

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-1150	Issue Date: 29 2001	CBL: 336 E064001
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Location of Construction: 7 Buca Run Lot #14	Owner Name: Flagg Richard R &	Owner Address: 7 Buca Run	Phone: 207-878-6503
Business Name: n/a	Contractor Name: Sunrise Home Inc.	Contractor Address: Portland	Phone: 2078398801
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Garages - Attached	Zone: R2

Past Use: Single Family	Proposed Use: Same: Build a 24' X 26' Attached Garage	Permit Fee: \$192.00	Cost of Work: \$27,500.00	CEO District: 1
Proposed Project Description: Build a 24' X 26' Attached Garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A	INSPECTION: Use Group: B3 Type: SB BOCA Signature: DC 9/20	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: N/A Date:		

Permit Taken By: cih	Date Applied For: 09/07/2001	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minr <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/20/01 DC	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/20/01 DC
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 7 BUCA RUN - (Lot #14)

Total Square Footage of Proposed Structure <u>624 SF.</u>	Square Footage of Lot <u>21,655 s.f.</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>336</u> Block# <u>E</u> Lot# <u>64</u>	Owner: <u>FLAGG, RICHARD + ELAINE</u>	Telephone: <u>878-6503</u>
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Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Richard Flagg</u> <u>7 Buca Run</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>27,500 -</u> Fee: \$ <u>189 -</u>
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Current use: Single family residence

If the location is currently vacant, what was prior use: \_\_\_\_\_

Approximately how long has it been vacant: \_\_\_\_\_

Proposed use: \_\_\_\_\_

Project description: 24 x 26 attached 2-car garage

Contractor's name, address & telephone: <u>Ken Beesley - Sunrise Home Inc.</u> <u>839-8801</u>	Who should we contact when the permit is ready: <u>owner - Richard Flagg</u>	<u>Call</u> <u>to</u> Phone: <u>878-6503</u>
Mailing address: <u>7 Buca Run</u> <u>Portland, ME</u> <u>04103</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Ken R Flagg</u>	Date: <u>9-7-01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

2-2  
21,462 SF

Applicant: Richard + Elaine Flagg

Date: 7/19/01

Address: 7 Bunker

C-B-L: 336-ET4

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing <sup>with</sup> w/ margins.

Zone Location - R-2

Interior or corner lot - Interior

Proposed Use/Work - 24x26 Garage

Sewage Disposal - City

Lot Street Frontage - 50' +

Front Yard - 25' - 26' shown

Rear Yard - 25' → 30' - 6" shown

Side Yard - 14' 2 story (12' for 1 + 1/2 story) → 13' - 2" shown (scaled)

Projections - Rear deck + bulkhead

Width of Lot - 80' shown - OK

Height - 20' scaled

Lot Area - 21,462 SF

Lot Coverage/ Impervious Surface - 20%

Area per Family - ~~OWNERS~~

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

2/3 of 1st flr = 416 SF

2nd flr = 372 SF

24x32 House	768
24x26 Garage	624
12x16 deck	192
30SF bulkhead	30
<hr/>	

4292.4 SF → 1644 SF  
OK



DUPLICATE

GENERAL RECEIPT

# CITY OF PORTLAND, MAINE

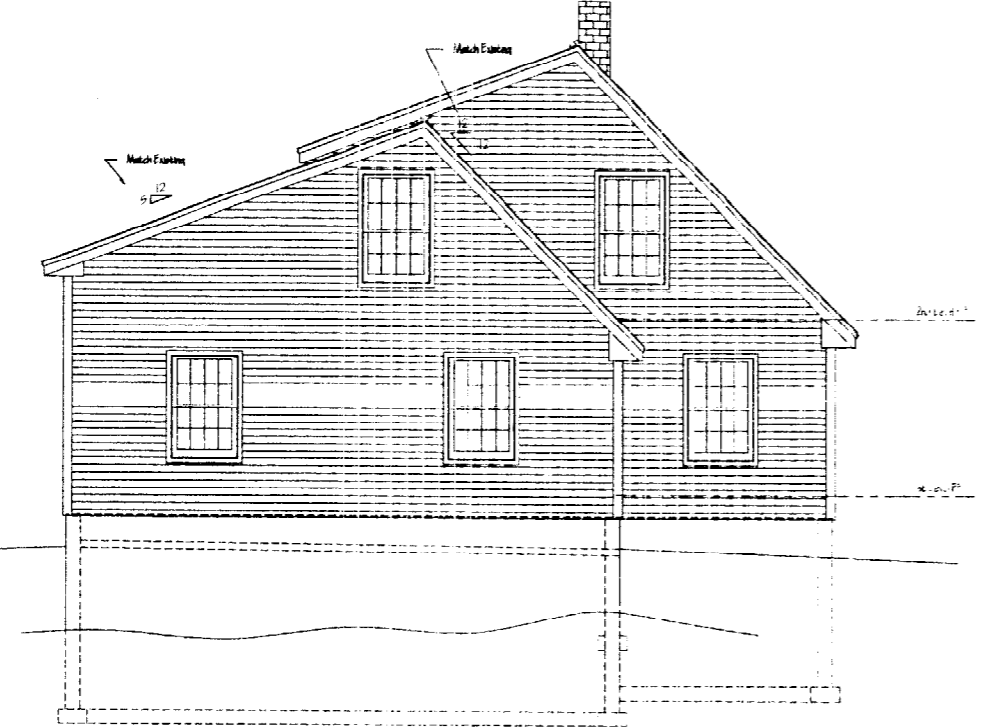
DEPARTMENT Inspection DATE 9/7/01  
RECEIVED FROM Richard Flanagan  
ADDRESS 1 Bruce Road LOT #14

