

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-1150	Issue Date: 29 2001	CBL: 336 E064001
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Location of Construction: 7 Buca Run Lot #14	Owner Name: Flagg Richard R &	Owner Address: 7 Buca Run	Phone: 207-878-6503
Business Name: n/a	Contractor Name: Sunrise Home Inc.	Contractor Address: Portland	Phone: 2078398801
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Garages - Attached	Zone: R2

Past Use: Single Family	Proposed Use: Same: Build a 24' X 26' Attached Garage	Permit Fee: \$192.00	Cost of Work: \$27,500.00	CEO District: 1
Proposed Project Description: Build a 24' X 26' Attached Garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A	INSPECTION: Use Group: B3 Type: SB BOCA Signature: DC 9/20	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: N/A Date:		

Permit Taken By: cih	Date Applied For: 09/07/2001	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minr <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/20/01 DC	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/20/01 DC

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 7 BUCA RUN - (Lot #14)

Total Square Footage of Proposed Structure <u>624 SF.</u>	Square Footage of Lot <u>21,655 s.f.</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>336</u> Block# <u>E</u> Lot# <u>64</u>	Owner: <u>FLAGG, RICHARD + ELAINE</u>	Telephone: <u>878-6503</u>
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Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Richard Flagg</u> <u>7 Buca Run</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>27,500 -</u> Fee: \$ <u>189 -</u>
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Current use: Single family residence

If the location is currently vacant, what was prior use: \_\_\_\_\_

Approximately how long has it been vacant: \_\_\_\_\_

Proposed use: \_\_\_\_\_

Project description: 24 x 26 attached 2-car garage

Contractor's name, address & telephone: Ken Beesley - Sunrise Home Inc.  
839-8801

Who should we contact when the permit is ready: owner - Richard Flagg

Mailing address: 7 Buca Run  
Portland, ME  
04103

Phone: 878-6503

Call  
to

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Ken R Flagg</u>	Date: <u>9-7-01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

2-2  
21,462 SF

Applicant: Richard + Elaine Flagg

Date: 7/19/01

Address: 7 Bunker

C-B-L: 336-ET4

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing <sup>with</sup> w/ margins.

Zone Location - R-2

Interior or corner lot - Interior

Proposed Use/Work - 24x26 Garage

Sewage Disposal - City

Lot Street Frontage - 50' +

Front Yard - 25' - 26' shown

Rear Yard - 25' → 30' - 6" shown

Side Yard - 14' 2 story (12' for 1 + 1/2 story) → 13' - 2" shown (scaled)

Projections - Rear deck + bulkhead

Width of Lot - 80' shown - OK

Height - 20' scaled

Lot Area - 21,462 SF

Lot Coverage/ Impervious Surface - 20%

Area per Family - ~~2000 sq ft~~

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

2/3 of 1st flr =  
416 SF

2nd flr = 372 SF

24x32 House	768
24x26 Garage	624
12x16 deck	192
30SF bulkhead	30
	<hr/>

4292.4 SF → 1644 SF  
OK



DUPLICATE

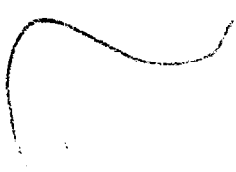
GENERAL RECEIPT

# CITY OF PORTLAND, MAINE

DEPARTMENT Inspection DATE 9/7/01  
RECEIVED FROM Richard Flanagan  
ADDRESS 1 Bruce Runn LST 14

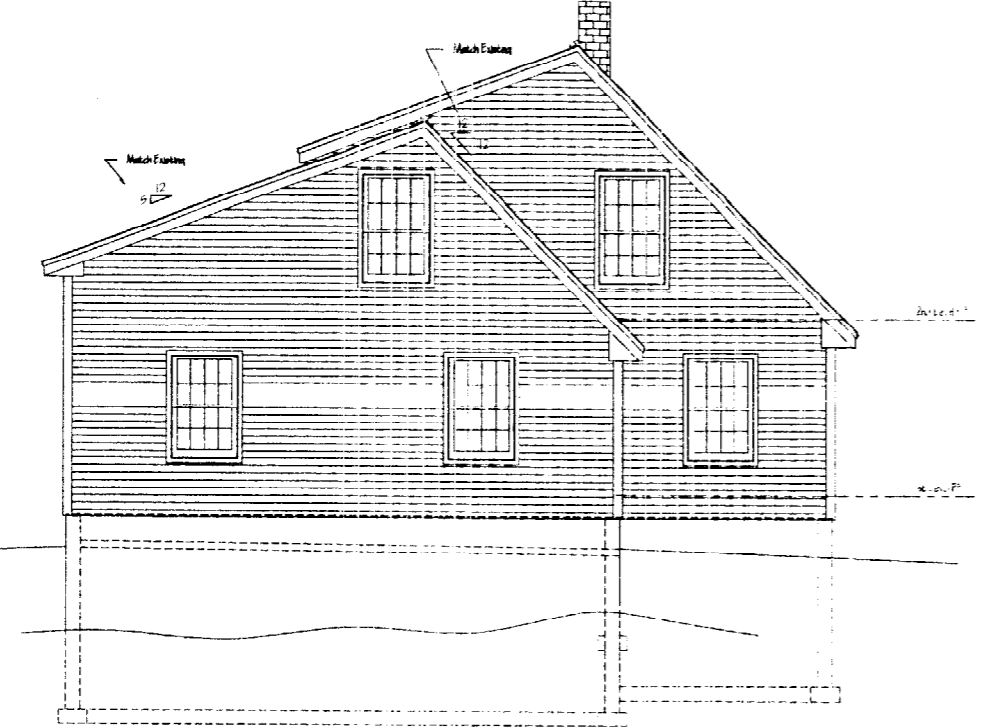
UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	24 x 95 gages	J	189.00
	check # 2379		
	CBL 336 E	064	
<input type="checkbox"/> CASH	<input checked="" type="checkbox"/> CHECK	<input type="checkbox"/> OTHER	TOTAL 189.00

