

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 070114

Please Read Application And Notes, If Any, Attached

This is to certify that PLANTE MELISSA /David

has permission to 14' x 16' additon to front right side of ho

AT 21 BUCA RUN

336 E066001

PERMIT ISSUED

FEB 26 2007

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceed before this building or part thereof is started or enclosed-in 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

2/2/07 City S M
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

~~**CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**~~

<u><i>Roger M. Easley</i></u>	<u>2-26-07</u>
Signature of Applicant/Designee	Date
<u><i>[Signature]</i></u>	<u>2-26-07</u>
Signature of Inspections Official	Date

CBL: 336-E-66 Building Permit #: 070114

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

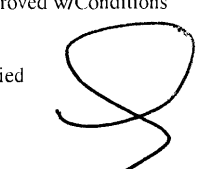
Permit No: 07-0114	Issue Date:	CBL: 336 E066001
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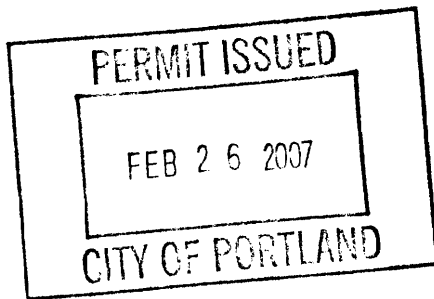
Location of Construction: 21 BUCA RUN	Owner Name: PLANTE MELISSA	Owner Address: 21 BUCA RUN RD	Phone:
Business Name:	Contractor Name: David Cary	Contractor Address: 115 Deep Cove Rd. Raymond	Phone 2073100172
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: R-2

Past Use: Single Family	Proposed Use: Single Family 14' x 16' addition to front right side of house - 2 story	Permit Fee: \$380.00	Cost of Work: \$35,461.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC 2003	

Proposed Project Description: 14' x 16' additon to front right side of house. - 2 story	Signature:	Signature: 2/21/07 [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: dmartin	Date Applied For: 01/29/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 2/1/07	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
			



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3/19/07 - Footings / setback's Insp.
O.K. to pour concrete
C.H.

3/23/07 - Backfill - OK

4/20/07 - Close In - Egress windows do NOT
meet 5.7 SF - Went over w/owner.
OK to drywall - will check @ final. 7/04

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0114	Date Applied For: 01/29/2007	CBL: 336 E066001
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Location of Construction: 21 BUCA RUN	Owner Name: PLANTE MELISSA	Owner Address: 21 BUCA RUN RD	Phone:
Business Name:	Contractor Name: David Cary	Contractor Address: 115 Deep Cove Rd. Raymond	Phone (207) 310-0172
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family 14' x 16' addition to front right side of house - 2 story	Proposed Project Description: 14' x 16' additon to front right side of house - 2 story
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 02/01/2007

Note: **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 02/26/2007

Note: **Ok to Issue:**

- 1) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Fastener schedule per the IRC 2003
- 5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

2/21/2007-csh: Spoke with David Cary about necessary info required to do review ie: plan showing country porch details on porch foundation details and sonotube locations and depth CSH



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>21 Buca Run, Portland ME</u>		
Total Square Footage of Proposed Structure <u>472</u>	Square Footage of Lot <u>14,759</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>(336-E66) 17-23 16</u>	Owner: <u>Melissa Wiley (Plante)</u>	Telephone: <u>878-4482</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Melissa + Donald Wiley</u> <u>21 Buca Run</u> <u>Portland ME 04103</u> <u>838-4878-4482</u> <u>C-939-0316</u>	Cost Of Work: \$ <u>35,461</u> Fee: \$ <u>380</u> C of O Fee: \$ <u>DIA</u>
Current Specific use: <u>SF</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Living Room, upstairs Bedroom</u> Project description: <u>14x16 addition off front right side of house</u>		
Contractor's name, address & telephone: <u>David Cary (207) 310-0172</u> Who should we contact when the permit is ready: <u>Donald Wiley</u> Mailing address: <u>115 Deep Cove Rd</u> <u>Raymond, ME 04107</u> Phone: <u>939-0316</u>		

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JAN 29 2007

RECEIVED

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

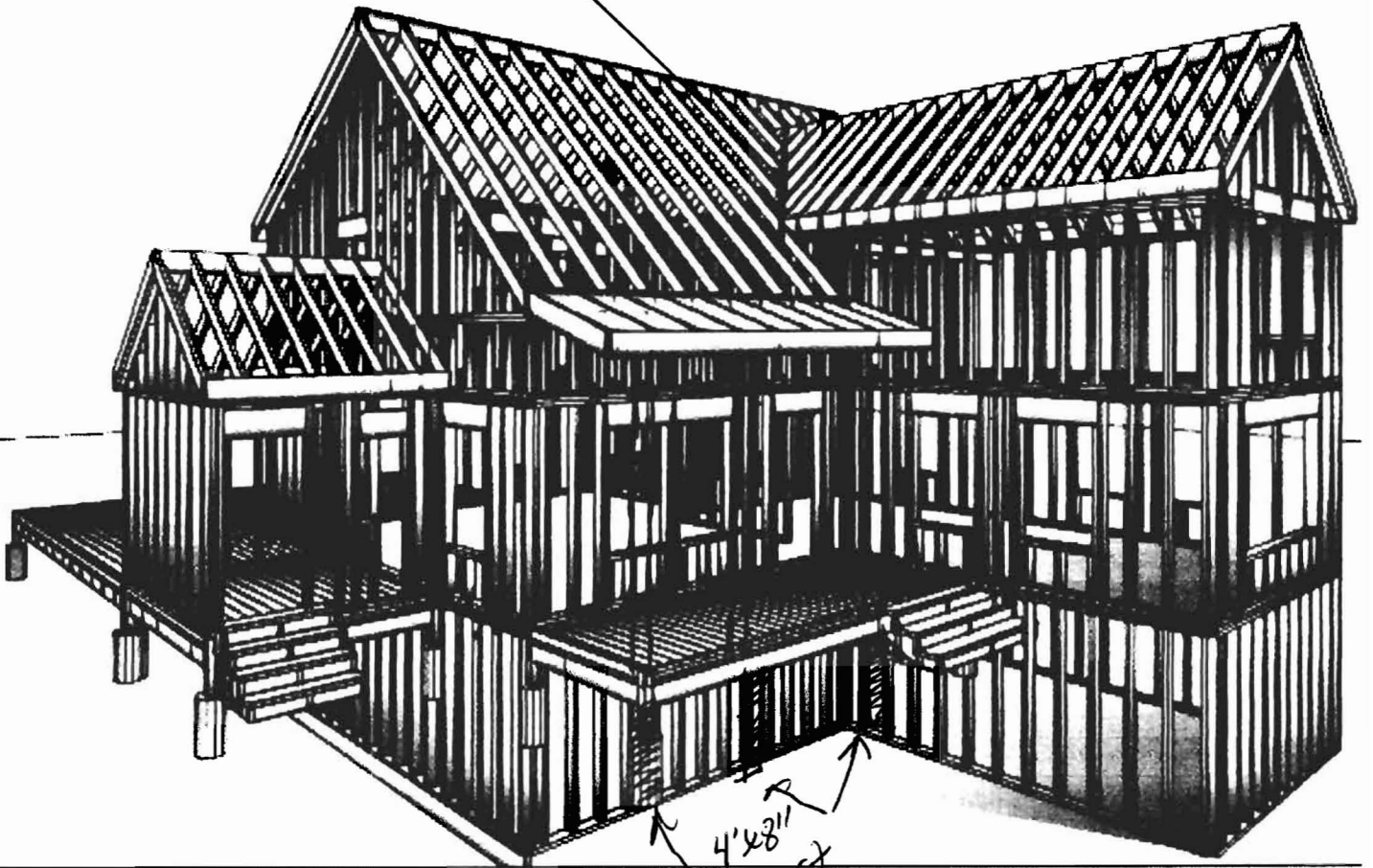
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Donald S. Wiley</u>	Date: <u>1/29/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

