services
- Rights of Recipients of Mental Health Services Who are Children in Need of Treatment

This information has been disclosed to you from records protected by Federal Confidentiality Rules. The Federal rules prohibit you from making any further disclosure of this information unless further disclosure is expressly permitted by the written consent of the person to whom it pertains or as otherwise permitted by CFR 42. A general authorization for the release of medical or other information is NOT sufficient for this purpose. The Federal rules restrict any use of the information to criminally investigate or prosecute any alcohol or drug abuse patient.

From Frank Van Sanford

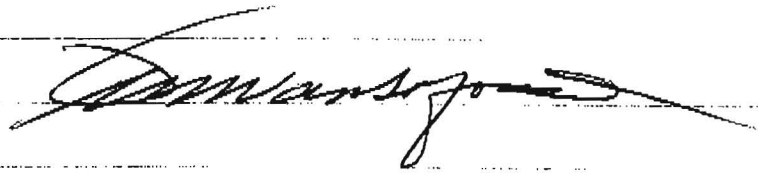
99 MILTON ST

PORTLAND 04107

Change order to slab foundation

Use 1/2 stone to replace crushed gravel.

Use insulation under stone.





General Building Permit Application

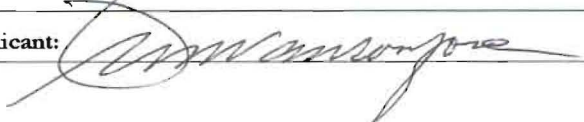
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>99 MILTON ST. PORTLAND, ME 04103</u>		
Total Square Footage of Proposed Structure <u>800</u>	Square Footage of Lot <u>10,000</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>336 H 037</u>	Owner: <u>FRANK VANSANFORD</u>	Telephone: <u>W- 553-2069 - 8-5pm</u> <u>E- 615-1155</u> <u>H- 797-8201 after 5pm</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>FRANK VAN SANFORD</u> <u>99 MILTON ST</u> <u>PORTLAND, ME 04103</u> <u>W- 553-2069 8-5pm</u> <u>E- 615-1155</u> <u>H- 797-8201 after 5pm</u>	Cost Of <u>12,375⁰⁰</u> Work: \$ <u>17500</u> Fee: \$ _____ C of O Fee: \$ <u>138⁰⁰</u>
Current Specific use: <u>RESIDENTIAL</u> Proposed Specific use: <u>RESIDENTIAL</u>		
Project description: <u>20' x 20' Detached garage with (2) 2' x 3' windows + (1) 16' T' garage door.</u> <u>(1) side steel entry door 2'6" x 8"</u>		
Contractor's name, address & telephone: <u>ART LIBBY Construction + Home Improvements</u> <u>51 TREMONT ST, South Portland, ME 04106 233-9335</u>		
Who should we contact when the permit is ready: <u>FRANK VANSANFORD</u> Mailing address: _____ Phone: <u>553-2069 or 615-1155</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>11/4/05</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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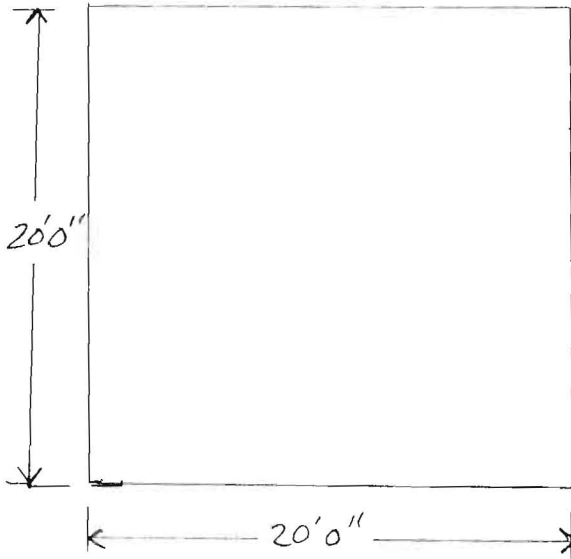
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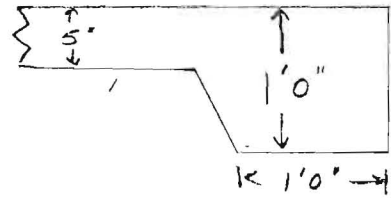