RECEIVED BY [Signature]

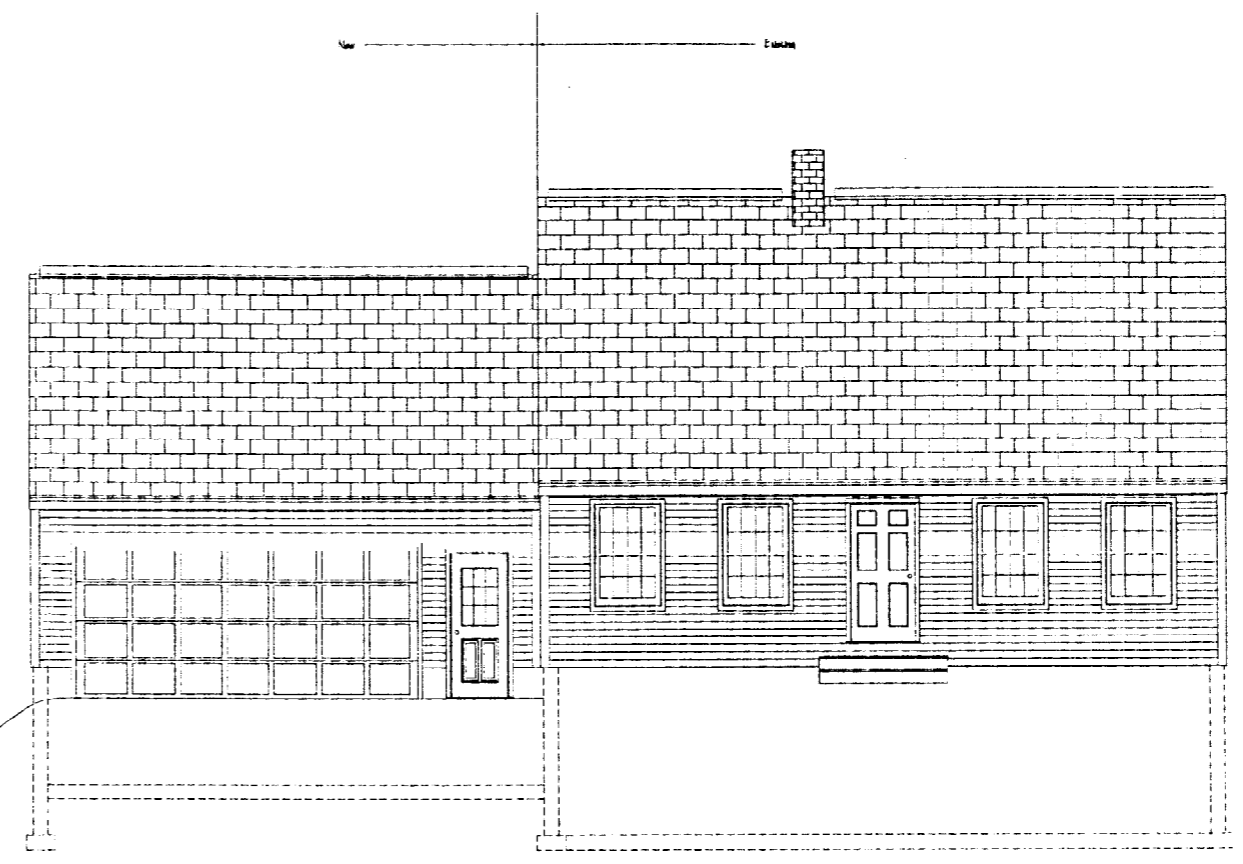


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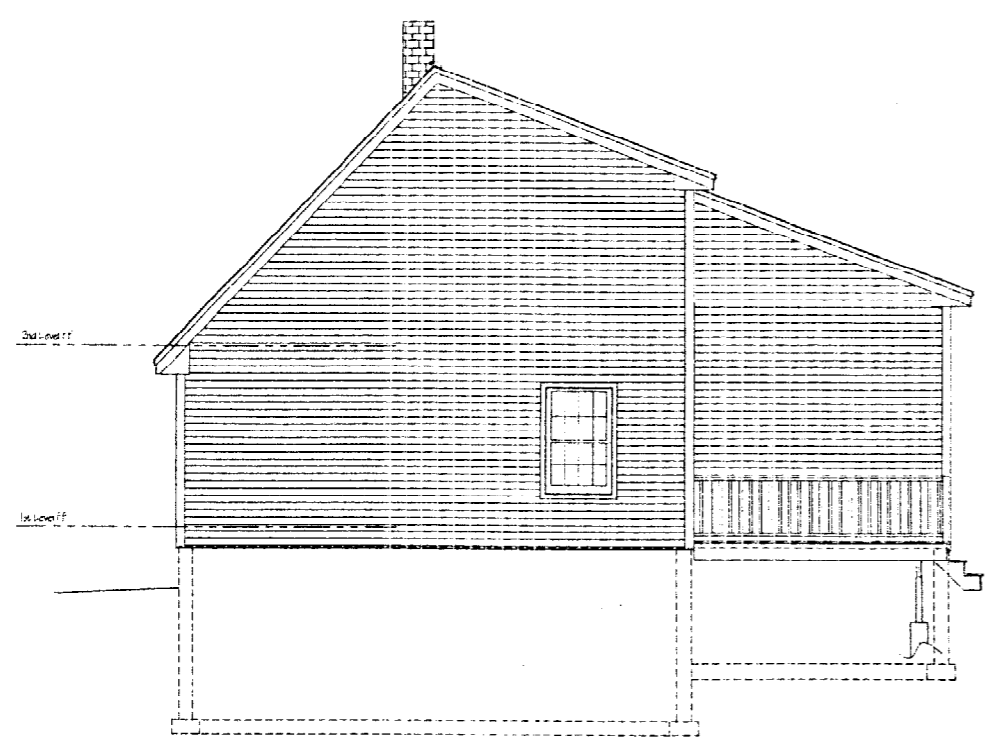
**Disclaimer Notes:**  
 All Drawings, Plans, Sketches Etc. Are Provided to our Clients Based Upon Information Provided by the Client and Owner in Accordance with Current Building Practices and Local Codes.  
 None of the Employees nor the Owner of Northeast Design Drafting and Engineering are Licensed Architects, Engineers or Licensed Surveyors.  
 All Local Building Requirements Should be Verified by a Registered Engineer or Architect, and are the Sole Responsibility of the Client and/or Contractor.  