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	24 x 95 gages	J	189.00
	check # 2379		
	CBL 336 E	064	
<input type="checkbox"/> CASH	<input checked="" type="checkbox"/> CHECK	<input type="checkbox"/> OTHER	TOTAL <u>189.00</u>

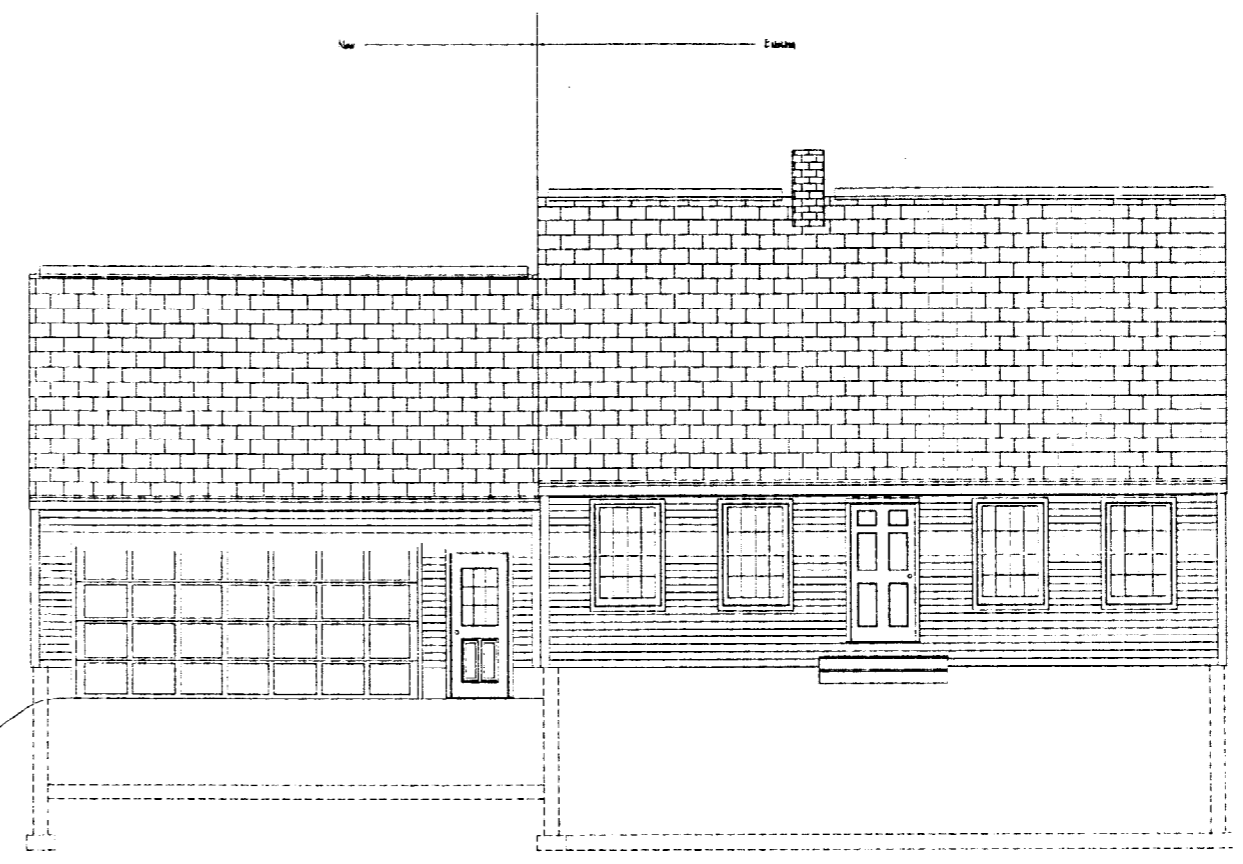
RECEIVED BY [Signature]