SLAB FOUNDATION PLAN
99 MILTON ST
PORTLAND, ME 04103

1/8 Scale



3/4 Scale



- ✓ - Minimum 12" 1/2" crushed gravel (compacted) with 1" insulation under slab.
- ✓ - 5" welded wire mesh.
- ✓ - 5" average slab with 1'x1' around perimeter.
- ✓ - 2 pieces #4 (1.1/2") rebar around perimeter
- ✓ - 3000 psi concrete with fibre reinforcement
- ✓ - 1/2" anchor bolts space 4' apart, 1' from corners

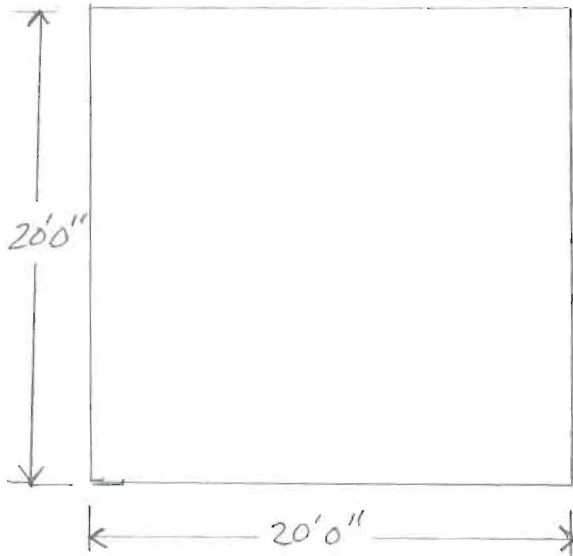
Work to be performed by: Sterling Concrete Construction
P.O. Box 11501
Portland, ME 04104

for customer: FRANK VAN SANFORD
99 MILTON ST
Portland, ME 04103

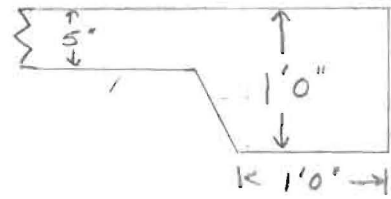
326 H 37

Slab Foundation Plan
99 MILTON ST
Portland, ME 04103

1/8 Scale



3/4 Scale



- ✓ - Minimum 12" 1/2" crushed gravel (compacted) with 1" insulation under slab.
- ✓ - 5" welded wire mesh.
- ✓ - 5" average slab with 1'x1' around perimeter.
- ✓ - 2 pieces #4 (1.1/2") rebar around perimeter
- ✓ - 3000 psi concrete with fibre reinforcement
- ✓ - 1/2" anchor bolts space 4' apart, 1' from corners

Work to be performed by: Sterling Concrete Construction
P.O. Box 11501
Portland, ME 04104

for customer: Frank VanSanford
99 MILTON ST
Portland, ME 04103

336 H 39

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

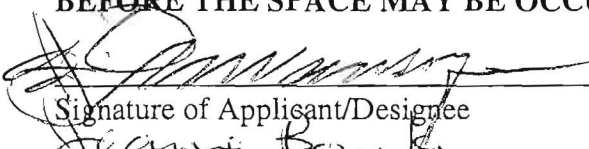
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/~~Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee

Date

11/21/05

Signature of Inspections Official

Date

CBL: 336-H-37

Building Permit #: 05-1623

107 MILTON ST

PROPERTY LINE

21'0" Setback

20'0"

PROPOSED GARAGE
20' X 20'

20'0" 16' X 7' GARAGE DOOR

Door 3'0"

13'8"

8'6"

24'0"

BULKHEAD

6'3"

EXISTING HOME
34' X 24'

34'0"

