

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 11 Buca Run (Lot #15)		Owner: Custom Built Homes of Maine		Phone:		Permit No: 981425	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Custom Built Homes of Maine		Address: 27 Main St Windham, ME 04062		Phone: 892-3149 <i>Tom McLaughlin</i>		Permit Issued: DEC 21 1998	
Past Use: Vacant Land		Proposed Use: 1-fam dwelling		COST OF WORK: \$ 72,000.00		PERMIT FEE: \$ 380.00	
Proposed Project Description: Construct Single Family Dwelling		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A-3 Type 5B		CITY OF PORTLAND	
				Signature: <i>[Signature]</i>		Zoning: R-2 CBL: 336-E-065	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved		Signature: <i>[Signature]</i>		Zoning Approval: <i>[Signature]</i> with conditions 12/21/98	
		Approved with Conditions: <input type="checkbox"/>		Date:		Special Zone or Reviews: <i>[Signature]</i>	
Denied: <input type="checkbox"/>		Signature:		Date:		<input type="checkbox"/> Shoreland <i>W/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Zone C panel</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: MG		Date Applied For: 07 December 1998					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

07 December 1998

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: *[Signature]*

CEO DISTRICT *[Signature]*

COMMENTS

2/4/99 On-Site with Mike Pinard Footings in Rebar added at steps to pin adjacent walls request survey to verify setbacks DC

3/1/99 Foundation OK DC

3/19 Rough Framing + Rough Plumbing OK DC  
Setbacks OK DC

4/20/99 Final OK DC

Inspection Record

Type

Foundation: \_\_\_\_\_

Framing: \_\_\_\_\_

Plumbing: \_\_\_\_\_

Final: \_\_\_\_\_

Other: \_\_\_\_\_

Date

DC 3/1/99

## BUILDING PERMIT REPORT

DATE: 10 Dec. 1998 ADDRESS: 11 BUCA RUN (LOT #15) CBL (336-E-065)  
REASON FOR PERMIT: To Construct a single family dwelling  
BUILDING OWNER: Custom Built Homes of Maine  
CONTRACTOR: \_\_\_\_\_  
PERMIT APPLICANT: \_\_\_\_\_  
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

### CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*2, \*2.5, \*2.6, \*3, \*6, \*8, \*9, \*10, \*11, \*12,

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- \*2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- \*3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)  
Headroom in habitable space is a minimum of 7'6". (Section 1204.0)  
Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise. (Section 1014.0)  
The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special

MARGE -

ATTACHED IS OUR MORTGAGE  
INSPECTION DATED 6-2-99,  
THE SUBDIVISION PLAN,  
AND THE PLOT PLAN  
SUBMITTED, WITH THE CITY  
FILE.

COULD YOU PLEASE REVIEW  
THIS & CALL ME W/GOOD  
NEWS?

THANKS!

CAR PHONE

229-4603

DAVE HUGHES

FAX

967-4831

Practical  
Difficult  












Specially printed for David Hughes  
Ordered by David  
Questions about your order?  
Email us at [orders@ofoto.com](mailto:orders@ofoto.com)



ORDER SUMMARY  
Jun 26 2002 12:36 PM  
Shipment Number:  
575838631  
Order Number:  
46350976403  
5x7 Prints: 4



**DIVERSIFIED PROPERTIES, INC.**  
P.O. BOX 10127  
PORTLAND, ME 04104  
TEL (207) 773-4988  
FAX (207) 773-6875

April 23, 1999

TO: Glen Gervais  
Custom Built Homes of Maine

SENT VIA FAX

FROM: Jim Wolf

RE: Lot 13 & 15 Buca Run

Pursuant to the closing statement we have withheld \$1,500 per lot for the completion of loaming and seeding. We understand that the work will be performed within the next 90 days. If you have any questions, please contact me.