1153

valley Rafter
2- 2x12



4'x8"
Precast

R-2

Front - 25' req \approx 54' shown

84.15

14,759 sq ft.

REAR: N/A

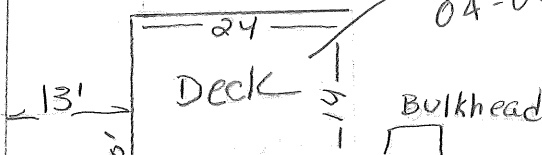
Side 14' req

2 story 21' + 27' ok

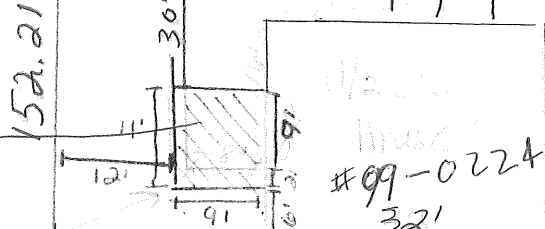
14' setback
(Borrowed 1' from
otherside to build deck
(allowed 2'))

16' setback

under
04-0638



under
#06-1590



202.47

~~Proposed
addition
garage~~

21'

Proposed
Porch
18'3" x 16'

Proposed
addition
14'1" per structural

#07-0114

61
70
-16
54

Driveway

70'

80'

84.5

Lot # 16
14.759 S.F

Lot # 15

30' Drainage Easement

152.21

202.47

32
Sill ELV 76
1.5 story
Lowest BLD opn 24
74.5

Scale 1" = 20'

from original
House permit
showing the front
setbacks -

DRIVEWAY

Water
70'

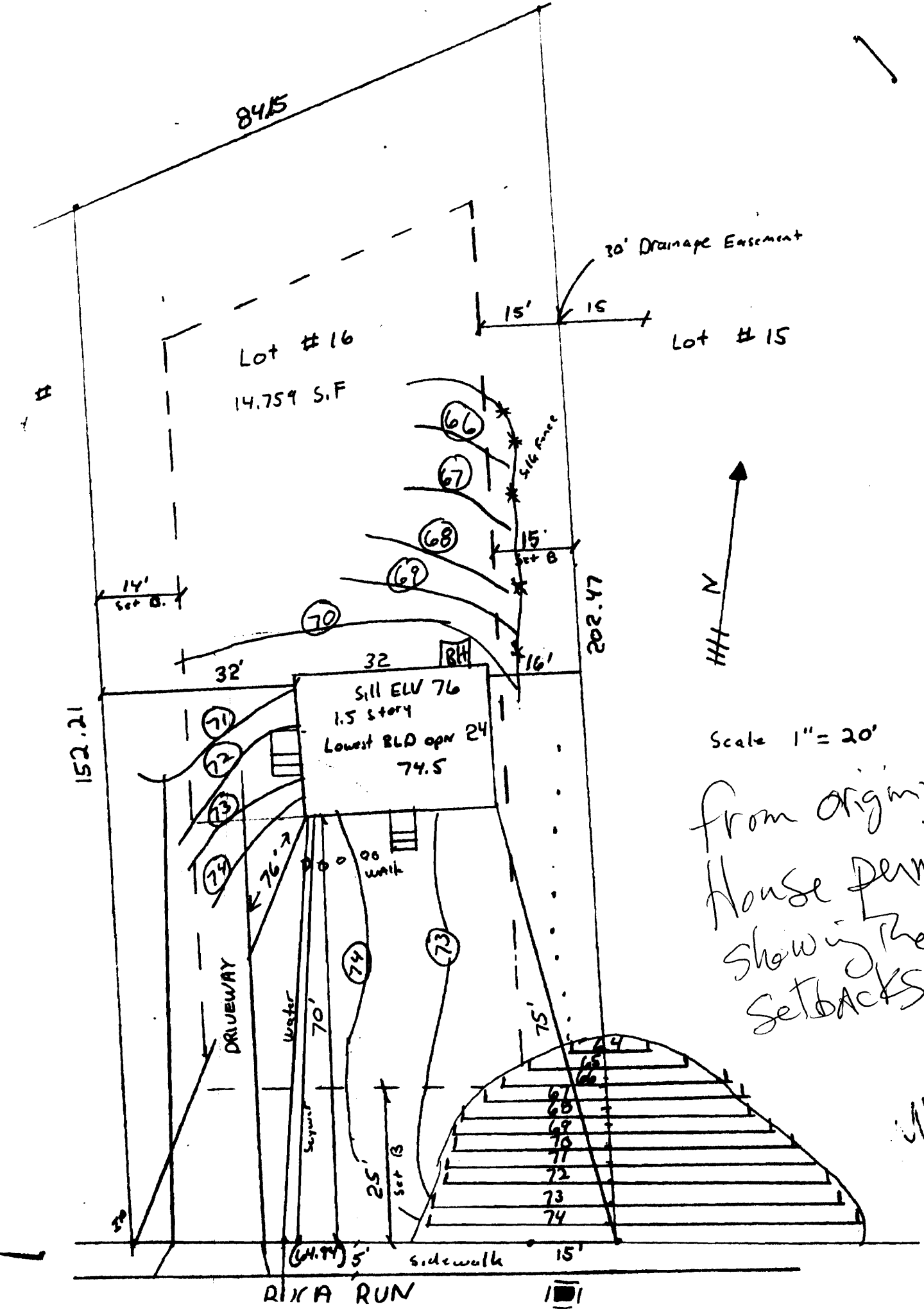
Septic

25'