99 MILTON ST.

20'6" DRIVEWAY

SIDEWALK

UND. PROGRAMS
Elec & Cable

TREE
WATER
&
SEWER

KITCHEN

DEC

FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH FOR ROOF SHEATHING APPLICATIONS, 8d NAILS ARE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS. 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED). 1/2 INCH SHEATHING AND 1-1/2 INCH LENGTH FOR 25/32 INCH SHEATHING. PANEL SUPPORTS AT CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16 INCH CROWN AND 1-1/8 INCH LENGTH FOR

FASTENERS SPACED 3 INCH

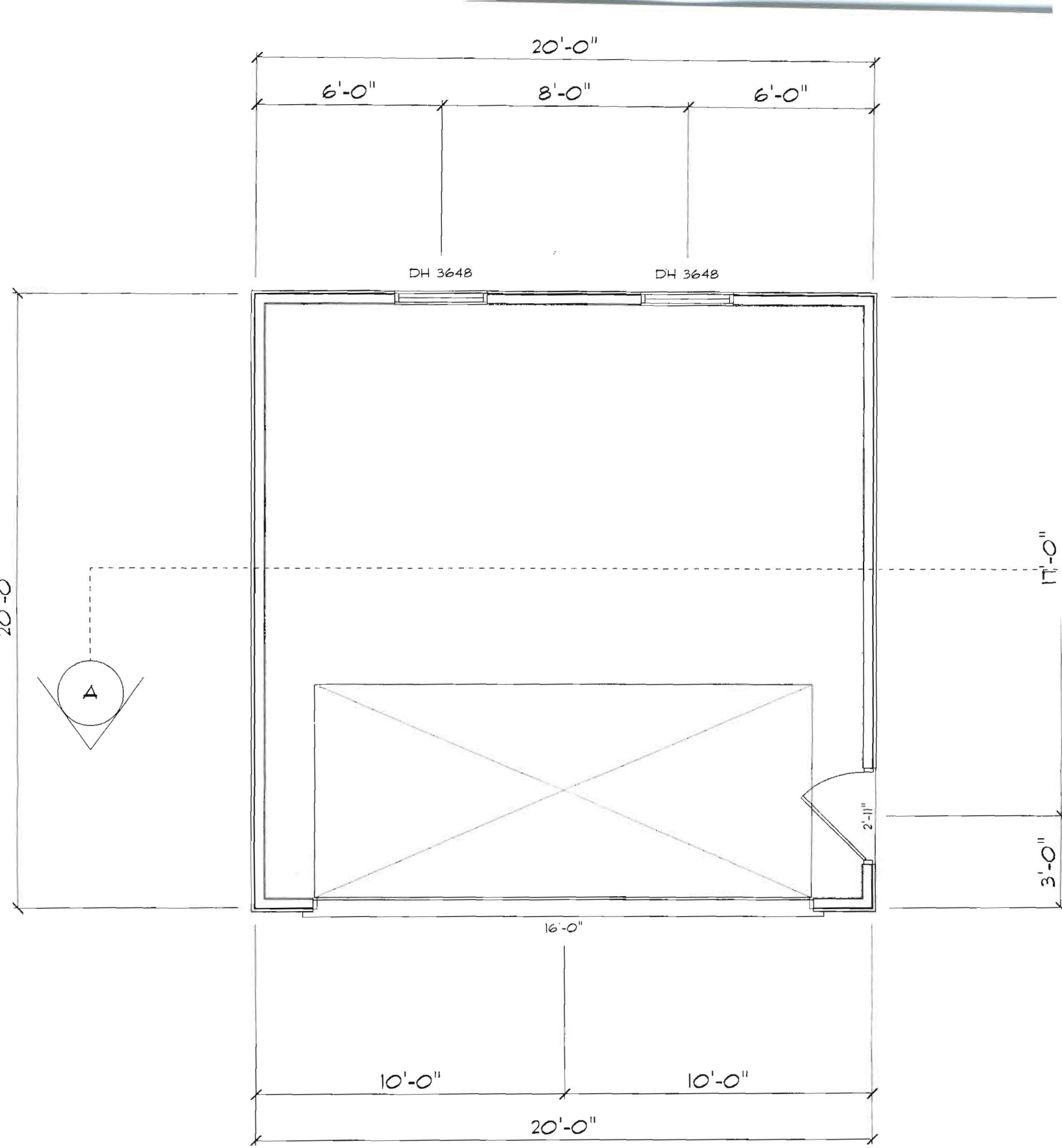
U
N
M
L
K
J
I

WALLS, REFER TO SECTION 2305. NAIL SPANS ARE 48 INCHES OR MORE. FOR NAILING COMMON BOX

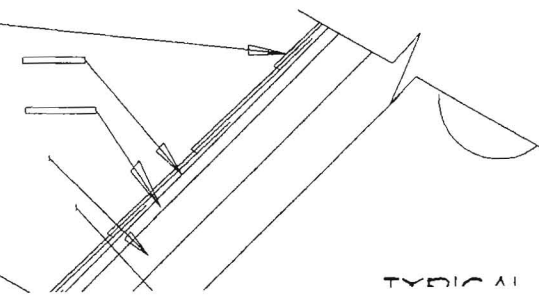
NOTE: LETTER:

NOTES	LOCATION	FASTENING	CONNECTION	NOTES	LOCATION
SEE NOTE: F		8d	PANEL SIDING (TO FRAMING) 5/8"	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL
SEE NOTE: F		6d	PANEL SIDING (TO FRAMING) 1/2" OR LESS		FACE NAIL
SEE NOTE: C		6d	TO FRAMING SUBFLOOR-UNDERLAYMENT SINGLE FLOOR (COMBINATION 3/4" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	TOENAIL
SEE NOTE: P SEE NOTE: N 8d, SEE NOTE: D, 6d, SEE NOTE C		2" 16 GAGE 2-3/8"x0.113" NAIL 8d OR 6d	& PARTICLE BOARD WOOD STRUCTURAL PANELS 19/32" - 3/4"		TOE NAIL
SEE NOTE: O SEE NOTE: N SEE NOTE: C, J		1-3/4" 16 GAGE 2-3/8"x0.113" NAIL 6d	& PARTICLE BOARD WOOD STRUCTURAL PANELS 1/2" OR LESS		16" OC ALONG EDGE FACE NAIL