*Per Brian Request  
RWE*

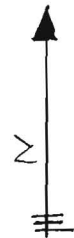
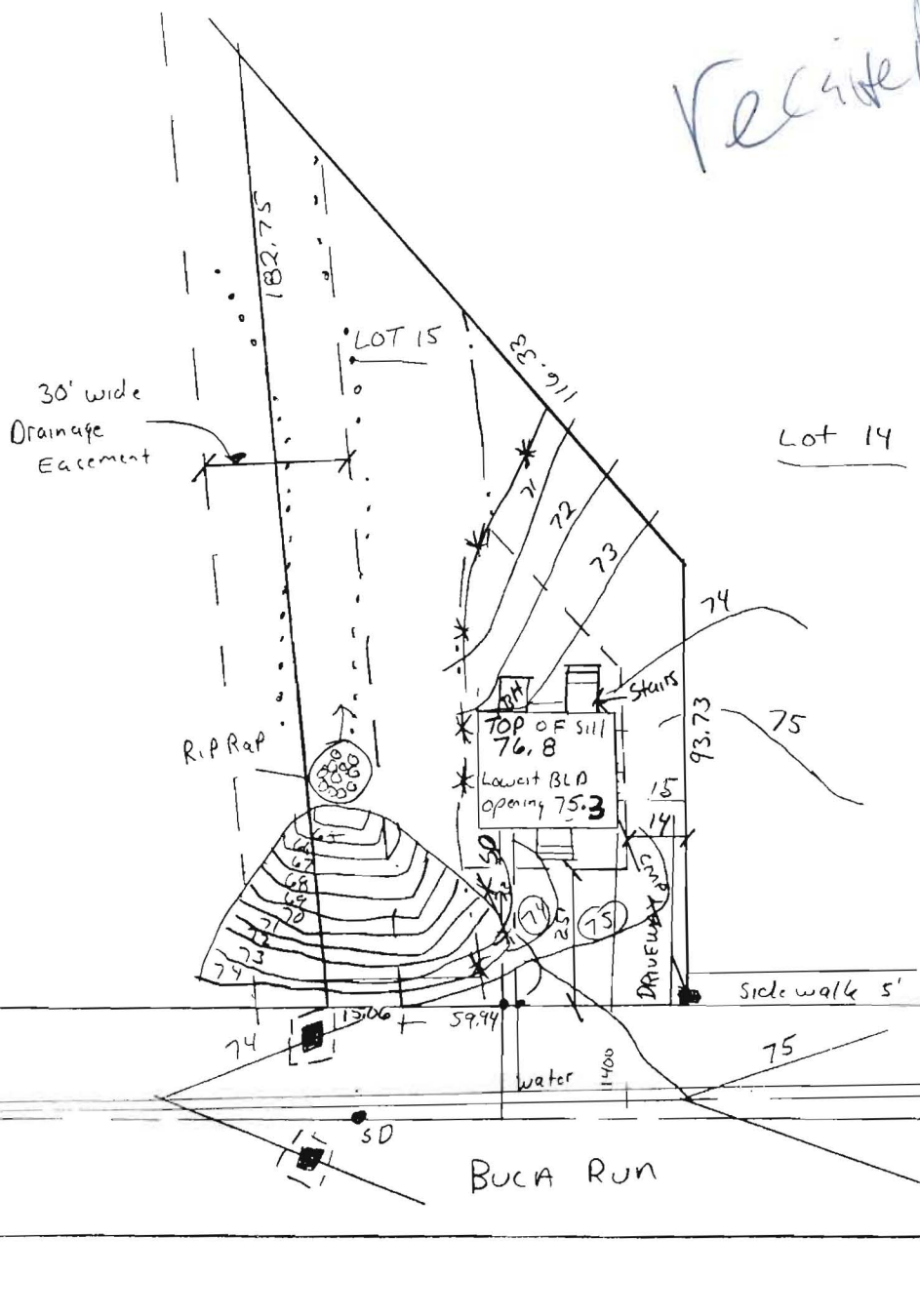
*Plz mail*

*CO For Lot 13, 15*

*to ... 3, 12*

*Home  
27 main Street  
Winham ME  
01*

Received 12/17/98



Scale 1" = 40  
set Back front 25  
side 14  
Back 25

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK \_\_\_--\_\_\_ PAGE \_\_\_--\_\_\_ COUNTY Cumberland  
 PLAN BOOK 198 PAGE 379 LOT 15