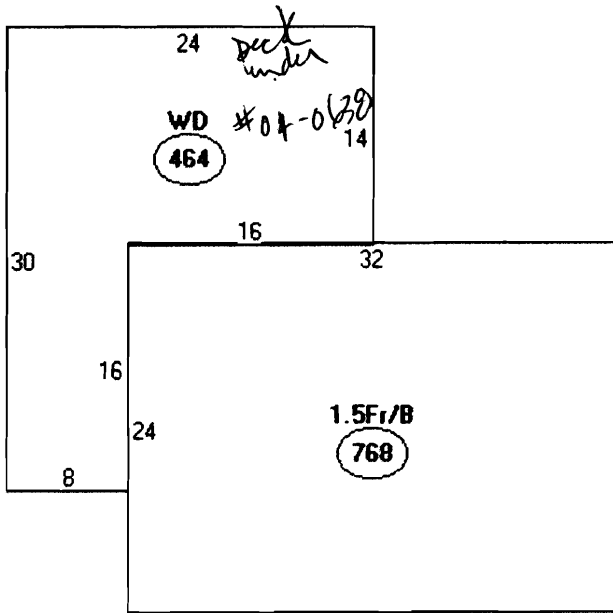
sidewalk

RIKA RUN

N



R-2



Descriptor/Area

A: 1.5Fr/B
768 sqft

B: WD
464 sqft

768

464

1232 # Current

225.28 = 14.08 x 16

1457.28 #

ok

14,759 # x 20% = 2951.8 # MAX COV.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	336 E066001
Location	21 BUCA RUN
Land Use	SINGLE FAMILY
Owner Address	PLANTE MELISSA 21 BUCA RUN RD PORTLAND ME 04103
Book/Page	14812/340
Legal	336-E-66 BUCA RUN 17-23 LOT #16 BUCA RUN 14759 SF

R-2

Current Assessed Valuation

Land	Building	Total
\$69,600	\$128,500	\$198,100

Property Information

Year Built 1999	Style Cape	Story Height 1.5	Sq. Ft. 1344	Total Acres 0.339	
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 6	Attic None	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
06/08/1999	LAND + BLDING	\$103,250	14812-340
03/23/1999	LAND	\$30,000	14628-181

Picture and Sketch

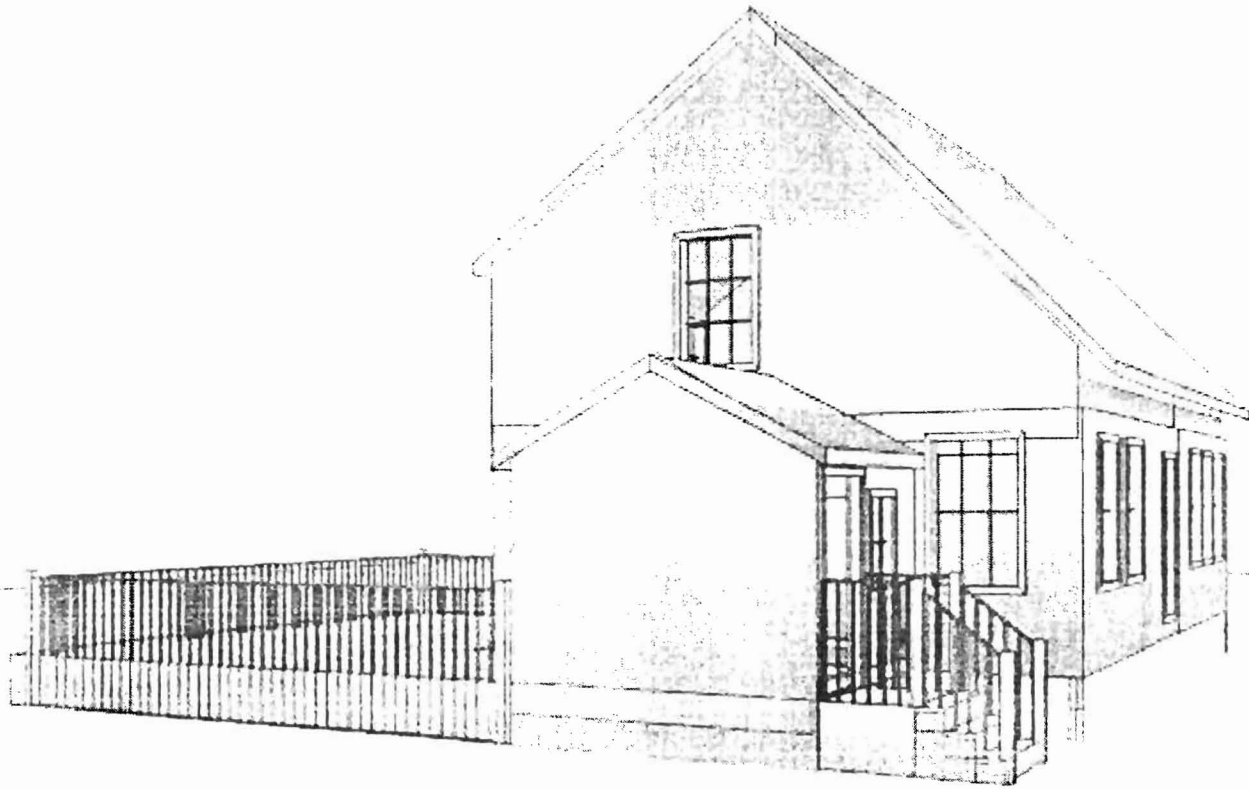
Picture	Sketch	Tax Map
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Click here to view Tax Roll Information.