	FACE NAIL	4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 16d COMMON	LEDGER STRIP		TOE NAIL
	FACE NAIL	5 - 3" 14 GAGE STAPLE 5 - 3"x0.131" NAIL 3 - 16d COMMON	JOIST TO BAND JOIST		TOE NAIL
	FACE NAIL	3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 16d COMMON	2-BY RIDGE BEAM ROOF RAFTER TO		LAP SPLICE
	TOENAIL	3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 16d COMMON	2-BY RIDGE BEAM ROOF RAFTER TO		TYPICAL FACE NAIL
	FACE NAIL	3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 10d COMMON	JACK RAFTERS TO HIP		FACE NAIL
	TOE NAIL	4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 10d COMMON	JACK RAFTERS TO HIP		END NAIL
	FACE NAIL	4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 10d COMMON	COLLAR TIE TO RAFTER		TOE NAIL
	AT EACH SPLICE FACE NAIL AT ENDS	3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 20d COMMON	BUILT-UP GIRDER & BEAMS		END NAIL
	STAGGERED ON OPPOSITE SIDES FACE NAIL AT TOP & BOTTOM	3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC 20d COMMON 32" OC	BUILT-UP GIRDER & BEAMS		BRACED WALL PANEL
16" OC 16" OC 24" OC	16" OC 16" OC 24" OC	3" 14 GAGE STAPLE 3"x0.131" NAIL 16d COMMON	BUILT-UP CORNER STUDS		TYPICAL FACE NAIL
	FACE NAIL	2 - 3" 14 GAGE STAPLE 2 - 3"x0.131" NAIL 2 - 8d COMMON	EACH STUD & PLATE 1" DIAGONAL BRACE TO		TOENAIL EACH END
	TOENAIL	3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 3 - 8d COMMON	(SEE SECT. 2308.10.1, TABLE 2308.10.1) RAFTER TO PLATE		TOENAIL