 All Dimensions, Codes, Specifications, Construction Techniques and Details Shall be Reviewed by the Client and/or Contractor prior to construction.  
 Northeast Design Drafting and Engineering and its Owner shall be held harmless for any and all such errors and omissions.  
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 Northeast Design Drafting and Engineering Retains Ownership of All Drawings, Reproductions and/or Sale of any and All Drawings, in Whole or in Part, Without Written Consent of Northeast Design Drafting and Engineering.



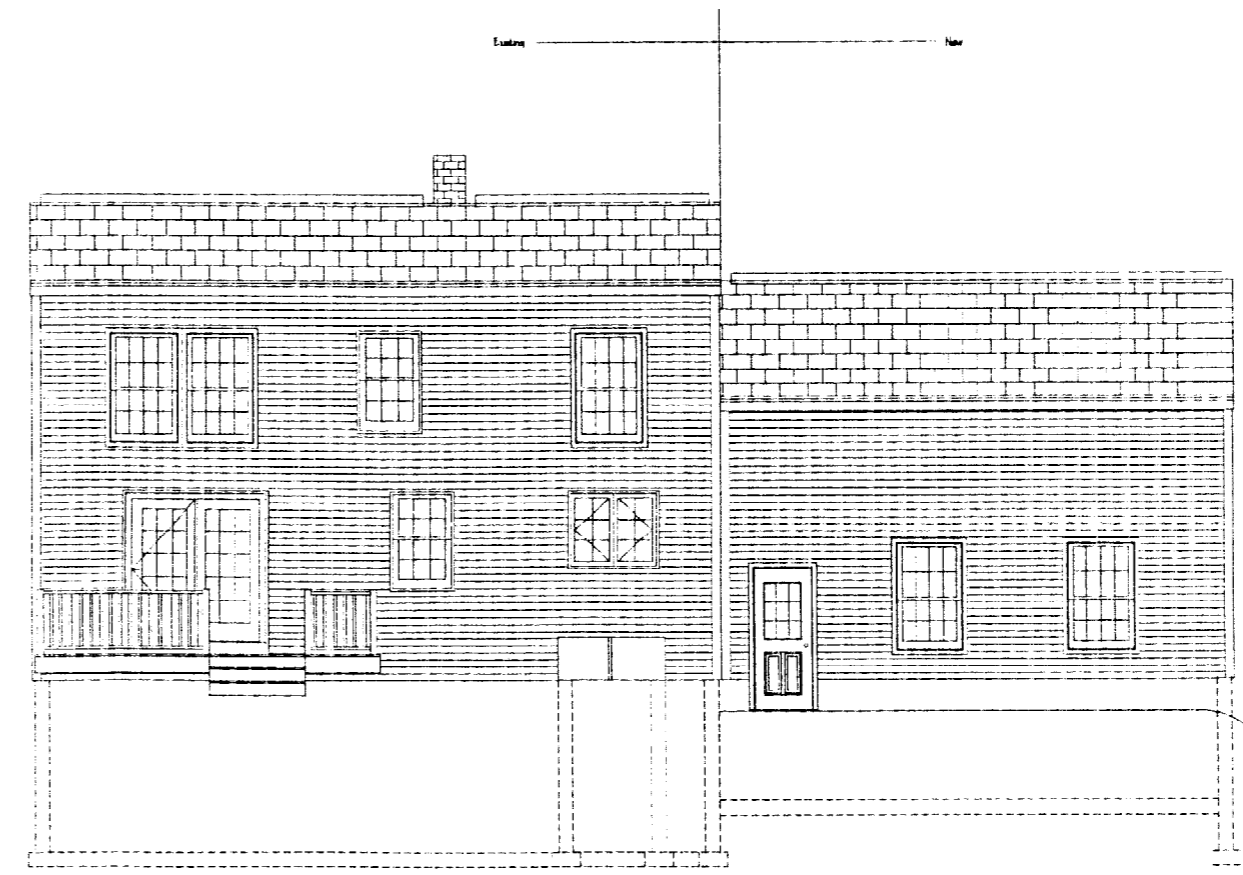
Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