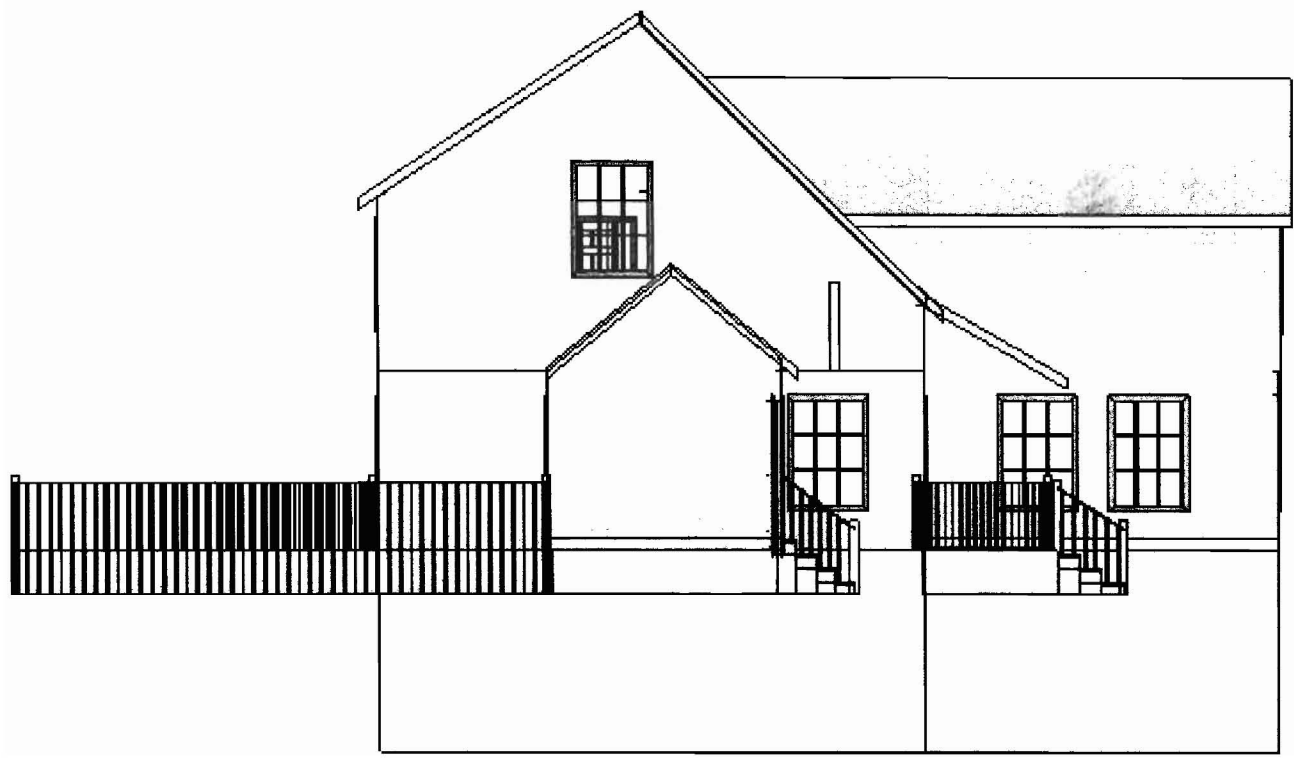
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

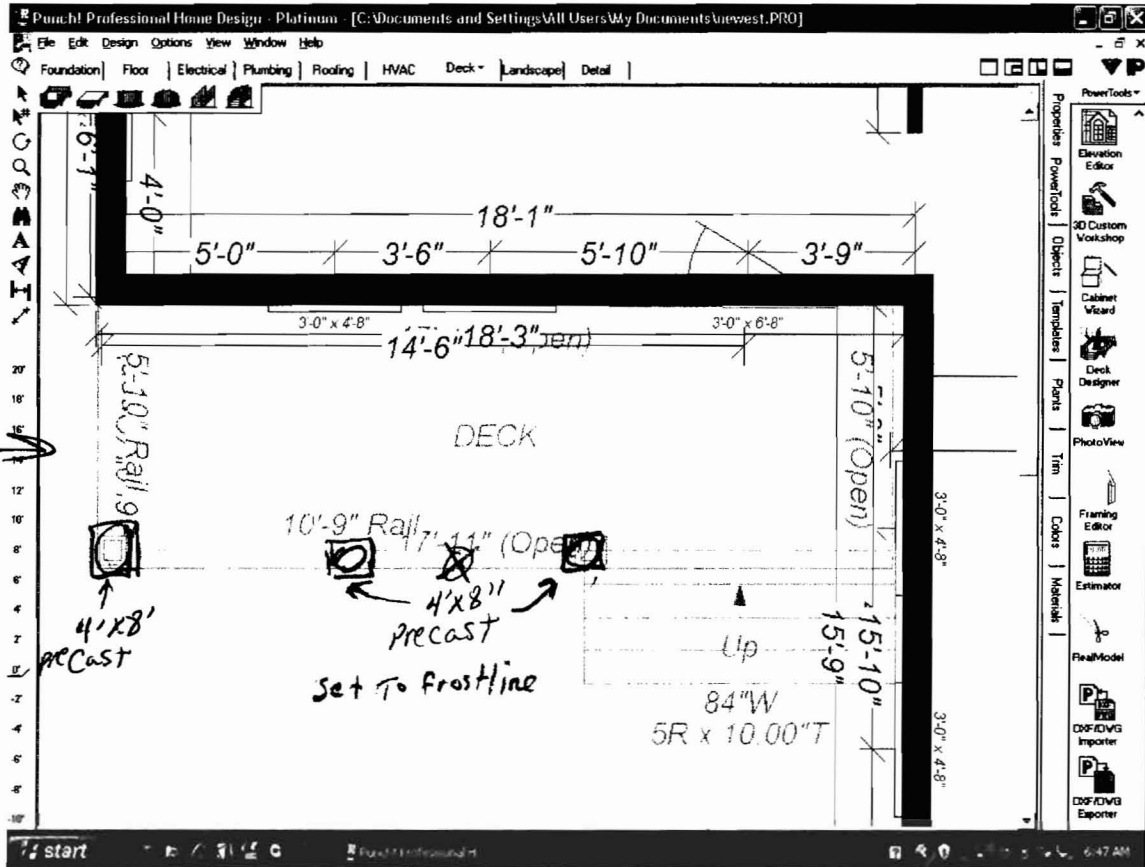
New Search!

