

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: 100768
AUG - 5 2010

This is to certify that GRANDVIEW M & M LLC / Specialty Pro Construction
has permission to Build New 3 bedroom w/(1) full bath (1) half bath 24' x 16' (2) story home w/ 10' x 10' deck NO garage
AT 0 DEDHAM ST City of Portland
City of Portland
336 D003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other is used-in. 2 HO... NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

22 DEDHAM ST

CBL 336 D003001

Issued to

Grandview M & M Llc /Mainely Properties & Construction

Date of Issue

05/11/2011

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-0768, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Home

Use Group R-3

Type 5B

IRC-2003

Limiting Conditions:

This is a temporary occupancy certificate which expires on May 31, 2011, see attached memo.

**This certificate supersedes
certificate issued**

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0768	Issue Date:	CBL: 336 D003001
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Location of Construction: 0 DEDHAM ST (18-22)	Owner Name: GRANDVIEW M & M LLC	Owner Address: PO BOX 6012	Phone:
Business Name:	Contractor Name: Mainly Properties & Construction,	Contractor Address: P.O. Box 6012 Falmouth	Phone: 2074089535
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - New 3 bedroom w/(1) full bath (1) ¼ bath (1) ½ bath 24' x 36' 2 story home w/ 10' x 10' deck NO garage	Permit Fee: \$945.00	Cost of Work: \$85,000.00	CEO District: 5
Proposed Project Description: Build New 3 bedroom w/(1) full bath (1) ¼ bath (1) ½ bath 24' x 36' (2) story home w/ 10' x 10' deck NO garage		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>	

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 06/29/2010	Zoning Approval	
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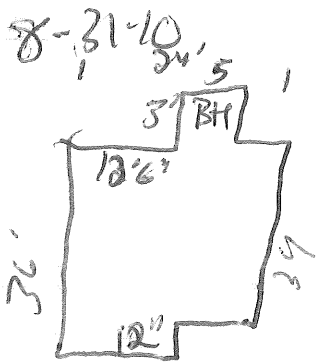
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. <p style="text-align: center; font-size: 24pt; font-weight: bold;">PERMIT ISSUED</p> <p style="text-align: center;">AUG - 5 2010</p> <p style="text-align: center;">City of Portland</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>part 1 - zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2010-0011</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/22/10</i> <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



Northeast survey will send letter

124' 2

Deorum

16" fences 8" fences ~~about~~ ~~Reborn~~ ~~Keyway~~

Submit plans for as built plans for site plan

No Bulkhead in plan

10/22/10 Mark Moran will submit:

1- site plan w/no garage, bulkhead on right & deck
on left & front porch on right

He cannot get new building plans, so this is confirmation that the house design is mirrored from the approved plans.

2- Survey letter stating location of building (complys w/setbacks)

10/27/10 received revised plot plan & survey letter *JMB*

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0768	Date Applied For: 06/29/2010	CBL: 336 D003001
-----------------------	---------------------------------	---------------------

Location of Construction: 0 DEDHAM ST	Owner Name: GRANDVIEW M & M LLC	Owner Address: PO BOX 6012	Phone:
Business Name:	Contractor Name: Mainly Properties & Construction,	Contractor Address: P.O. Box 6012 Falmouth	Phone (207) 408-9535
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - New 3 bedroom w/(1) full bath (1) ¼ bath (1) ½ bath 24' x 36' 2 story home w/ 10' x 10' deck NO garage	Proposed Project Description: Build New 3 bedroom w/(1) full bath (1) ¼ bath (1) ½ bath 24' x 36' (2) story home w/ 10' x 10' deck NO garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/22/2010

Note: **Ok to Issue:** ✓

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. A garage is not part of this permit application.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/05/2010

Note: **Ok to Issue:** ✓

- 1) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 6) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 07/27/2010

Note: **Ok to Issue:** ✓

- 1) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Location of Construction: 0 DEDHAM ST	Owner Name: GRANDVIEW M & M LLC	Owner Address: PO BOX 6012	Phone:
Business Name:	Contractor Name: Mainly Properties & Construction,	Contractor Address: P.O. Box 6012 Falmouth	Phone (207) 408-9535
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 7) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

7/6/2010-amachado: Left vcm for Mainely Properties & Construction to call.