**NORTHEAST DESIGN DRAFTING**

DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE

1000 1/2 S. Foothill Blvd. Portland, ME 04108

Richard Flagg & Elaine Roy  
 Co-owners/Architects  
 7 Bruce Rd.  
 Portland, Maine

PROJECT FOR:

Elevations

DATE: TITLE:

STAMP:

DESIGN	DATE
CHECKED	DATE
APPROVED	DATE
SCALE	1" = 1/2" (1/4" = 1')
DATE	10/20/21

DRAWING NO.

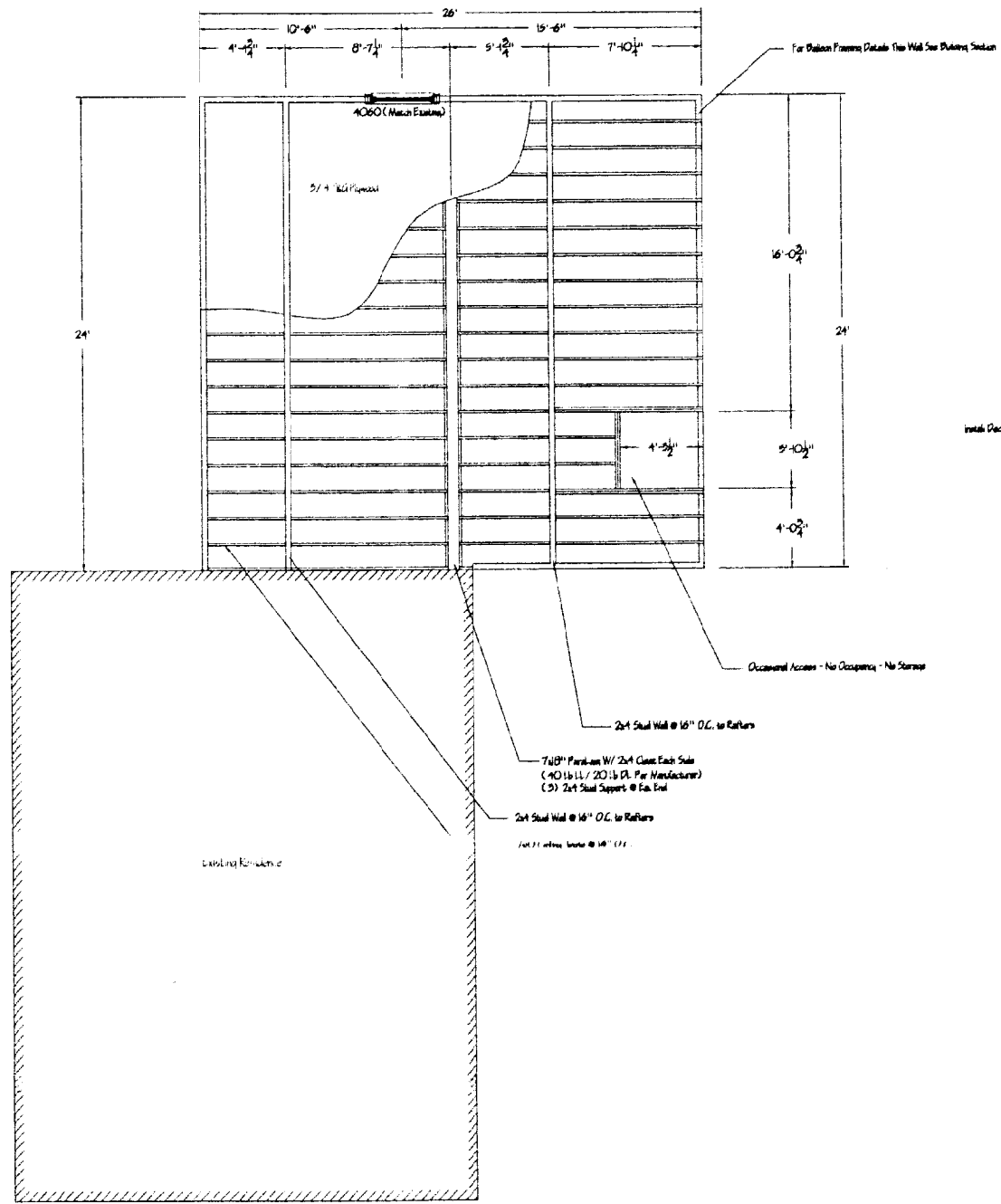
62301-1

SHEET 1 OF 3

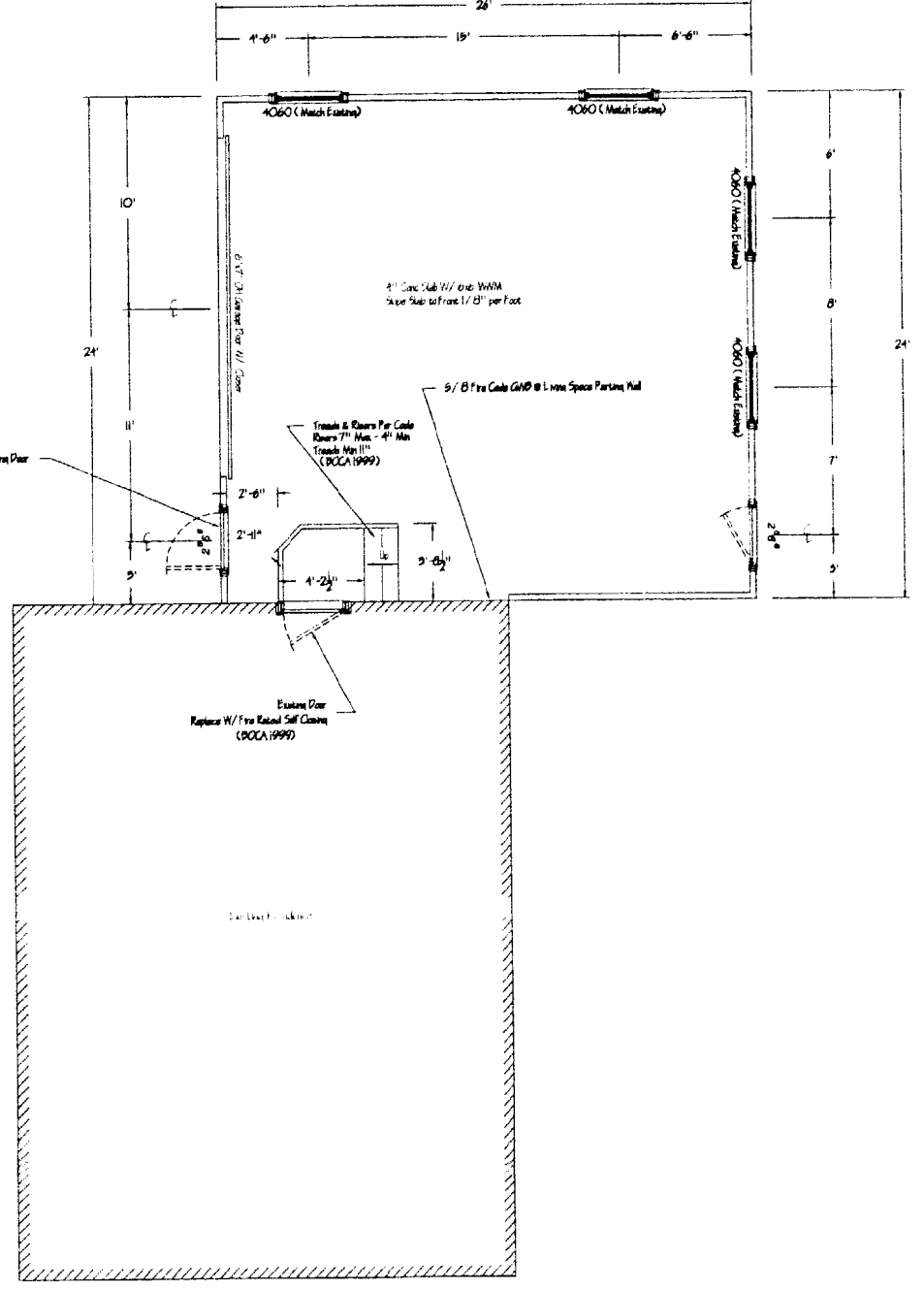
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**Disclaimer Notes:**  
 A. Drawings, Plans, Specifications, etc. are prepared to the extent of the information provided by the Client and shown in accordance with Common Building Practices and local Codes.  
 B. None of the Engineers or the Owner of Northeast Design Drafting are Registered Architects, Engineers or Land Surveyors.  
 C. Local Building Requirements should be verified by a Registered Engineer or Architect and are the sole responsibility of the Client and/or Contractor.  
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 E. Northeast Design Drafting, its Engineers and its Owner shall be held harmless for any and all such errors and omissions.  
 F. Northeast Design Drafting assumes no liability for changes and/or revisions to the Plans by the Client and/or Contractor.  
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 The Customer for which these Plans were prepared is hereby acknowledged as the owner of the Plans and the Plans are the property of Northeast Design Drafting.  
 H. Northeast Design Drafting retains ownership of all Plans, Specifications and all such drawings in whole or in part without written consent from Northeast Design Drafting.



Ceiling Joist & rafter Support Framing



Floor Plan

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 115 Sunnyside Portland, ME 04107 Phone: 207.764.7116 Fax: 207.764.0400

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

REV.	DESCRIPTION	DATE

DATE	4/20/01
DATE	05/23/01
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	583301
DRAWING NO.	