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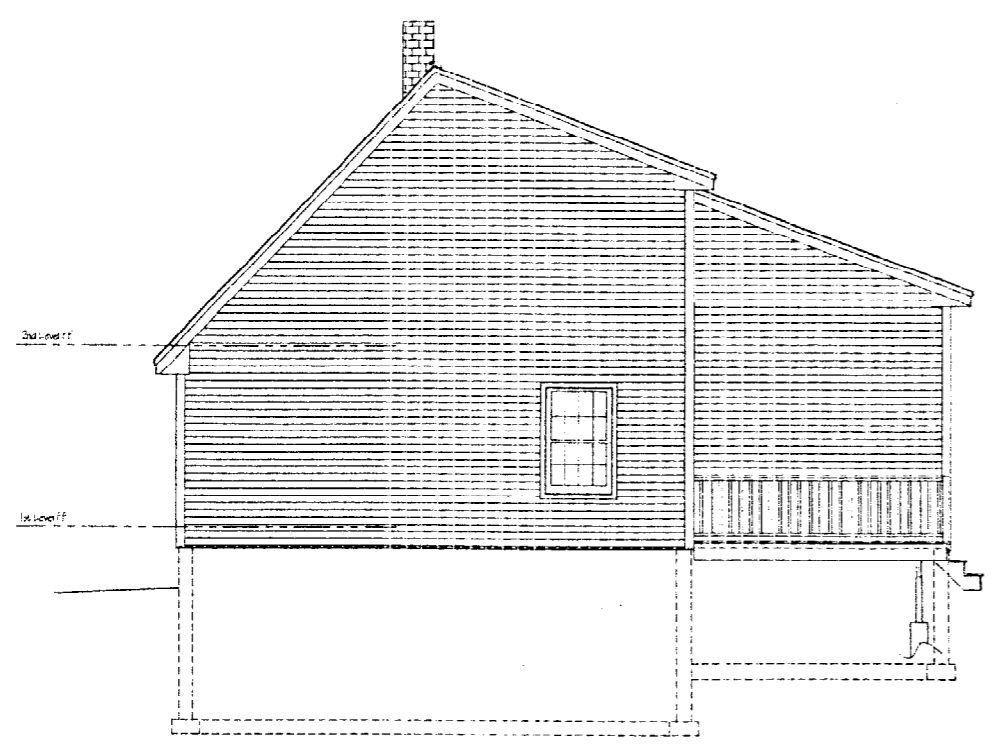
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 All Local Building Requirements Should be Verified by a Registered Engineer or Architect, and are the Sole Responsibility of the Client and/or Contractor.  
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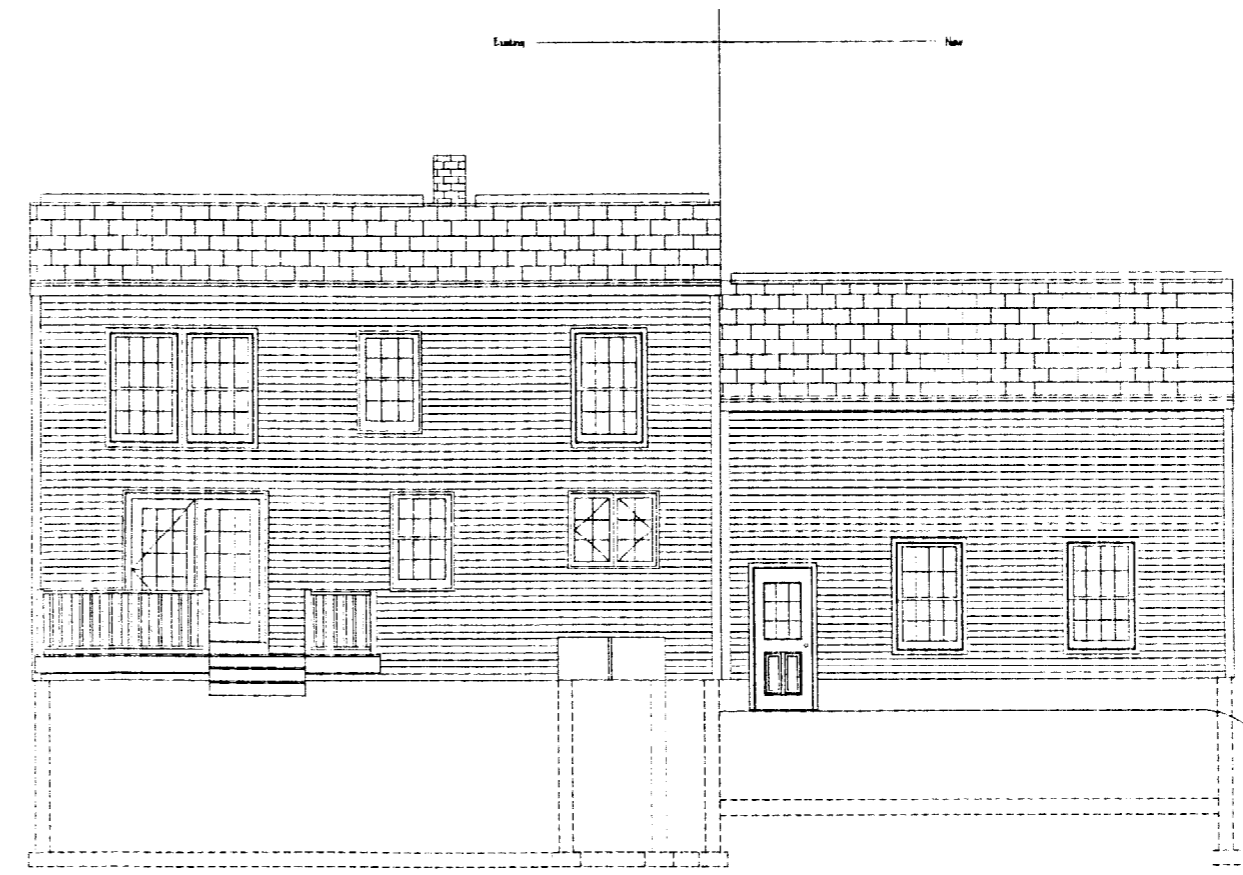
Left Side Elevation