ADDRESS: 11 Buca Run, Portland, Maine

Job Number: 243-75

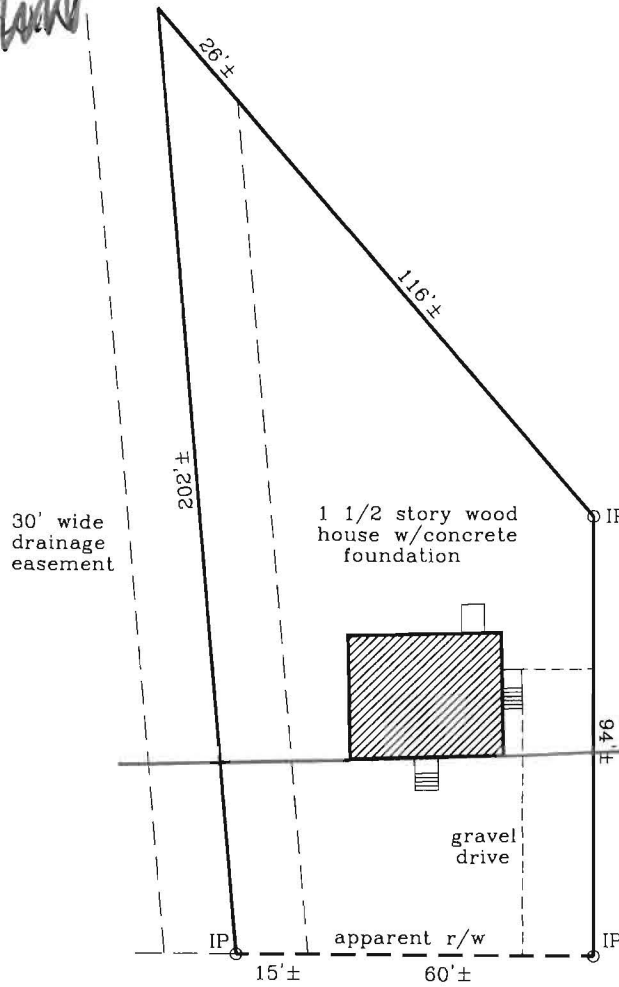
Inspection Date: 6-2-99

Scale: 1" = 40'

Buyer: Stephen Reville

Seller: Custom Built Homes of Maine, Inc.

*Handwritten scribbles*



*TM  
336-E-65*

*6/6/02  
Per Dave's  
computer*

*1.9609 x 40 = 78.44*

**ENTERED JUN 08 1999**  
**BILLED JUN 04 1999**

*Handwritten signature*

I HEREBY CERTIFY TO: Guaranty Title, GMAC Mortgage Corporation,  
 and its title insurer.  
 Monuments found did not conflict with the deed description.  
 The dwelling setbacks do not violate town zoning requirements.  
 As delineated on the Federal Emergency Management Agency Community  
 Panel #  
 The structure does not fall within the special flood hazard zone.  
 The land does not fall within the special flood hazard zone.  
 A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright © 1994

**Livingston - Hughes**  
 Professional Land Surveyors & Foresters  
 88 Guinea Road  
 Kennebunkport - Maine 04046  
 207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

as a board care facility pursuant to the regulations promulgated by the State of Maine Department of Human Services.

*Kitchen facilities:* Facilities used for the preparation of meals, including refrigerators and devices used for the cooking and preparation of food.

*Light manufacturing use:* The fully enclosed assembly or fabrication of materials but excluding basic processes such as smelting, refining, distilling, forging, brewing, and similar processes involving converting raw materials to a finished or semifinished product.

*Lodging house:* A house, building or portion thereof containing two (2) or more rooming units and providing such units, with or without meals, to individuals on not less than a weekly or monthly basis for compensation. A lodging house, except for lodging houses located in the IR-2, IR-3 and I-B zones, shall contain common areas for use by all residents, including a kitchen. A kitchen need not be available as part of the common areas where all meals are provided on a daily basis.

*Long term or extended care facility:* An institution or a distinct part of an institution that is licensed or approved to provide full-time convalescent or chronic care, or health care under medical supervision for twenty-four (24) or more consecutive hours, to nine (9) or more individuals who, by reason of advanced age, illness, or infirmity are unable to care for themselves, and who are not related to the governing authority by marriage, blood, or adoption.