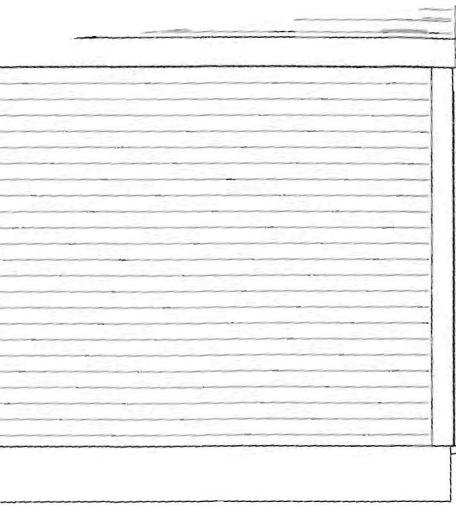
(SEE NOTES A + M FOR ALL FASTENING NOTES)



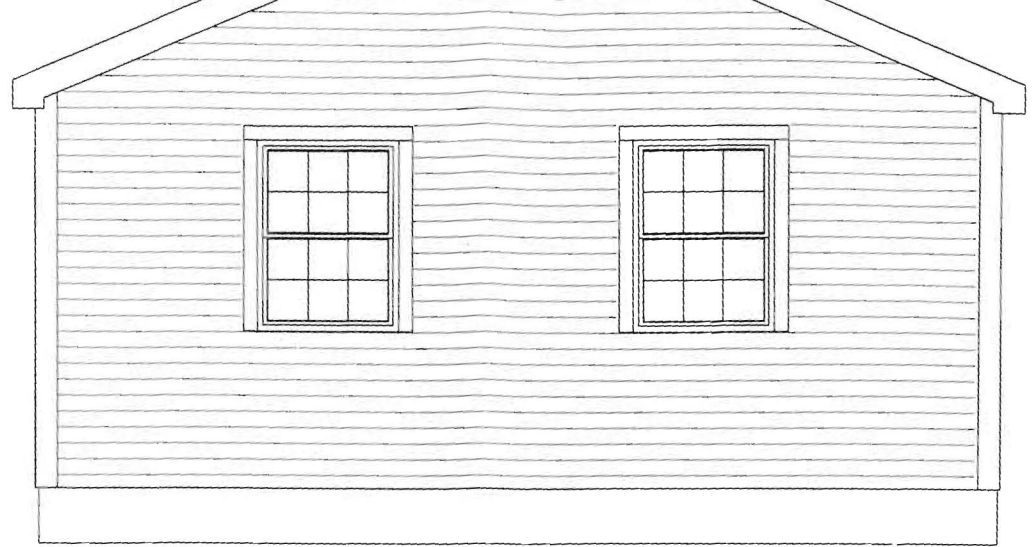
- 225* ASPHALT SHINGLES
- ICE AND WATER SHIELD @ 1st 3 FEET
- 5/8" THICK CDX PLYWOOD SHEATHING
- 6 MIL POLY VAPOR BARRIER



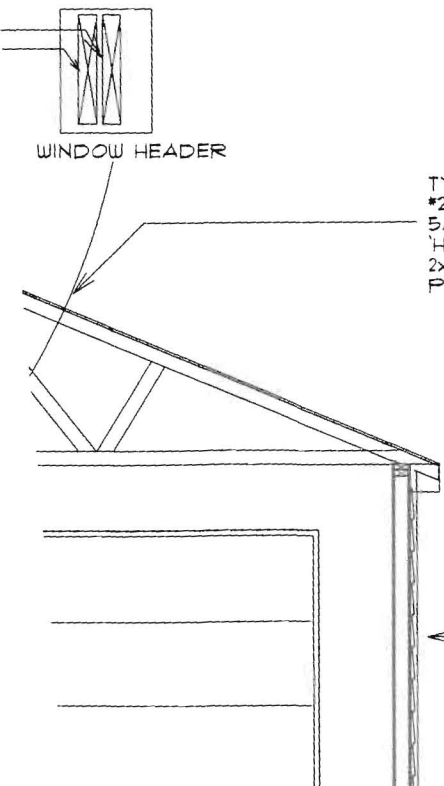
TYPICAL



ELEVATION



REAR ELEVATION



WINDOW HEADER

TYPICAL TRUSS ROOF:
#225 ASPHALT SHINGLES
5/8" ROOFING SHEATHING c/w
1" CLIPS
2x8 BLOCKING AT PEAK
PRE-ENGINEERED TRUSSES @ 24" o.c.