Existing



Proposed

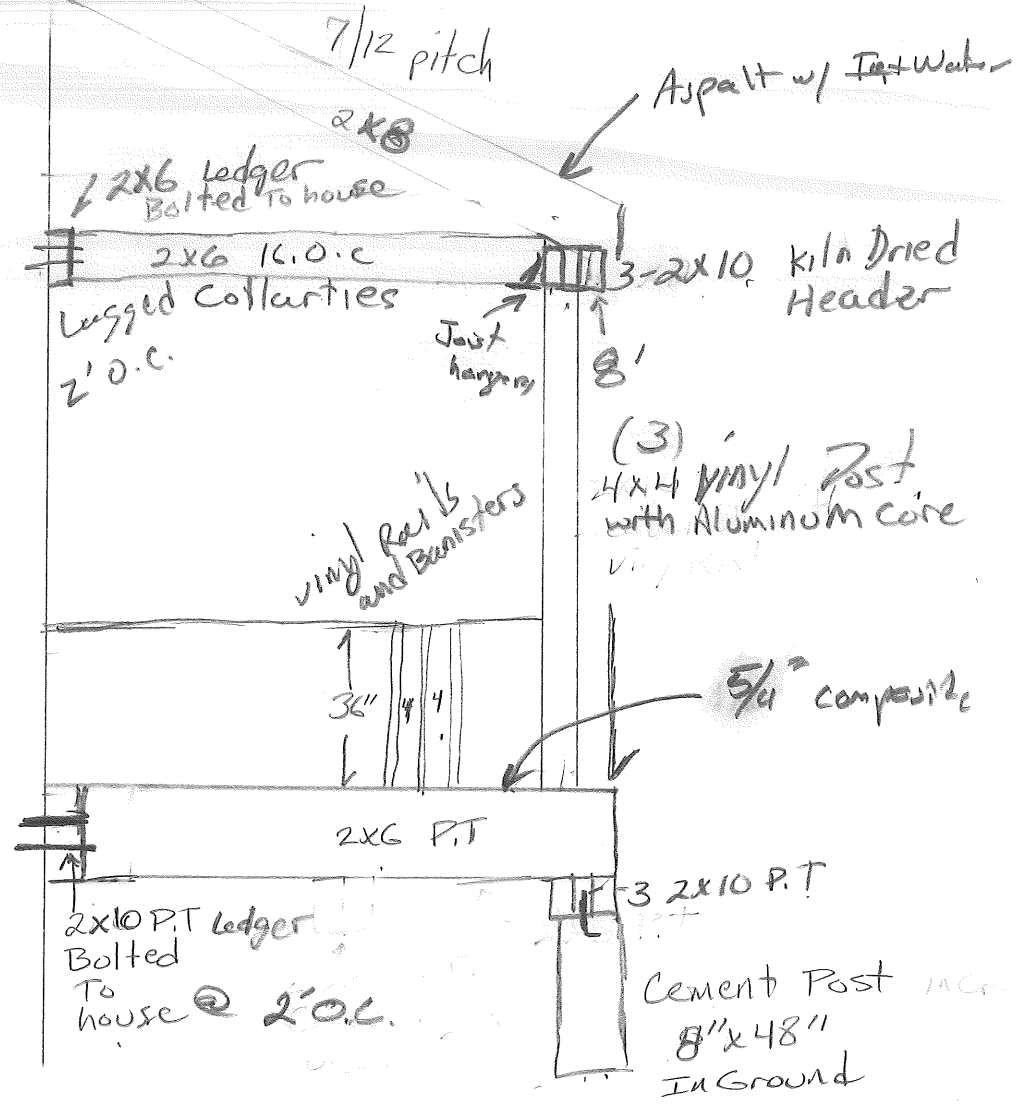
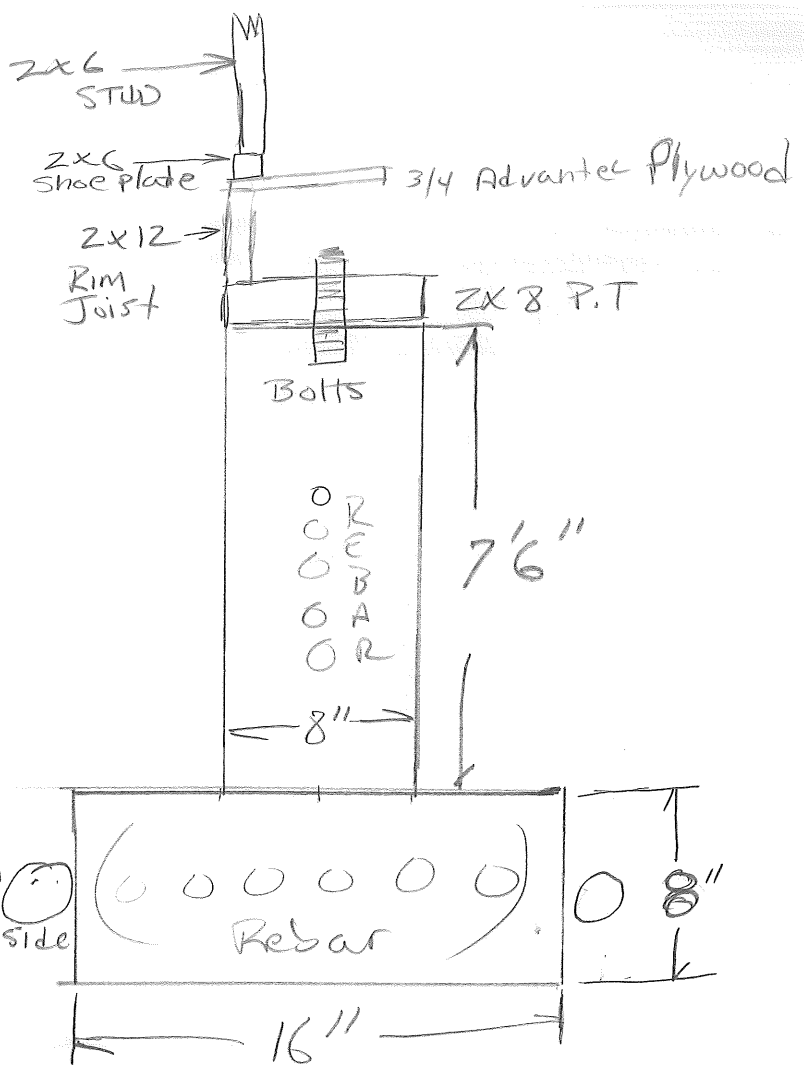