*Lot:* Except when reference is made herein to a lot of record, a lot is a single tract of land located within a single block which at the time of filing for a building permit or certificate of occupancy is designated by its owner or developer as a tract to be used, developed, or built upon as a unit under single ownership or control.

*Lot area:* The area of land enclosed within the boundary lines of a lot.

*Lot width:* The distance parallel to the front of the building measured between side lot lines through that part of the principal building where the lot is narrowest.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19980164

I. D. Number

Custom Built Homes of Maine

12/7/98

Applicant

Application Date

27 Main St, Windham, ME 04062

Buca Run #11, Lot #15

Applicant's Mailing Address

Project Name/Description

David McCarthy

11 Buca Run

Consultant/Agent

Address of Proposed Site

892-3149

336-E-065

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) no garage

1536 Proposed Building square Feet or # of Units      11856 Acreage of Site      R-2 Zoning

**Check Review Required:**

- Site Plan (major/minor)       Subdivision # of lots \_\_\_\_\_
- Flood Hazard       Shoreland
- Zoning Conditional Use (ZBA/PB)       Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other \_\_\_\_\_

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \$300.00 Date: 12/7/98

**Inspections Approval Status:**

Reviewer Marge Schmuckal

Approved  Approved w/Conditions see attached  Denied

Approval Date 12/21/98 Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Additional Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

Building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
Performance Fee Paid	_____	_____	
	date	amount	
Permit Issued	_____		
	date		
Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
Performance Guarantee Released	_____	_____	
	date	signature	
Submitted	_____	_____	_____
	submitted date	amount	expiration date
Released			

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19980164

I. D. Number

**Custom Built Homes of Maine**

Applicant

27 Main St, Windham, ME 04062

Applicant's Mailing Address

David McCarthy

Consultant/Agent

892-3149

Applicant or Agent Daytime Telephone, Fax

12/7/98

Application Date

Buca Run #11, Lot #15

Project Name/Description

11 Buca Run

Address of Proposed Site

336-E-065

Assessor's Reference: Chart-Block-Lot

---

**DRC Conditions of Approval**

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 11 Buca Run

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on site. A crushed stone construction entrance shall be placed in the proposed drive.

If the existing curb cut is to be relocated, all work associated with the relocation shall conform to City standard.

---

**Planning Conditions of Approval**

---

**Inspections Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**19980164**

I. D. Number

**Custom Built Homes of Maine**

Applicant

**27 Main St, Windham, ME 04062**

Applicant's Mailing Address

**David McCarthy**

Consultant/Agent

**892-3149**

Applicant or Agent Daytime Telephone, Fax

**12/7/98**

Application Date

**Buca Run #11, Lot #15**

Project Name/Description

**11 Buca Run**

Address of Proposed Site

**336-E-065**

Assessor's Reference: Chart-Block-Lot

- 
1. Separate permits shall be required for future decks, sheds, pool, and/or garage.
  2. Building window as shown on recorded site plan for this lot #15 represents the **MAXIMUM** building area for houses.
  3. The lowest sill elevation shall be 76.8' and the lowest building opening shall be 75.3'. Any change shall require Planning approvals in writing.
- 

**Fire Conditions of Approval**



Applicant: Custom Built Homes

Date: 12/9/98

Address: 11 BUCA RUN (lot #15)

C-B-L: 336-E-65

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New - Bldg Window AS shown on recorded site plan for this lot #15 represents the MAXIMUM building area for houses

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - New single family

Sewage Disposal - City

Lot Street Frontage - 50' req - 75'

Front Yard - 25' req - 25'+ shown

Rear Yard - 25' req - 40'+ shown

Side Yard - 14' req - ~~shows on closest~~ revised - shows 65'

Projections - front stairs - rear bulkhead - (right side stairs (shows encroaching on setback))