Front Elevation



Right Side Elevation



Rear Elevation

**NORTHEAST DESIGN DRAFTING**

DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE

1000 1/2 S. Foothill Rd. Portland, ME 04106

Richard Flagg & Elaine Roy  
 Co-owners/Architects  
 7 Bruce Rd.  
 Portland, Maine

PROJECT FOR:

*Elevations*

DATE: TITLE:

STAMP:

DESIGN	DATE
CHECKED	DATE
APPROVED	DATE
SCALE	1" = 1/2" (1/4" = 1')
DATE	10/20/21

DRAWING NO.

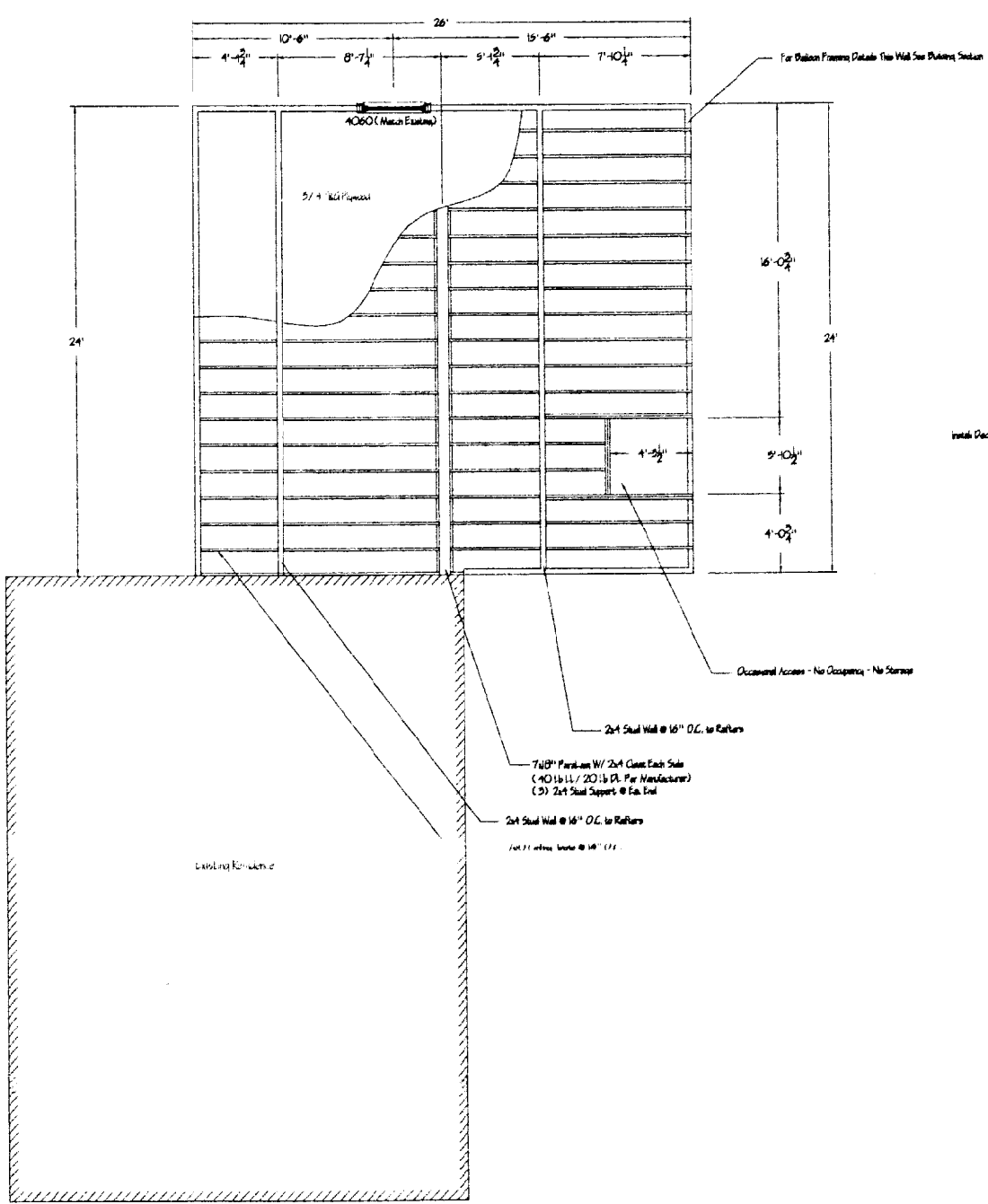
62301-1

SHEET 1 OF 3

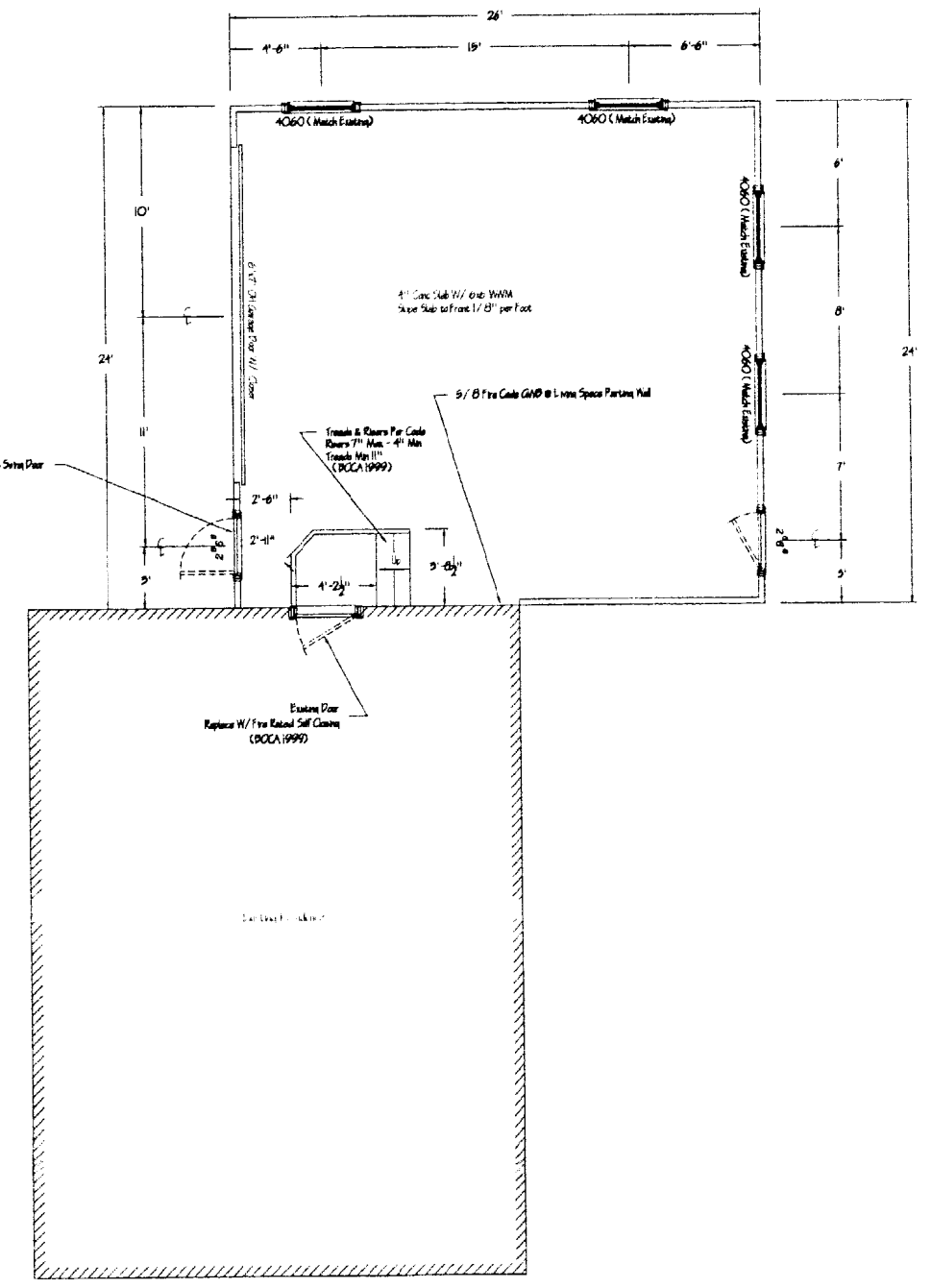
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Ceiling Joist & rafter Support Framing



Floor Plan

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 115 Sunnyside Portland, ME 04107 Phone: 207.764.7116 Fax: 207.764.0466