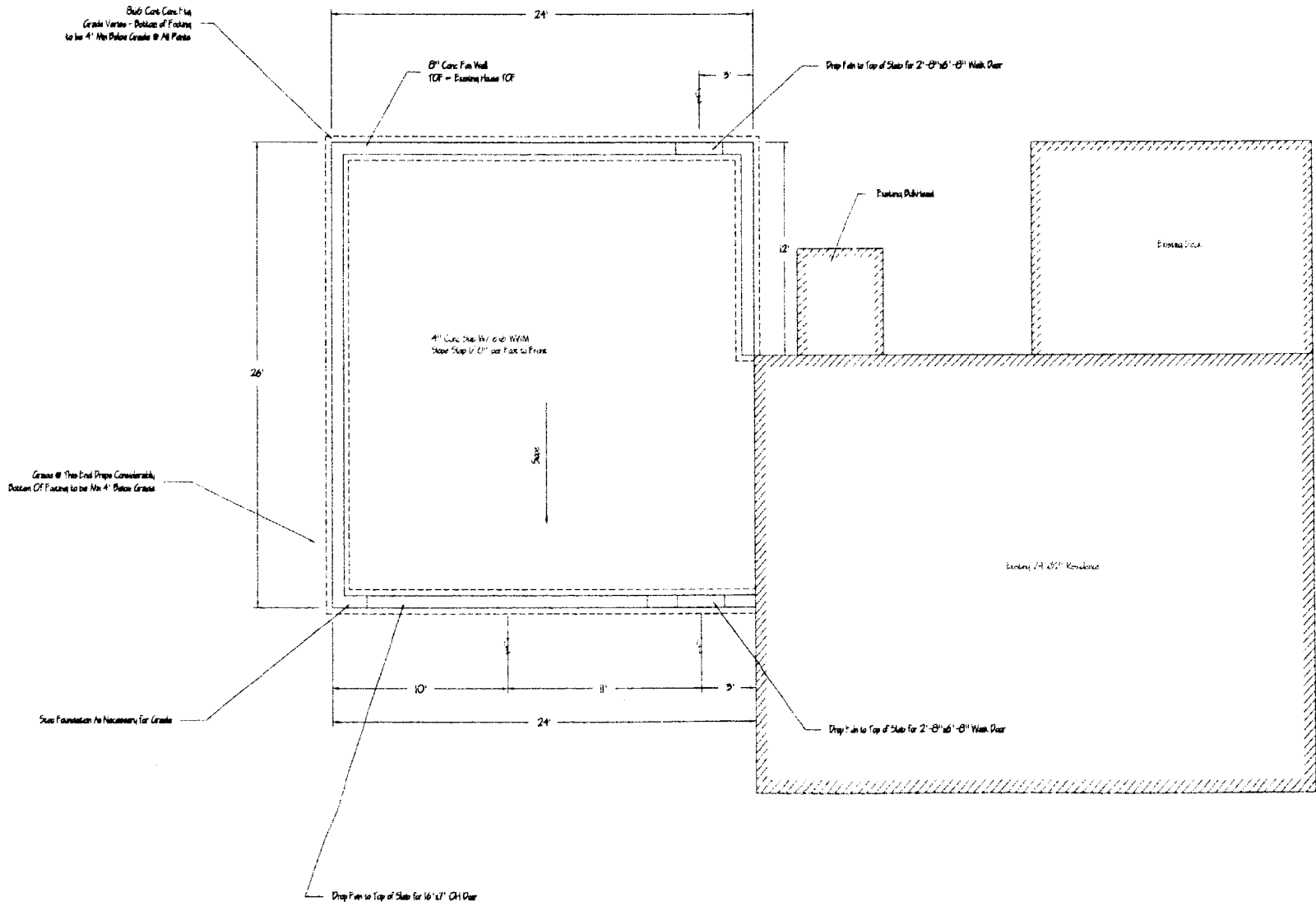
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**Disclaimer:**  
 A drawing, plan, specification, or proposal for construction prepared by the client and drawn in accordance with common building practices and local codes.  
 Name of the Employer or the Owner of Northeast Design Drafting and Related Architects, Engineers or Land Surveyors.  
 All Load Bearing Requirements shall be verified by a Registered Engineer or Architect and are the Sole Responsibility of the Client and/or Contractor.  
 All Dimensions, Codes, Specifications, Construction Techniques and Materials shall be reviewed by the Client/Contractor Before Construction Begins.  
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 Northeast Design Drafting Retains Ownership of All Designs, Reproductions and/or Sale of any and All Designs or Services, Materials Without Written Consent from Northeast Design Drafting.

**General Notes:**  
 All Construction per BOCA 2014 Edition  
 Concrete Walls in Unfinished - #4 @ 24" Facing Down @ 45' OC  
 Anchors @ Corners @ 6' OC  
 Concrete 3000 PSI Walk, Slab & Footing  
 Soil Bearing 2500 PSF  
 All Footings to Frost Depth  
 4" Conc. Slab on 6" Vapor Barrier on 8" Min. Structural Stone  
 Control Joints as Indicated



**Foundations:**  
 10" Conc. Wall = 48" O.C. Slabs  
 8" Conc. Wall = 24" O.C. Slabs

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 55 Sunset Street Portland, ME 04105 Phone 207.797.7776 Fax 207.876.6662

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

PROJECT TITLE: **Foundation Plan**

NO.	DATE	DESCRIPTION

DESIGNER	DATE
CHECKED	DATE
SCALE	1" = 1'-0"
JOB ORDER	38-101
DRAWING NO.	