Width of Lot - 80' req  $\approx$  81' shown

Height - 2 story salt box

Lot Area - 10,000 # min 11,856 #

Lot Coverage/ Impervious Surface - 20% max

Area per Family - 10,000 #

Off-street Parking - 2 req

Loading Bays - N/A

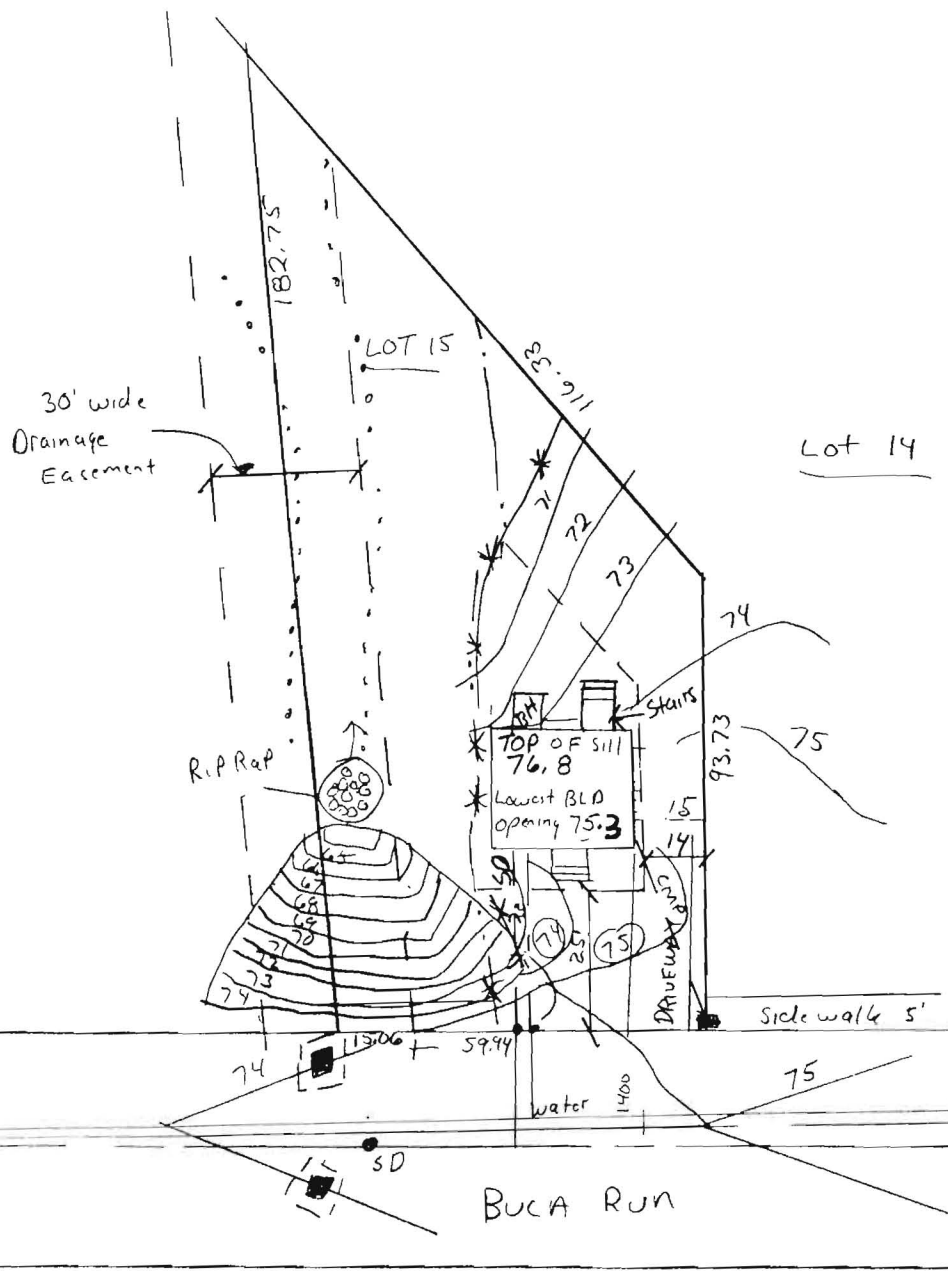
Site Plan - minor minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 1 ~~zone~~

The lowest sill <sup>elevation</sup> shall be 76.8' / The lowest Bldg opening shall be 75.3' ~~shows 75.2'~~

12/9/98 Talked to Dan Mc. he will revise plans & set to me.  
received plans 12/17/98 stairs moved to rear - Setback OK