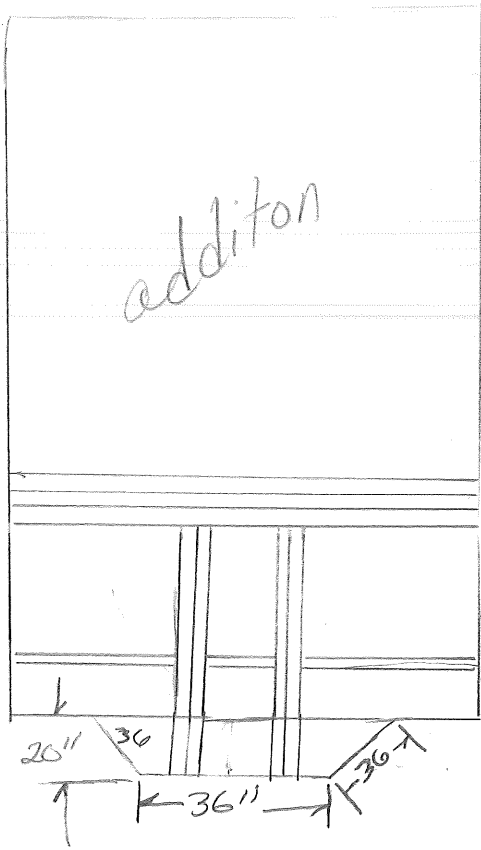


OVER FOR
Bay window Detail and
STAIR Detail

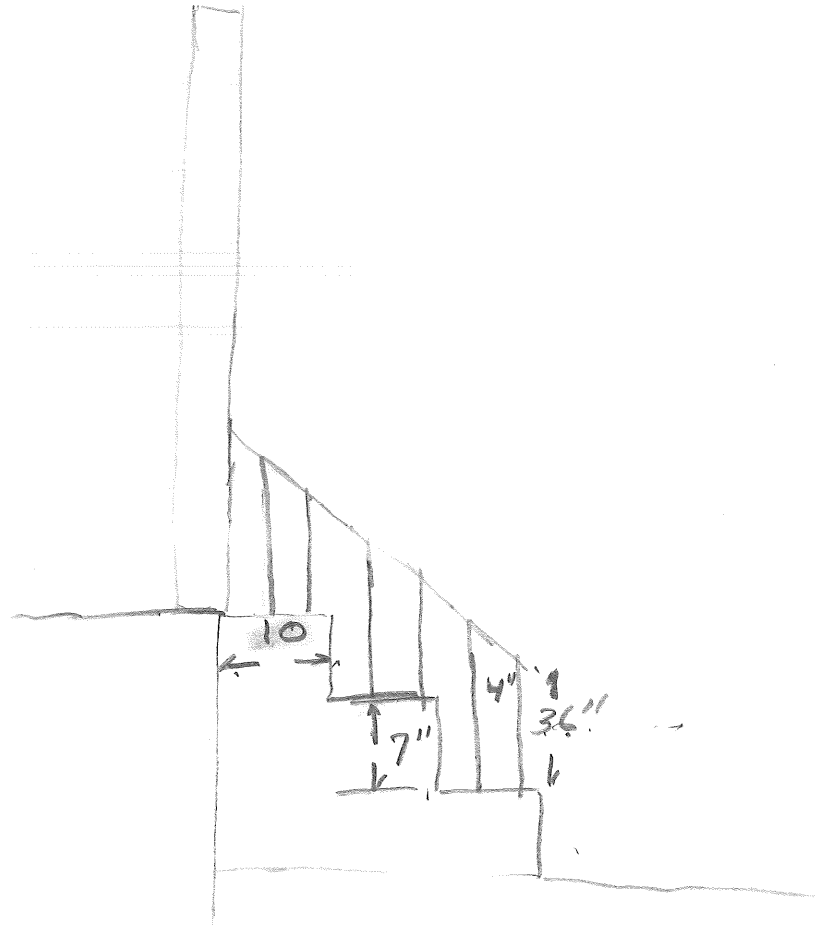
Existing
10/12
Pitch

Using Hurricane Ties
To Hold Rafter To header



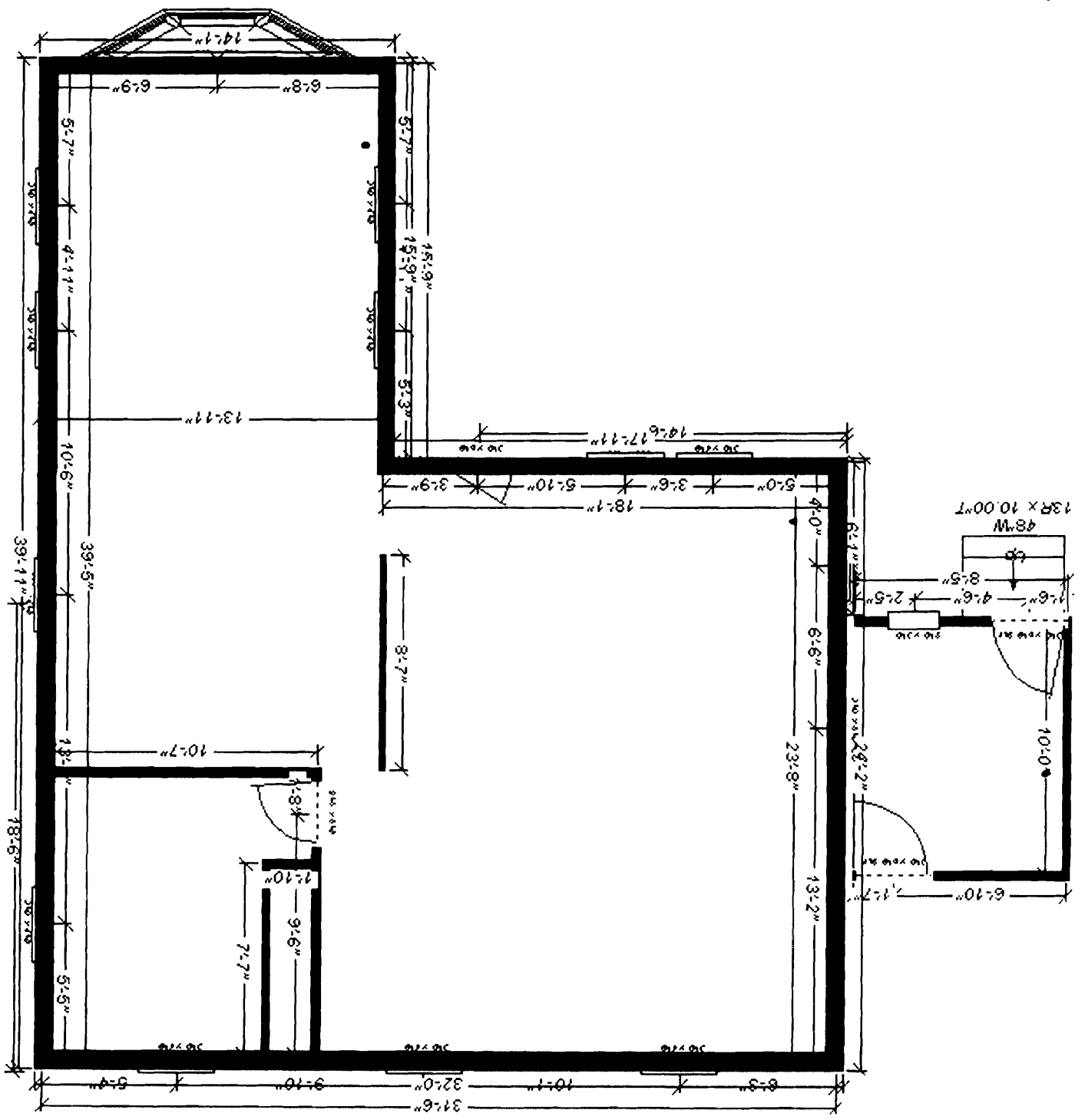


Bay
Window
and floor Joist
Detail



1st floor

Bay Window 1st floor only

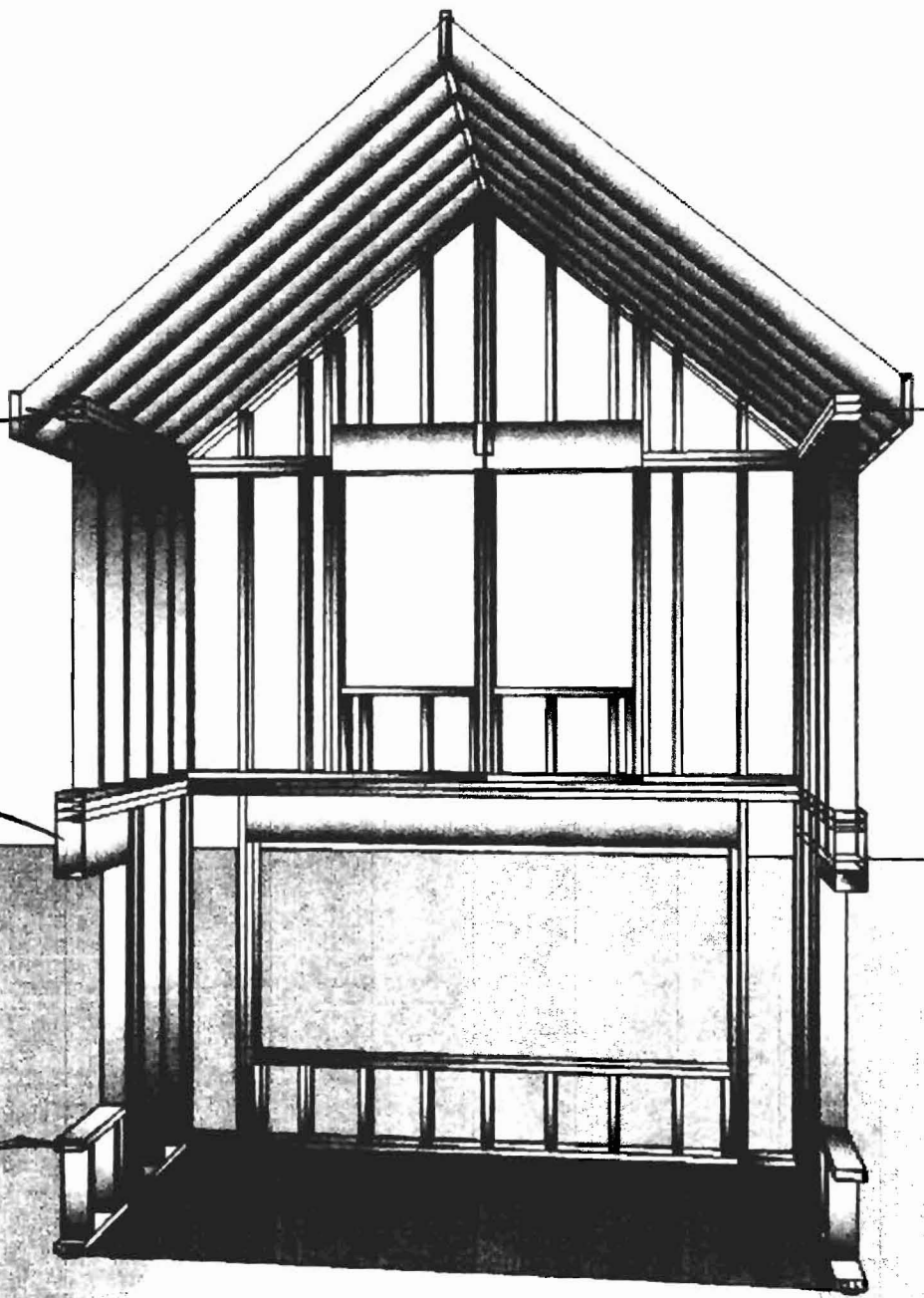


2x6
Double
Top plate

Double Top plate 2x6

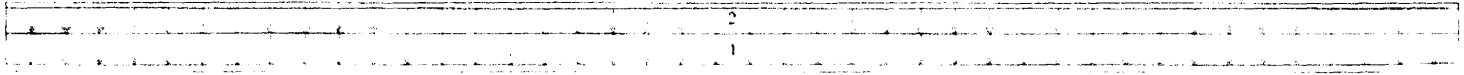
3-2x6 with
Plywood Sandwich

2-2x6
window Sill



Job Name:
Address:
City, State, Zip:
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier:
Designer:
Company:
Misc:



14-01-00

B0
LL 1268 lbs
DL 1225 lbs

B1
LL 1268 lbs
DL 1225 lbs

Total of Horizontal Design Spans = 14-01-00

Load Summary

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 100%	Wind 133%	Roof Live 125%	Trib.
1	Standard Load	Unf. Area (psf)	Left	00-00-00	14-01-00	30	10				06-00-00
2	exterior wall dead load	Unf. Lin. (plf)	Left	00-00-00	14-01-00	0	100				n/a

Controls Summary

Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	8777 ft-lbs	41.9%	100%	1 - Internal
End Shear	2187 lbs	23.1%	100%	1 - Left
Total Load Defl.	L/405 (0.418")	59.3%		1
Live Load Defl.	L/796 (0.212")	45.2%		1
Span / Depth	17.8	n/a		1

Disclosure

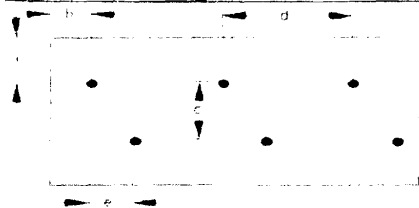
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BC1®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

Notes

Design meets Code minimum (L/240) Total load deflection criteria
Design meets Code minimum (L/360) Live load deflection criteria
Minimum bearing length for B0 is 1-1/2"
Minimum bearing length for B1 is 1-1/2"
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Connection Diagram

