

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: *** 11 Buca Run		Owner: **** Stephen Reville		Phone: 878-4588		Permit No: 000822	
Owner Address: SAA		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: SAA		Address:		Phone:		Permit Issued: JUL 27 00	
Past Use: single family		Proposed Use: same		COST OF WORK: \$ 1,500		PERMIT FEE: \$ 36.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 4/13 Type: 5B BOCA 99 Signature: <i>[Signature]</i>	
Proposed Project Description: 16x16 deck				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zone: CBL: 336-E-065 Zoning Approval: <i>[Signature]</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: K		Date Applied For: July 21 2000 K		Signature:		Date:	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

**PERMIT ISSUED
WITH REQUIREMENTS**

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: July 21 2000 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *[Signature]*

**PERMIT ISSUED
WITH REQUIREMENTS**

CEO DISTRICT 1

BUILDING PERMIT REPORT

DATE: 22 July 2000 ADDRESS: 11 BUCA RUN CBL: 336-E-065

REASON FOR PERMIT: 16'x16' deck

BUILDING OWNER: Stephen Reville

PERMIT APPLICANT: CONTRACTOR SAC

USE GROUP: R-3/4 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 1,500.00 PERMIT FEES: 36.00

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

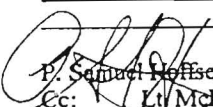
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1, *2, *11, *13, *29, *32, *33

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7' into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

7/21

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
- X29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
- X32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).


 P. Samuel Hoffes, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 1/26/00

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

******CERTIFICATE OF OCCUPANCY FEE \$50.00**

****** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.**



Inspection Services
Michael J. Nugent
Manager

Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

Congratulations !!!!!

**Building or Use Permit Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 11 BUCA RUN

Tax Assessor's Chart, Block & Lot Number Chart# <u>336</u> Block# <u>E</u> Lot# <u>065</u>	Owner: <u>STEPHEN REVILLE</u>	Telephone#: <u>878-4588</u>
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Owner's Address: <u>11 BUCA RUN (04103)</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$1,560</u>	Fee: <u>\$36.00</u>
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Proposed Project Description:(Please be as specific as possible)
16' x 16' RAISED DECK ATTACHED TO REAR OF HOUSE

Contractor's Name, Address & Telephone: SELF Rec'd By: 

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7/18/00</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



**CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling**

Valuation: \$72,000.00 Plan Review # _____
 Fee: 380.00 Date: 10 Dec. 98

Building Location: 11 BOCA Run (Lot #15) CBL: 336-E-065

Building Description: Single Family dwelling

Reviewed by: S. Hoffer

Use or Occupancy: R-3 Type of Construction: 5B
 *NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan & building code requirements must be completed before a Certificate of Occupancy can or will be issued	111.0
2.	Foundation Toss	
3.	Foundation drain	1813.5
4.	Foundation anchor	2305.12
5.	Concrete protection	1908.0
6.	Chimney & vents, BOCA MoCh/1993 chapter 12	NFPA 211
7.	Guards & handrails	1021.0 1022.0
8.	Headroom hab. Tabl space	1204.0 1021.0
9.	Stair construction	1014
10.	Sleeping room egress	1018
11.	Smoke detectors	920.3.2
12.	Ventilation	1210.0
13.	Elec. Plumbing permits	

Correction List		
NO:	Description	Code Section
14.	Fastening (Table 2305.2) schedule	2305.2
15.	Boring, cutting and natching 2305.3, 2305.4.4	2305.3, 2305.4.4
16.	Glass & glazing	Chapter 24

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SA Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
SA Anchorage bolting in concrete (2305.17)
X Columns (1912)
SA Crawl space (1210.2) Ventilation
X Crawl opening size (1210.2.1)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~X~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)
- _____
- _____
- _____

State Plumbing Code

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>46 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SR Labeling (2402.1)
- Louvered window or jalousies (2402.5)
- Human impact loads (2405.0)
- Specific hazardous locations (2405.2)
- Sloped glazing and skylights (2404)
- _____
- _____
- _____
- _____
- _____

Private Garages (Chapter 4)