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

NO.	DESCRIPTION	DATE
1	CEILING JOIST/RAFTER SUPPLY - FRAMING	
2		
3		
4		
5		

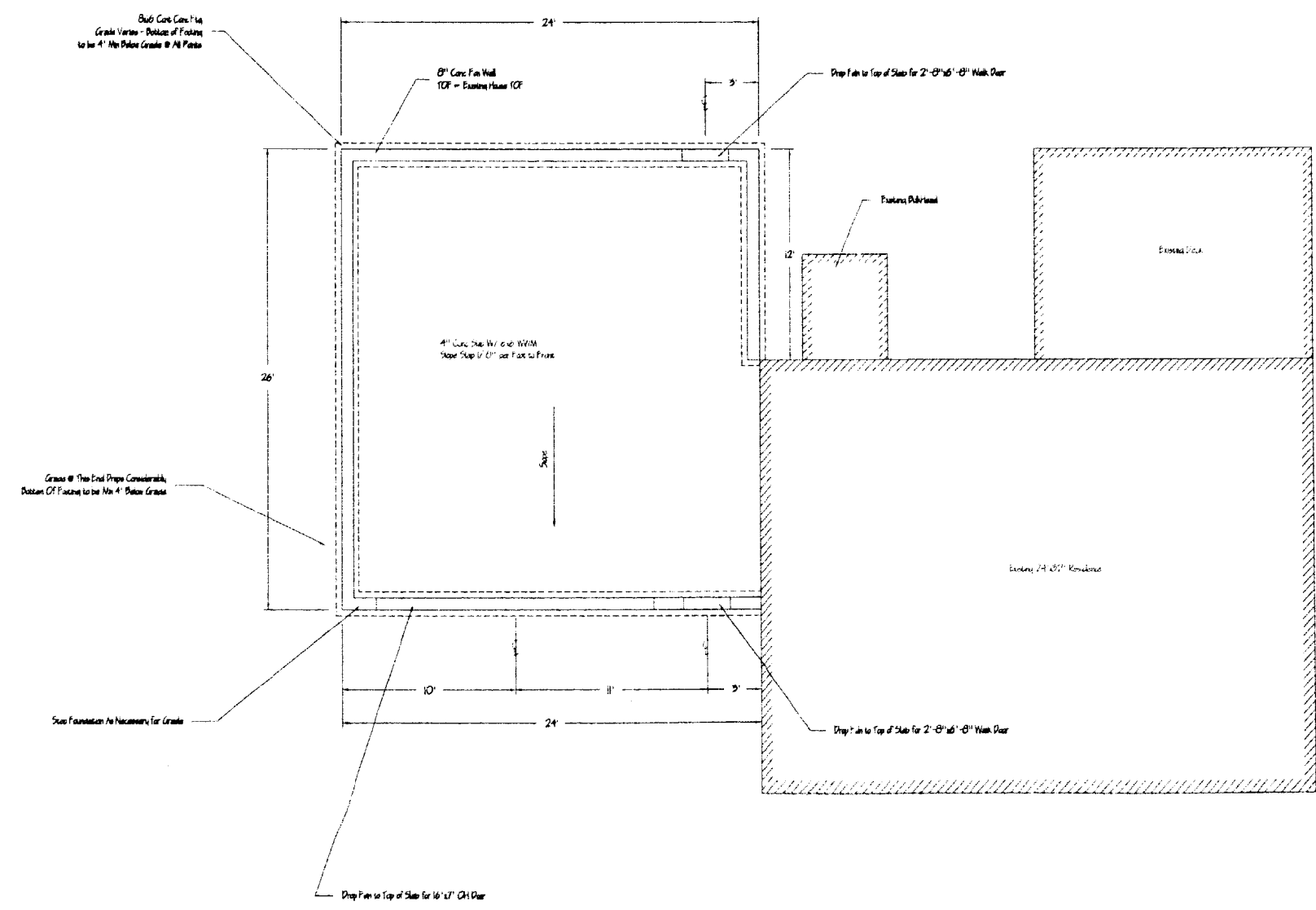
DATE: 4/20/11  
 DATE: 05/23/11  
 CHECKED:  
 APPROVED:  
 SCALE: 1/4" = 1'-0"  
 JOB ORDER: 583301  
 DRAWING NO:  
**62301-2**  
 SHEET 2 OF 5

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**General Notes:**  
 All Construction per BOCA 2018 Edition  
 Concrete Walls in Unfinished - #4 @ 12" O.C.  
 Anchors @ Corners - #6 @ 6" O.C.  
 Concrete 3000 PSI Walk, Slab & Footing  
 Soil Bearing 2500 PSF  
 All Footings to Frost Depth  
 4" Conc. Slab on 6" Vapor Barrier on 8" Min. Structural Stone  
 Control Joints as Indicated



Foundations:  
 10" Conc. Wall - 4000 PSI  
 8" Conc. Wall - 4000 PSI

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 55 Sunset Street Portland, ME 04105 Phone 207.797.7776 Fax 207.878.6462

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

PROJECT TITLE:	Foundation Plan
DATE:	
SCALE:	AS SHOWN
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	
DATE:	