62301-3

SHEET 1 OF 5

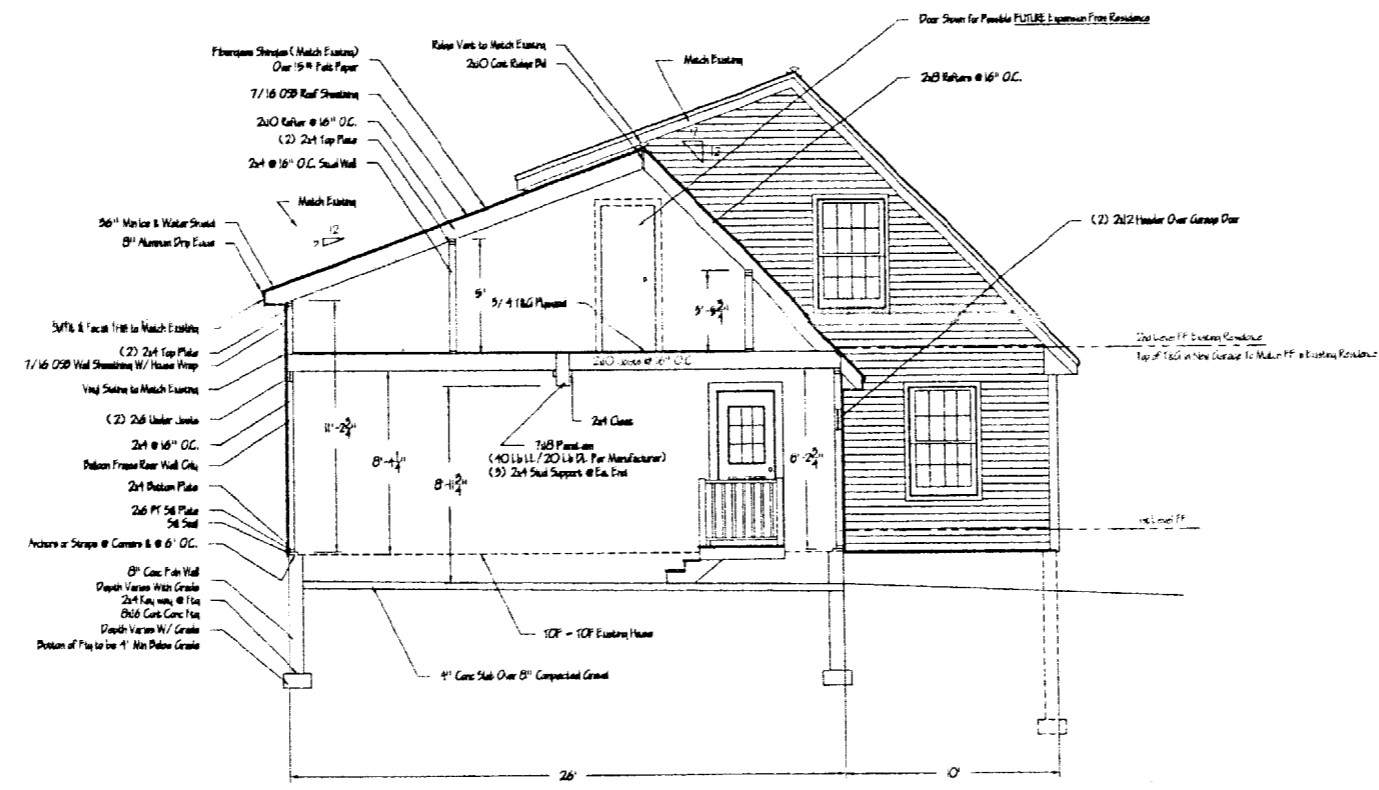


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**Disclaimer Notes:**  
 A. Drawings, Plans, Schedules, etc. Are Provided to the Client Based Upon Information Provided by the Client and Drawn in Accordance with Common Building Practices and Local Codes.  
 B. Name of the Engineer for the Client of Northeast Design Drafting and Registration Architects, Engineers and Land Surveyors.  
 C. All Local Statute Requirements Should be Verified by a Registered Professional Engineer and are the Sole Responsibility of the Client and/or Contractor.  
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 H. The Customer for Which These Plans Were Developed is Being Charged for Drafting Services Only. Ownership of the Design Depicted in These Plans is the Sole Property of Northeast Design Drafting.  
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- General Notes:**  
 Refer to Building Section for Header & Ceiling Joist Sizes  
 Roof Ridge Support Comes to Basement  
 All Construction per BOCA Local Edition
- Roofing Specifications:**  
 Floor System:  
 Joists as Indicated on Floor Framing Plan  
 1/2" Gypsum Board on Ceiling Joist  
 2x6 PT 5/8" Plate w/ 5/8" Seal  
 Insulation as Indicated
- Exterior Walls:**  
 2x4 Studs @ 16" O.C.  
 (2) 2x4 Top Plate  
 2x4 Bottom Plate  
 7/16" OSB Wall Sheathing  
 Insulation as Indicated  
 Siding & Finish Trim per Customer Spec.
- Interior Walls:**  
 2x4 Studs @ 16" O.C.  
 (2) 2x4 Top Plate  
 2x4 Bottom Plate
- Floor System:**  
 Joists per Roof Framing Plan  
 7/16" OSB Roof Sheathing  
 1 1/2" Ins.  
 Fiberglass Straps  
 Ins. Strapped @ Base (top 5' Min)  
 3/4" Aluminum Drip Edge
- Insulation:**  
 5x8 R13
- Ventilation:**  
 Vinyl Soffit Vent  
 Rakes, Core Soffit Vent
- Roofing:**  
 2x6 Gable End  
 2x4 Studs @ 16" O.C.  
 7/16" OSB Roof Sheathing
- Interior Finish:**  
 Paint (Color per Customer Spec)



Maximum Spans for Headers Located Over Openings in Walls (in Feet)

Size of Header	Headers in Bearing Walls			Headers in Non-Bearing Walls
	Supporting Roof Only	One Story Above	Two Stories Above	
(2) 2x4	4	-	-	-
(2) 2x6	8	4	-	-
(2) 2x8	10	8	0	1
(2) 2x10	12	10	0	10