- NA General (407)
- Beneath rooms (407.3)
- Attached to rooms (407.4)
- Door sills (407.5)
- Means of egress (407.8)
- Floor surface (407.9)
- _____
- _____

Egress (Chapter 10)

- ~~SR~~ One exit from dwelling unit (1010.2)
- ~~SR~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NR~~ Ramp slope (1016.0)
- ~~SR~~ Stairways (1014.3) 36" W
- ~~SR~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SR~~ Solid riser (1014.6.1)
- ~~NR~~ Winders (1014.6.3)
- ~~NR~~ Spiral and Circular (1014.6.4)
- ~~SR~~ Handrails (1022.2.2.) Ht.
- ~~SR~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SR~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SR~~ Location and interconnection
- ~~SR~~ Power source

Dwelling Unit Separation

Table 602





CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: April 16, 1999

SUBJECT: Certificate of Occupancy
11 Buca Run (lot 15)

On April 16, 1999 I reviewed the site for compliance with the conditions of approval dated 12-16-98. My comments are:

1. The street number must be placed on the house.
2. The final site work could not be completed due to the time of year. In addition to loaming and seeding and the two trees, repair to the existing common curb cut for this lot and lot 14, and installation of riprap along the roof drip line of the house and the slope where the roof runoff drains down the slope shall be included in the site work. The riprap shall be 3' wide with a D50 stone size of 4", a thickness of 9" with a liner of geotextile between the stone and the embankment soil. This work must be completed by May 30, 1999.

It is my opinion that when item 1 above is completed a **temporary Certificate of Occupancy could be issued** assuming Code Enforcement has no outstanding issues.



DECK INFORMATION

To apply for a deck permit, the following information shall be with your application.

1. Plot Plan showing distances to all lot lines from proposed deck.
2. Type of foundation.
 - a. Full foundation (concrete or other) 8" _____ 4' below grade and on footing _____.
 - b. Frost wall (concrete or other) 8" _____ 4' below grade on footing _____.
 - c. Piers (sono tube big foot etc.) 8" _____, 10" _____, 12" _____ other _____.
 - d. Spacing of piers 4' _____, 6' _____, 7' _____, 10' _____.
 - e. Other _____
3. Columns (material between foundation (piers) and framing).
 - a. Steel size 4" _____ other _____.
 - b. Wood size 4"x4" _____ 4"x6" _____ other 6"x6" ✓