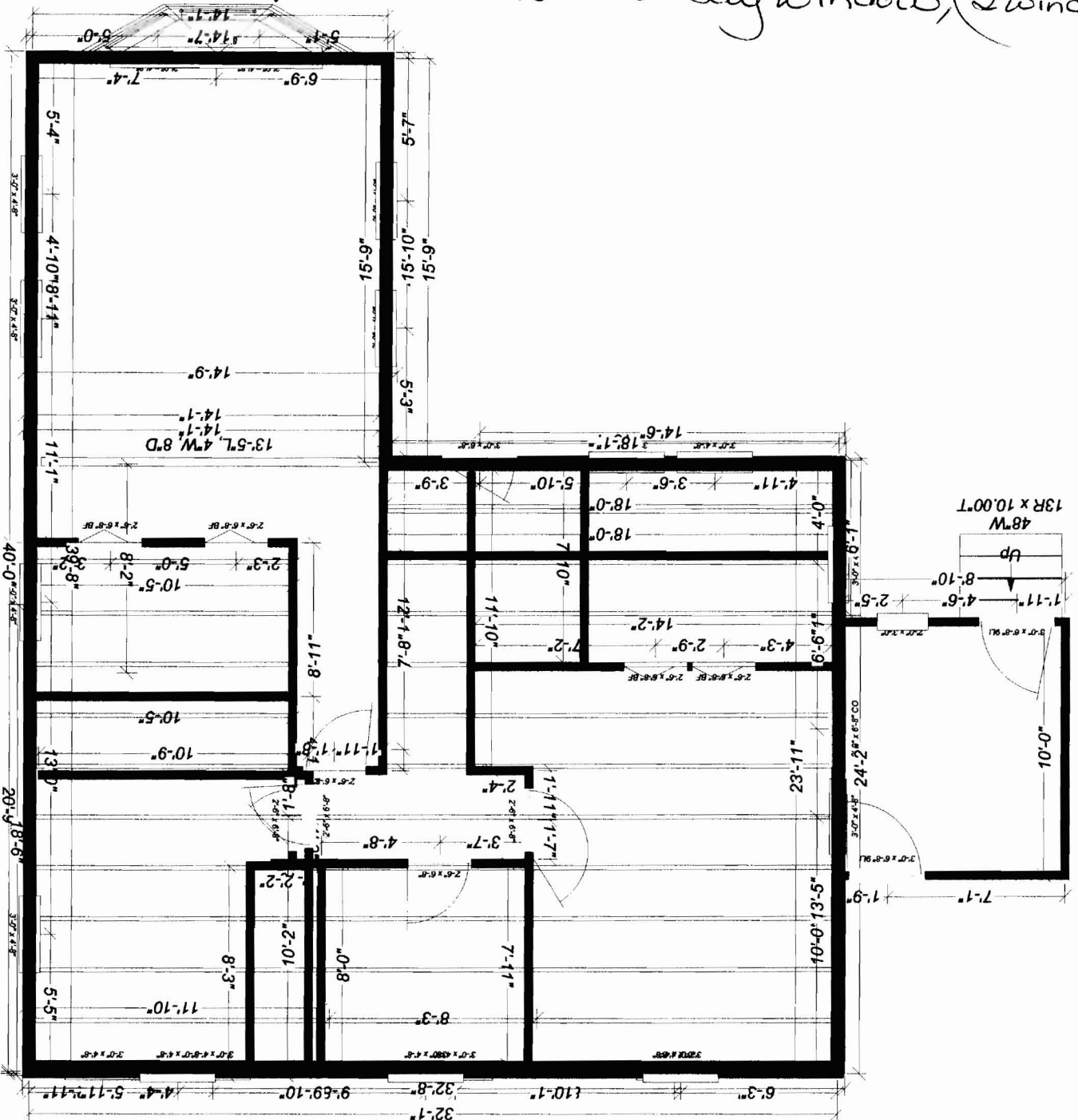


a minimum = 1-1/2" c = 6-1/2"
b minimum = 4" d = 6"
e minimum = 1"

Member has no side loads
Connectors are: SDS 1/4 x 3-1/2

2nd floor

Not a bay window, (2 windows)



C.W. HARMON EXCAVATING, INC.

PO BOX 115
 SEBAGO LAKE, ME 04075
 (207) 642-2018
 FAX-(207)642-5680

Proposal

DATE	ESTIMATE NO.
10/4/2006	1865

NAME / ADDRESS
Shawn Wiley 21 Buca Run Portland, ME 04103

DESCRIPTION	COST
1. Dig out for foundation & backfill to a rough grade only with materials on site(materials dug out will be left on site and graded on low side left of foundation)	2,500.00
2. Labor and materials to move waterline and backfill with materials on site	500.00
3. Labor, rebar, and concrete for foundation 14' x 16' x 7'10" x 10"	3,963.00
4. Labor to break off ties, waterplug ties and coat foundation	400.00
5. Drains inside & outside of foundation and 3/4" stone to grade for floor	1,250.00
6. For trucking estimated(amount may vary and will be reflected on final statement) 112 yds @ \$9.00/yd	1,008.00
7. Estimate cutting concrete in original foundation for doorway(may be less or more)	900.00
7. Labor and materials for 4" concrete floor	840.00
8. Labor to place, rake, seed and hay an estimated(amount may vary and will be reflected on final statement) 70 yds of loam(\$16.00/yd) to do 30' around house.	1,120.00
<p>Not figured in quote or responsible for: blasting or ledge removal locating property lines obtaining permits carpentry, electrical, plumbing, maintenance of grass</p>	
<p>Quote may be withdrawn if not accepted by 30 days.</p>	
<p>If you should decide to award us this job, please sign one copy and return to us. Thank you</p>	<p>TOTAL 10461 \$13,631.00</p>

Deposit = 1/3, the balance upon completed phases of job. 1 1/2% SC on unpaid amount(18% annual) & costs of attorney fees for collection.

SIGNATURE _____

FRAMING DETAIL

- All Floor Joists 2" x 12" 16" o.c.
 - Subfloor ¾" advantec 1 layer
 - Wall studs 2" x 6" 16" o.c.
 - 2nd story window header triple 2" x 8"
 - 1st story bay window header triple 2" x 12"
 - plywood (walls) ½ inch advantec
 - plywood (roof) 5/8 inch advantec
 - Roof rafters 2" x 10" 16" o.c.
 - Ridgeboard 2 - 1¾" x 12" LVL
 - Valley rafter 2 - 2" x 12"
-
- Roof pitch
 - Addition 10/12
 - Porch 7/12

Railings on porch will be 4" apart and 36" tall

Steps

7" rise

11" tread

Second floor side walls will be 84" tall with cathedral ceiling

See attached drawing for concrete footing and porch details

Windows

First floor

Existing
3 Bay window 3-36x56 7'6" width extending out 20" from floor up
2 DH ~~4060~~ Paradigm
3656

Second floor

2 DH 4060 Paradigm

Doors

Second floor

2'6" x 6'8" Hollow Core

Insulation

walls R-19 fiberglass

floor R-30 fiberglass

ceiling R-30 fiberglass + R14 foam