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buzaf Ln  
 Portland, Maine

DWG. TITLE: House Section  
 DATE: 06/23/01  
 CHECKED: [Signature]  
 APPROVED: [Signature]  
 SCALE: 1/4" = 1'-0"  
 JOB ORDER: 062301

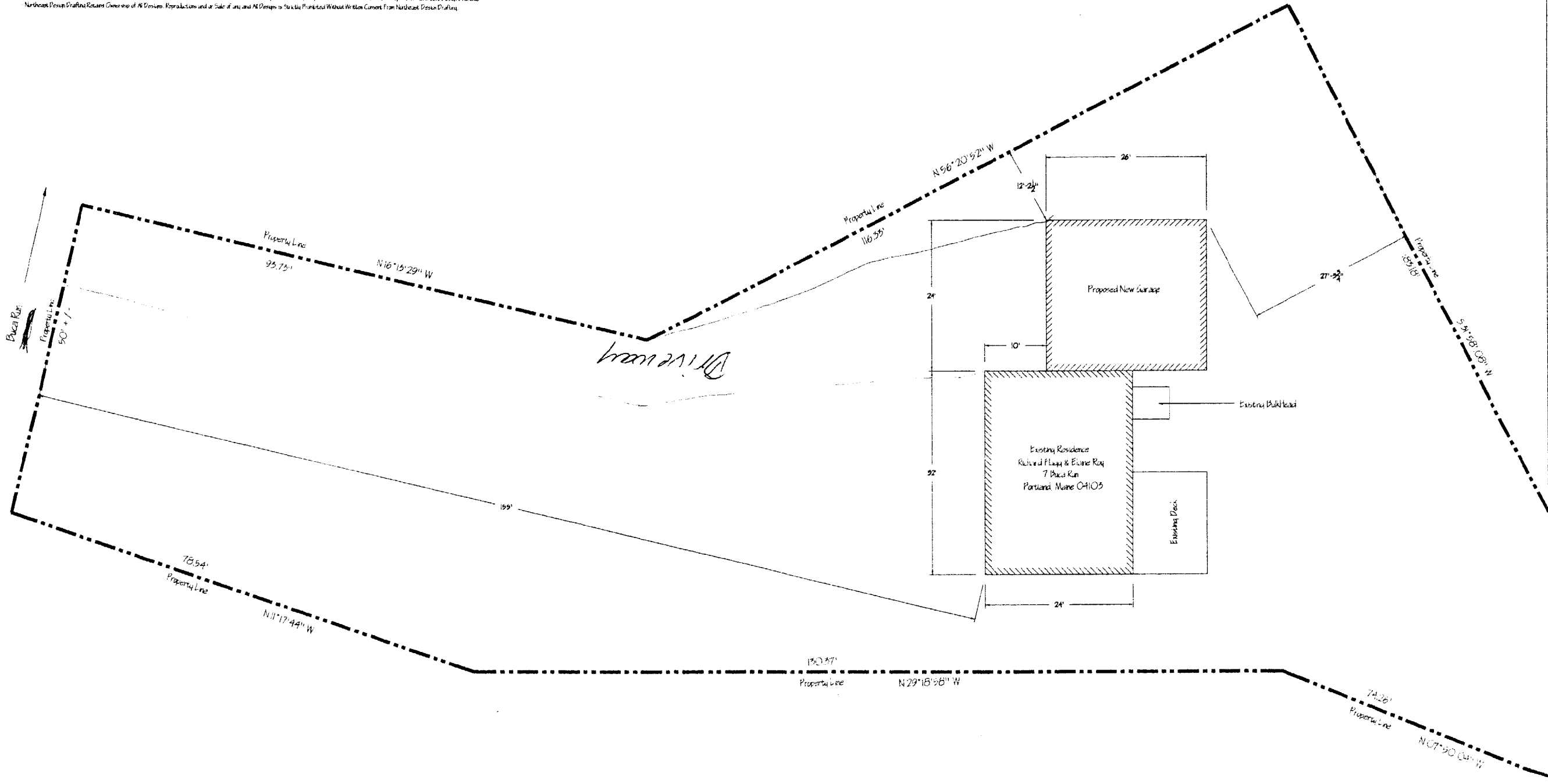
62301-4  
 SHEET 4 OF 5

155 Sumner Street Portland, ME 04101 Phone 207.751.7776 Fax 207.876.0051

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Disclaimer Notes:  
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 - Northeast Design Drafting Retains Ownership of All Designs, Reproductions and or Sale of any and All Designs in Stock by Permission Without Written Consent From Northeast Design Drafting.



Note:  
 Boundary Lines Transposed from Documentation by Land Use Consultants (Fax Dated 3-24-99)  
 and Presented to Northeast Design Drafting by the Property Owner.

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 75 JERRY STREET PORTLAND ME 04102 Phone 207.791.1116 Fax 207.791.0066

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

PROJECT FOR:

REV.	DESCRIPTION	DATE

DWG. TITLE: **Plot Plan**  
 STAMP

DRAWN: M. Long  
 DATE: 06-23-01  
 CHECKED:  
 APPROVED:  
 SCALE: 1" = 1'-0"  
 JOB NUMBER: 62301  
 DRAWING NO:

62301-5  
 SHEET 5 OF 5

10-10-01

Met w/ contractor measured

side yard & set backs for garage strip

set 12' on side

OK to pour

Monday