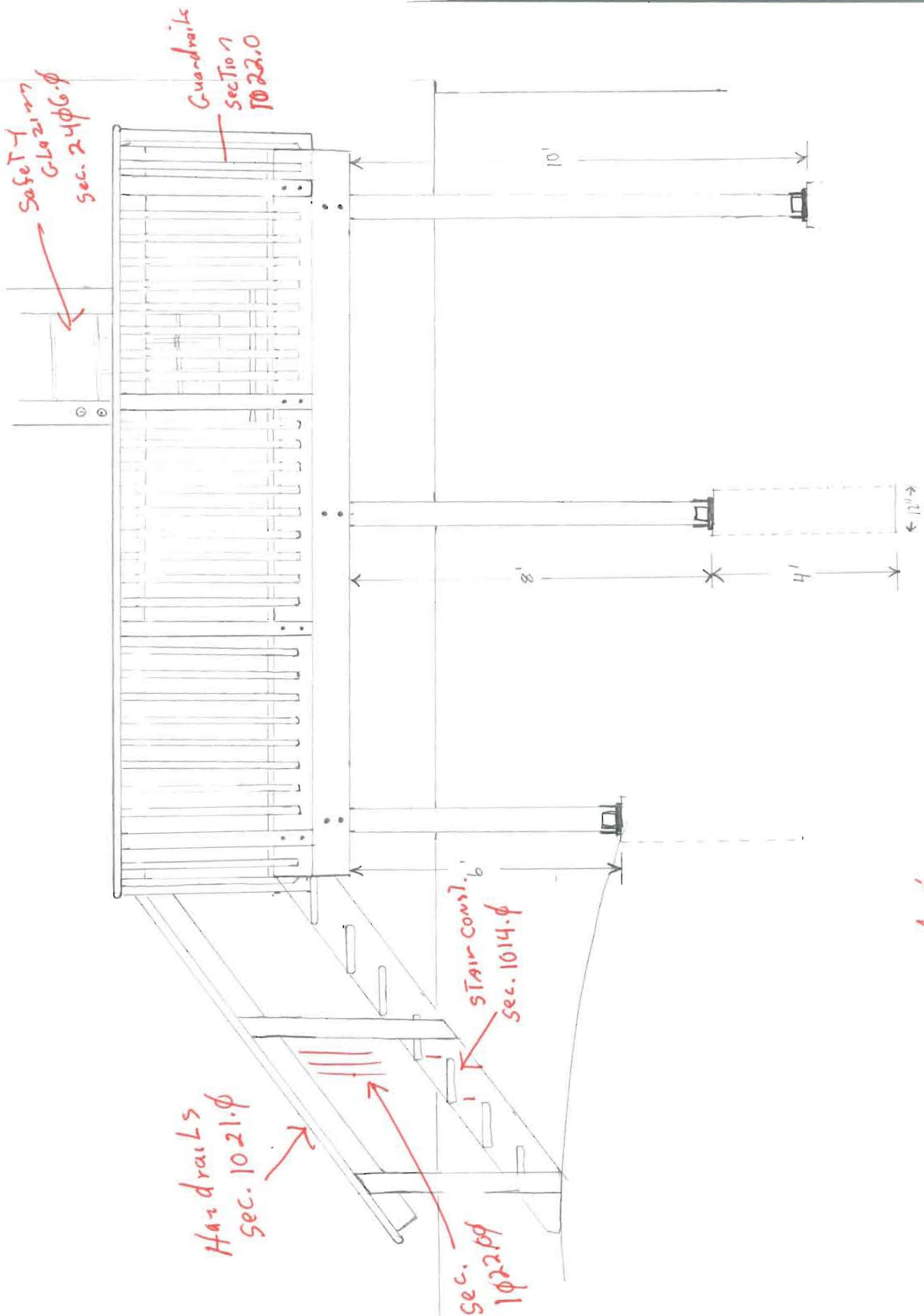
✓ Fasteners shall be used between building element.
4. Framing members.
 - a. Ledger (attached to building) 2x6" _____ 2x8" _____ 2x10" _____ 2x12" _____
 - b. Joist – span (carries decking) 6' _____ 8' _____ 10' _____ 12' _____ 14' _____ ✓
 - c. Joist – size 2x6" _____ 2x8" _____ 2x10" _____ ✓ 2x12" _____ other _____.
 - d. Spacing of joist 16" _____ ✓ 18" _____ 24" _____ or other _____.
5. Beam spacing (distance between supporting piers)
 - a. 6' _____ 7' _____ ✓ 10' _____ 12' _____
 - b. Beam size 2-2x6 _____ 2-2x8 _____ 3-2x10 _____ ✓ 2-2x12 _____ other 3-2x10 ✓
 - c. Decking size _____.

All decks in Use Group R-3 over 15 1/2" above grade shall have a guard system.