TYPICAL 2x4 SIDING EXTERIOR WALL:
CEDAR CLAPBOARDS 4" TO THE WEATHER
1/16" SHEATHING
2x4 STUDS @ 16" o.c.
TYPAR OR EQUAL

*Headers
2-2x8's
over windows &
doors.*



SHEET 335-A

DEDHAM STREET

HINGHAM STREET

HINGHAM STREET

HINGHAM STREET

BRAINTREE STREET

BRAINTREE STREET

BRAINTREE STREET

BUCA RUN

HILLCREST CIRCLE

SHEET 339-D

SHEET 339-D

SHEET 337-A

CITY OF PORTLAND

LOT 5: 2700
LOT 6: 2400
LOT 7: 2400
LOT 8: 2400

LOT 71: 20,487

LOT 40: 239
LOT 39: 240
LOT 38: 241
LOT 37: 242

LOT 53: 10,000

LOT 37: 167
LOT 36: 168
LOT 35: 169
LOT 34: 170
LOT 33: 171
LOT 32: 172
LOT 31: 173
LOT 30: 174

LOT 11: 486
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LOT 18: 2317
LOT 19: 2293
LOT 20: 2268
LOT 21: 2257
LOT 22: 2301
LOT 23: 2352
LOT 24: 2301
LOT 25: 2352
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LOT 30: 2301
LOT 31: 2352
LOT 32: 2301
LOT 33: 2352

LOT 29: 11504
LOT 31: 10884
LOT 33: 10664
LOT 30: 10329 T

LOT 64: 21,462
LOT 65: 13,029

LOT 70: 11,081

LOT 69: 11,264
LOT 68: 10,771

LOT 54: 10,000
LOT 55: 10,000

LOT 56: 11,759
LOT 57: 11,250

LOT 24: 2301
LOT 25: 2352
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LOT 32: 2301
LOT 33: 2352

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LOT 61: 10,000

LOT 66: 14,759

LOT 67: 12,980
LOT 60: 14,000

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LOT 51: 16,444

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LOT 32: 2301
LOT 33: 2352

LOT 62: 10,000
LOT 61: 10,000

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LOT 58: 12,524

LOT 57: 11,250

LOT 56: 11,759
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LOT 54: 10,000
LOT 53: 10,000

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LOT 1: 2700
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LOT 16: 2700

LOT 17: 4872
LOT 18: 3000
LOT 19: 3000
LOT 20: 3000
LOT 21: 3000
LOT 22: 5450

LOT 1: 3000
LOT 2: 3000
LOT 3: 3000
LOT 4: 3000
LOT 5: 3000
LOT 6: 3000
LOT 7: 3000
LOT 8: 3000
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LOT 10: 3000
LOT 11: 3000
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LOT 17: 4872
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LOT 7: 4380
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LOT 12: 3000
LOT 13: 3000
LOT 14: 3000
LOT 15: 3000
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LOT 17: 4872
LOT 18: 3000
LOT 19: 3000
LOT 20: 3000
LOT 21: 3000
LOT 22: 5450

LOT 17: 4872
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LOT 20: 3000
LOT 21: 3000
LOT 22: 5450

LOT 1: 2700
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LOT 9: 3000
LOT 10: 3000
LOT 11: 3000
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LOT 22: 5450



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 11-11 2005 _____

Received from Frank H. Karsanfal

Location of Work 55 Milton St.

Cost of Construction \$ _____

Permit Fee \$ 138.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 736-11-037

Check #: CC

Total Collected \$ 138.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy