



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 78 Milton St 336-H-017-023

Issued to Custom Built Homes of Maine

Date of Issue 28 March 1995

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950020, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family

Limiting Conditions: TEMPORARY:

1. Platform stairs need sonotubes and anchors. 2. Rear stairs need vertical balist. 3. Engineer or architect seal for I-beam in basement. The (3)three requirements due by 01 June 1995. Also, see attached memo from James Seymour to David Jordan dated 28 March 1995 with (6) Six conditions.

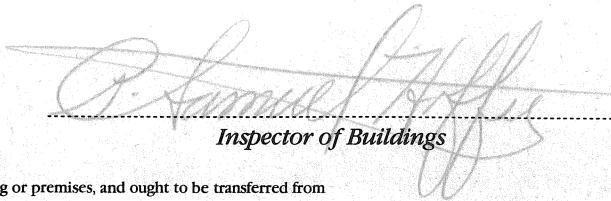
This certificate supersedes certificate issued

Approved:

3.28.95 

(Date)

Inspector



Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

TO: David Jordan, Code Enforcement Officer
FROM: James Seymour, Acting Development Review Coordinator
DATE: March 28, 1995
SUBJECT: Temporary Certificate of Occupancy for 78 Milton Street

I have reviewed the single family residence at 78 Milton Street and believe it would be acceptable to issue a temporary Certificate of Occupancy. A permanent Certificate of Occupancy should not be issued until the following conditions have been met.

1. The location of the house foundation was not in conformance with your approved site plan. The site plan required a 30 foot drainage easement adjacent to the house and lot line. Field measurements indicate that a 5 foot encroachment had occurred. To resolve this situation, Public Works and I discussed an option which allowed you to continue construction of this home. Please refer to a letter to Duane Christian dated February 8, 1995.

We recommend creating a 25 foot drainage easement which would be deeded to the City of Portland. The existing field drain was to be contained within this easement. The remainder of the land was to be held in a private drainage easement. A drainage maintenance agreement should have been provided to the City, instead, we received a 15 foot drainage easement without notification. This is currently being reviewed by Public Works. Prior to a permanent Certificate of Occupancy being issued, either this easement must be accepted by Public Works or an amended easement and drainage plan must be reviewed and accepted by Public Works and the Development Review Coordinator. This drainage easement or amended drainage plan shall be finalized by June 15, 1995 or prior to a Certificate for permanent occupancy, whichever occurs first.

2. The disturbed lot area shall be loamed, seeded and mulched no later than May 15, 1995 and approved by the Development Review Coordinator.

The field inlet shall be protected with either hay bales or siltation fencing, from erosion and sedimentation due to soil disturbances from construction activities. This should be completed by April 7 and reviewed by the Development Review Coordinator.

3. The installation of a private drain under the driveway and across the house front to outlet above the filed drain is acceptable provide that the drain is located on private property and privately maintained. The outlet and inlet to the pipe should be riprapped to provide protection of erosion and sedimentation. The outlet should be constructed such that a riprap swale continue to the field inlet. This work shall be completed by April 7.
4. Two City of Portland approved species and size trees must be planted along the street frontage prior to issuance of a permanent Certificate of Occupancy. Trees shall also be approved by the Development Review Coordinator and planted by June 15, 1995.
5. Damaged sidewalk, curbing or streets shall be repaired. At my recent site visit I noticed that the sidewalk base was damaged where it crossed the driveway apron at Lot 136 and at 78 Milton Street. Under your conditional site plan approval as given by Owens McCullough, you are required to make these repairs.
6. Prior to loaming and seeding, I request that you contact the Development Review Coordinator so that grading and drainage infrastructure can be examined. Grading should include a swale at the rear of the house draining to the field drain or to the private drain pipe which also outlets above the field drain.

The disturbed lot area shall be loamed, seeded, and mulched no later than June 15, 1995 and approved by the Development Review Coordinator.

Please review and the take notice to the conditions of site plan approval for the site plan as were made by Owens McCullough's review dated January 12, 1995. If you have any questions, please feel free to contact me at the Planning Department.

cc: Paul Niehoff, Materials Engineer