Scale 1" = 40

set Back front 25  
 side 14  
 Back 25

received  
 12/17/98

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>Lot # 15 Boca Run // Boca Run</i>		
Total Square Footage of Proposed Structure: <i>1536</i>	Square Footage of Lot: <i>11,856</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>336</i> Block# <i>E</i> Lot# <i>65</i>	Owner: <i>Custom Built Homes</i>	Telephone#: <i>892-3149</i>
Owner's Address: <i>Custom Built Homes 27 main st Windham, ME 04062</i>	Lessee/Buyer's Name (If Applicable): <i>N/A</i>	Cost Of Work: <i>\$ 72,000 380</i>
Proposed Project Description:(Please be as specific as possible) <i>Single family House</i>		
Contractor's Name, Address & Telephone <i>Custom Built Homes of ME 207-892-3149 MW</i>		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

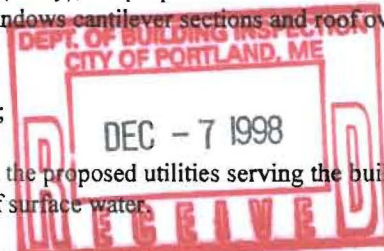
- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (**2 copies are required**). A complete plot plan (Site Plan)includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours



*380 -  
300  
-----  
680*

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Daniel J. McCourt</i>	Date: <i>11/2/98</i>
--	----------------------

Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

19980164

I. D. Number

Custom Built Homes of Maine

Applicant

27 Main St, Windham, ME 04062

Applicant's Mailing Address

David McCarthy

Consultant/Agent

892-3149

Applicant or Agent Daytime Telephone, Fax

12/7/98

Application Date

Buca Run #11, Lot #15

Project Name/Description

11 Buca Run

Address of Proposed Site

336-E-065

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential

Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify)

1536 11856

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review

Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification

Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan Subdivision Engineer Review \$300.00 Date: 12/7/98

Inspections Approval Status:

Reviewer

Approved  Approved w/Conditions see attached  Denied

Approval Date Approval Expiration Extension to  Additional Sheets Attached

Condition Compliance signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted date amount expiration date

Inspection Fee Paid date amount

Building Permit issued date

Performance Guarantee Reduced date remaining balance signature

Temporary Certificate of Occupancy date  Conditions (See Attached)

Final Inspection date signature

Certificate Of Occupancy date

Performance Guarantee Released date signature

Defect Guarantee Submitted submitted date amount expiration date

# Diversified Properties, Inc.

*P.O. Box 10127, Portland, ME 04104  
Tel 207-773-4988 • Fax 207-773-6875*

December 7, 1998

TO: Building Inspection  
City of Portland

FROM Diversified Properties, Inc.

RE: Buca Run

Diversified Properties, Inc. gives permission for Custom Built Homes of Maine to receive a building permit for construction on Lot 15, Buca Run.

If you have any questions, please contact Diversified Properties.

---



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 11 Buca Run (Lot #15) CBL: 336-E-065

Issued to Custom Built Homes of Maine

Date of Issue 4/27/99

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 981425, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Home

**Limiting Conditions:**

Temporary until May 30, 1999  
Monies held for final sitework

This certificate supersedes  
certificate issued

Approved:

4/23/99 *[Signature]*

(Date)

Inspector

*[Signature]*

Inspector of Buildings

*[Handwritten mark]*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

NOW OR F  
AND I  
DERI  
CCRD 102

Lot 21  
20,687 SF

Lot 20  
19,081 SF

Lot 16  
14,759 SF

Lot 22  
26,542 SF

Lot 14  
21,655 SF

Lot 23  
16,980 SF

Lot 13  
46,587 SF

PRIVATE  
SEWER & UTILITY EASEMENT-

HINGHAM STREET  
(TO BE VACATED)

TAX MAP  
336/B/1-8

NOW OR FORMERLY  
GEORGE & THOMAS  
LAFFERTY  
CCRD

TAX MAP  
335/A/3-

NOW OR FORMERLY  
CUSTOM BUILT  
OF MAINE,  
CCRD 9823-

DEDHAM

(TO BE VACATED)