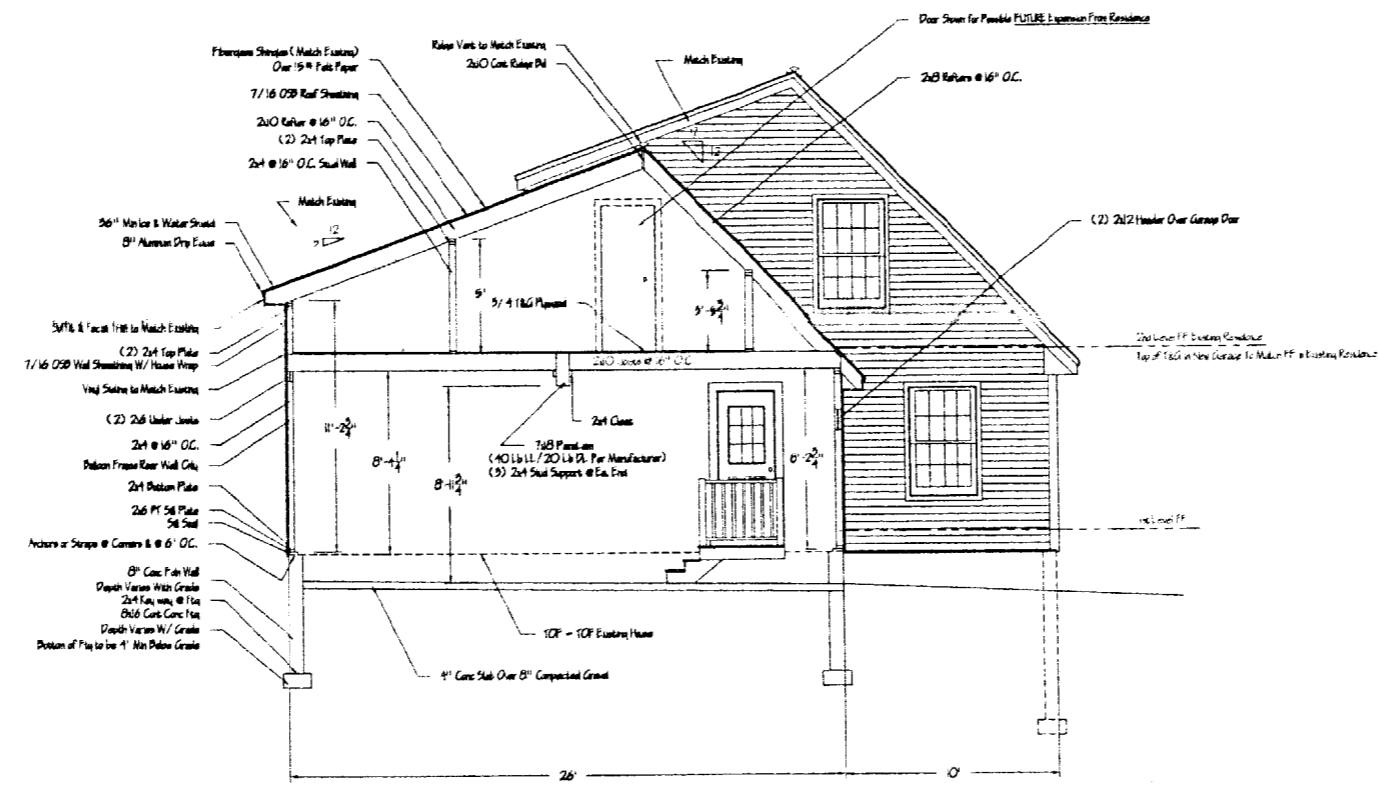
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DRAWING NO.	62301-3
SHEET	1 OF 5



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**Disclaimer Notes:**  
 A. Drawings, Plans, Details, etc., Are Provided to the Client Based Upon Information Provided by the Client and Drawn in Accordance with Common Building Practices and Local Codes.  
 B. Name of the Engineer for the Client of Northeast Design Drafting and Regional Architects, Engineers and Land Surveyors.  
 C. All Local Agency Requirements Should be Verified by a Registered Professional Engineer or Architect and are the Sole Responsibility of the Client and/or Contractor.  
 D. All Drawings, Codes, Specifications, Construction Techniques and Standards Shall be Reviewed by the Client/Contractor Before Construction Begins.  
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 I. Northeast Design Drafting Retains Ownership of All Drawings, Reproductions and/or Sale of any and All Designs in Any Way Without Written Consent from Northeast Design Drafting.

- General Notes:**  
 Refer to Building Section for Header & Ceiling Joist Sizes  
 Roof Ridge Support Comes to Basement  
 All Construction per BOCA Local Edition
- Roofing Specifications:**  
**Floor System:**  
 Joists as Indicated on Floor Framing Plan  
 1/2" Gypsum Board on Ceiling Joist  
 2x6 PT 5/8" Plate w/ 5/8" Seal  
 Insulation as Indicated
- Exterior Walls:**  
 2x4 Studs @ 16" O.C.  
 (2) 2x4 Top Plate  
 2x4 Bottom Plate  
 7/16" OSB Wall Sheathing  
 Insulation as Indicated  
 Siding & Finish Trim per Customer Spec.
- Interior Walls:**  
 2x4 Studs @ 16" O.C.  
 (2) 2x4 Top Plate  
 2x4 Bottom Plate
- Floor System:**  
 Joists per Roof Framing Plan  
 7/16" OSB Roof Sheathing  
 1/2" Gypsum Board  
 Insulation as Indicated  
 Siding & Finish Trim per Customer Spec.
- Insulation:**  
 Siding as Indicated
- Windows:**  
 Vinyl Sulfur Vinyl  
 Raines Core Frame Vinyl
- Doors:**  
 Fiberglass Garage Door  
 6" Insulated  
 6" Insulated  
 6" Insulated
- Interior Finish:**  
 Paint (Color per Customer Spec)



Maximum Spans for Headers Located Over Openings in Walls (in Feet)

Size of Header	Headers in Bearing Walls			Headers in Non-Bearing Walls
	Supporting Roof Only	One Story Above	Two Stories Above	
(2) 2x4	4	-	-	-
(2) 2x6	8	4	-	-
(2) 2x8	10	8	0	1
(2) 2x10	12	10	0	10

For (2x4) Header in Non-Bearing Walls

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 155 Sumner Street Portland, ME 04101 Phone 207.753.7776 Fax 207.876.0061