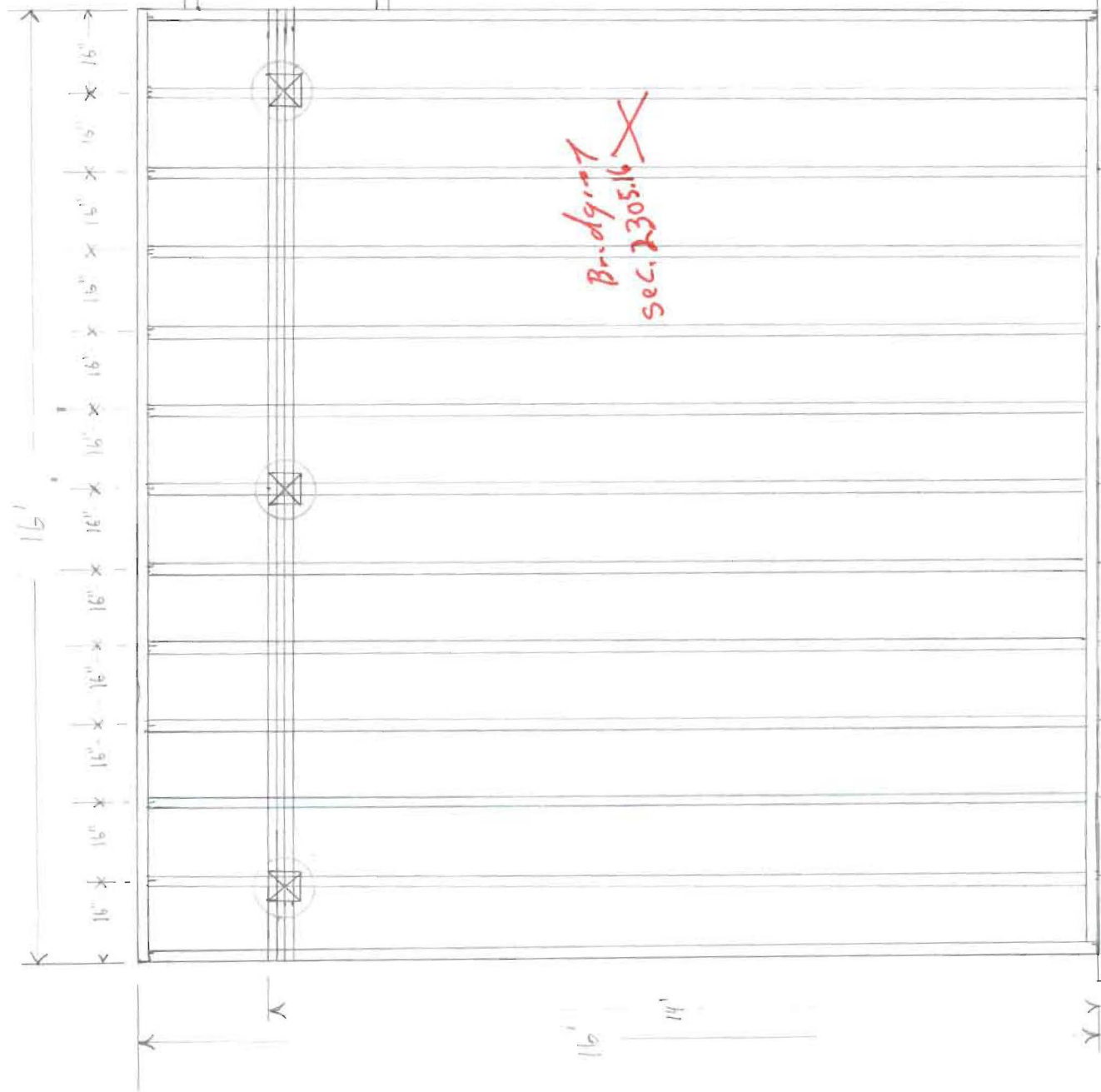
6. Guardrail heights (decks between 15 1/2" and 30" above grade can be 36" in height).
 - a. Over 36" above grade a 42" guardrail system shall be used.

36" _____ 42" _____ ✓

Open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have ornamental pattern that would provide a ladder effect. If stairs are part of the deck system see attached requirements for stairs.



Arch = Sam.