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buzaf Ln  
 Portland, Maine

DWG. TITLE: House Section

REV.	DESCRIPTION	DATE

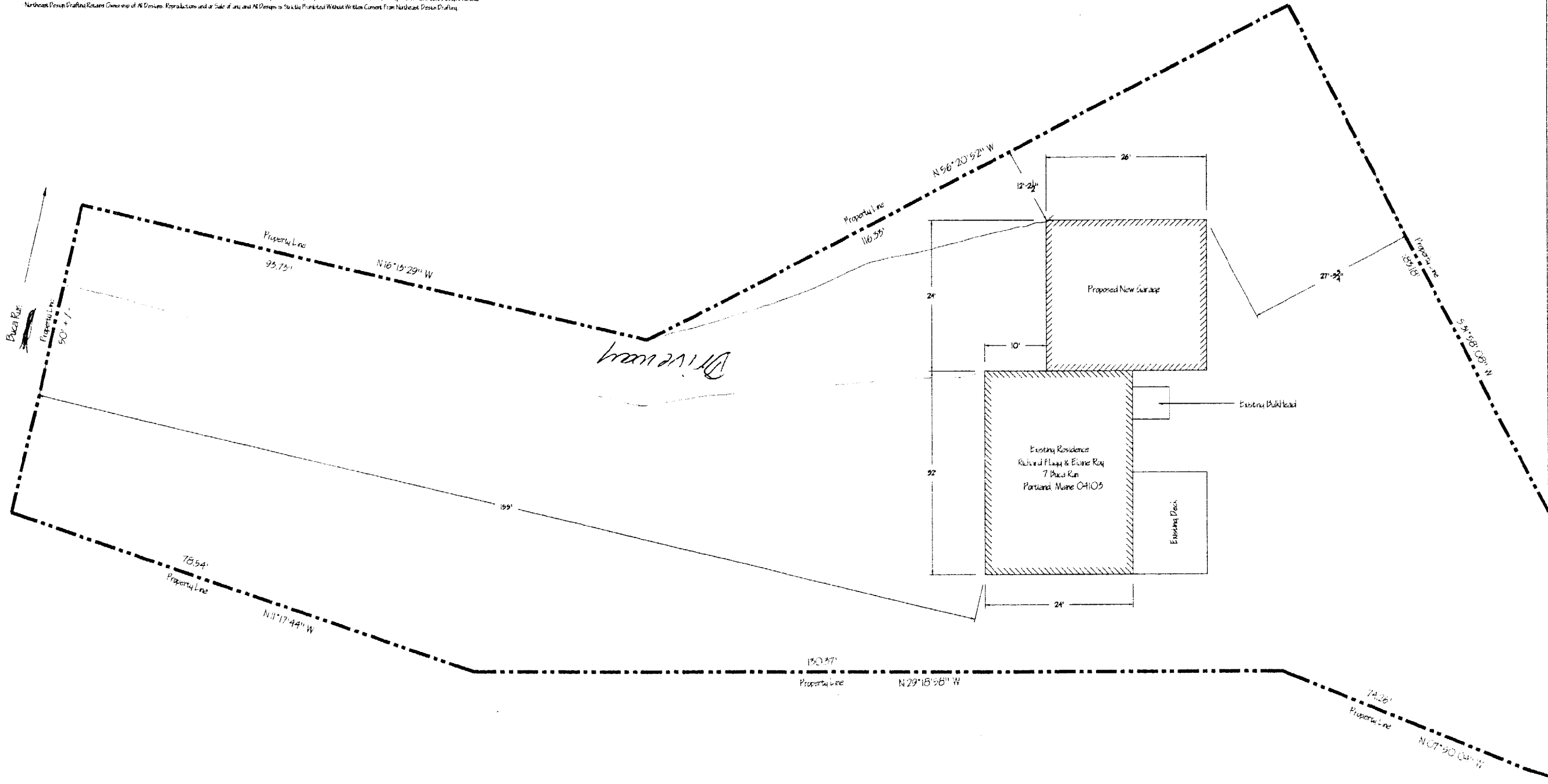
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DRAWN: M. Lane  
 DATE: 06/23/01  
 CHECKED:  
 APPROVED:  
 SCALE: 1/4" = 1'-0"  
 JOB ORDER: 062301  
 62301-4  
 SHEET 4 OF 5

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Note:  
 Boundary Lines Transposed from Documentation by Land Use Consultants (Fax Date 3-24-99)  
 and Presented to Northeast Design Drafting by the Property Owner.

**NORTHEAST DESIGN DRAFTING**  
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE  
 150 Jones Street Portland, ME 04102 Phone 207.791.1116 Fax 207.791.0066

PROJECT FOR:  
 Richard Flagg & Elaine Roy  
 Garage Addition  
 7 Buca Run  
 Portland, Maine

PROJECT FOR:

REV.	DESCRIPTION	DATE

DWG. TITLE:  
**Plot Plan**

STAMP  
 DRAWN M. Long  
 DATE 06-23-01  
 CHECKED  
 APPROVED  
 SCALE 1" = 1'-0"  
 JOB NUMBER 62301  
 DRAWING NO.

62301-5

SHEET 5 OF 5

10-10-01

Met w/ contractor measured

side yard & set backs for garage strip

set 12' on side

OK to pour

Monday