VERTICAL POSTS $6'' \times 6''$ ✓

HORIZONTAL BEAM $3 \times 2'' \times 10''$'s ✓

ALL JOISTS AND LOGS $2'' \times 10''$'s ✓

JOISTS ATTACHED WITH JOIST HANGERS ✓

FOOTINGS $12''$ DIAMETER CONCRETE ✓

$4'$ BELOW GRADE ✓

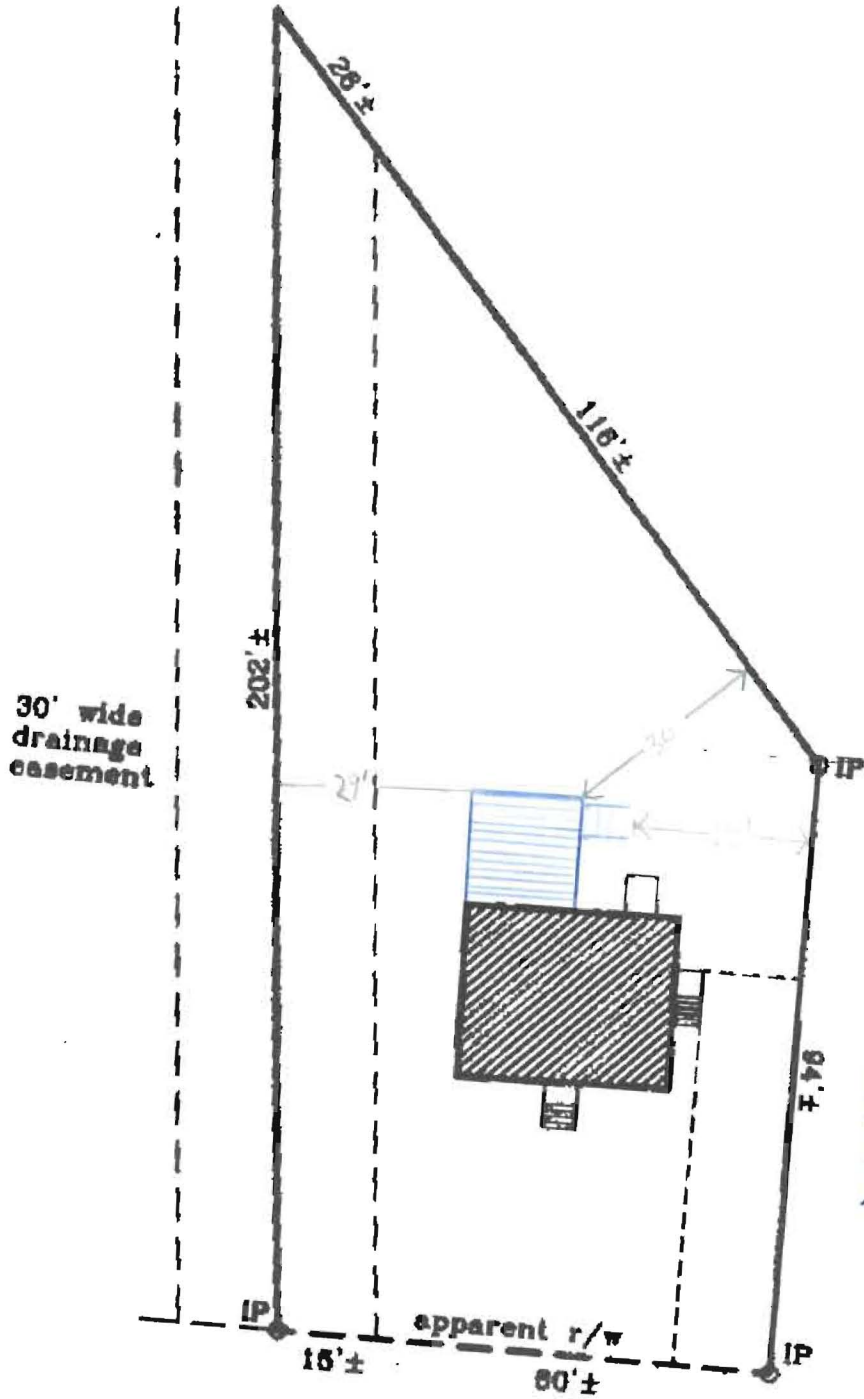
RAILINGS $42''$ HIGH WITH ✓

BAULSTERS ON $4''$ CENTERS ✓

~~Bridgway
sec. 2305.16 X~~

16' 14'

Plot Plan



R-2

REAR: 25' req - 25' s/bm
 Side: 12' req - 27' s/bm
 Front: N/A

ok per original envelope



Certificate of Occupancy

LOCATION 11 Boca Run (lot #15) 336-E-65

Issued to Custom Built Homes of Maine

Date of Issue

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 981425, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Home

Limiting Conditions:

Temporary till May 30 1999
Movers held for final sitework

This certificate supersedes certificate issued

Approved:

.....
(Date)

Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.