-Need an 11" x 17" or pdf of siteplan submittals

-footprint on the siteplan is a mirror image of the building plans

-Is the garage being built at this point or not - says future garage on siteplan, shows foundation for garage but no structural plans & not on elevations - if not building it now remove it from site plan and from foundation plan.

-building plans show a 4' x 11'4" entry porch & 9' x 12' rear deck but siteplan does not - arear deck will not meet the rear setback

-does not show two parking spaces beyond the 25' front setback.

7/8/2010-amachado: Spoke to Lee Allen from Northeast Civil Solutions. Told him how the site plan differed from the building plans. He is going to wait until he hears from Phil to make any changes.

7/22/2010-amachado: Received revised plans 7/20/10.

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a “Stop Work Order” and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

MARK 408-9535
mainelyprop@aol.com

★ ATTN - TAMMY MANSON

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL		
10 Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	NO SHOWN	ON PRINT NOW
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	" "	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
12 Anchor Bolts/Straps, spacing (Section R403.1.6)	NO SHOWN	ON PRINT NOW
Lally Column Type (Section R407)	N/A	
Girder & Header Spans (Table R 502.5(2))	N/A	
Built-Up Wood Center Girder	N/A	
Dimension/Type	2x6 PT	
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	AT 520 24'	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	AS20 24'	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	TRUSSES	

RECEIVED

AUG - 4 2010

Dept. of Building Inspections
City of Portland Maine

R802.4(2))

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)

2 Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))

Fastener Schedule (Table R602.3(1) & (2))

Private Garage

(Section R309)
Living Space?
(Above or beside)

Fire separation (Section R309.2)
Opening Protection (Section R309.1)

3 Emergency Escape and Rescue Openings (Section R310)

Roof Covering (Chapter 9)

Safety Glazing (Section R308)

4 Attic Access (Section R807)

5 Chimney Clearances/Fire Blocking (Chap. 10)

6 Header Schedule (Section 502.5(1) & (2))

7 Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-

TRUSSES

5/8 ROOF / 7/16 WALL / FLOOR? ON PRINT NOW
PER IRC

N/A

N/A

NOT SHOWN

~~NOT SHOWN~~

ON PRINT NOW

N/A

NOT SHOWN

ON PRINT NOW

CLEARANCES - GYS FIREPLACE? N/A AS OF NOW

NOT SHOWN

ON PRINT

R-38 ROOF - 1ST FLOOR? NEED R-15 ON PRINT

R-13 WALLS

	Factor Fenestration		
✓ 8	Type of Heating System	NOT SHOWN	ON PRINT
✓ 9	Means of Egress (Sec R311 & R312)		
	Basement		
	Number of Stairways		
	Interior		
	Exterior		
	Treads and Risers (Section R311.5.3)		
	Width (Section R311.5.1)		
	Headroom (Section R311.5.2)		
	Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)		
✓ 10	Smoke Detectors (Section R313) Location and type/Interconnected	NO STAIR DETAILS	ON PRINT
	Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NOT SHOWN	ON PRINT
		N/A	
✓ 11	Deck Construction (Section R502.2.1)		
		NO DETAILS OF FRONT REAR DECK	ON PRINT

10-0768

mainelyprop@aol.com

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL		
① Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	not shown	OK A-2
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	" "	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
② Anchor Bolts/Straps, spacing (Section R403.1.6)	not shown	OK A-2
Lally Column Type (Section R407)	N/A	
Girder & Header Spans (Table R 502.5(2))	N/A	
Built-Up Wood Center Girder Dimension/Type	N/A	
Sill/Band Joist Type & Dimensions	2x6 PT	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	AJ 520 - 24'	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	AJ 520 - 24'	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	TRUSSES	

10.0768

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter Framing & Connections (Section R802.3 & R802.3.1)	Trusses	
6 Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	To roof/wall - Floor? OK	
Fastener Schedule (Table R602.3(1) & (2))	PRIRC	
Private Garage (Section R309) Living Space? (Above or beside)	N/A	
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)	N/A	
3 Emergency Escape and Rescue Openings (Section R310)	not shown - OK	
4 Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	N/A	
10 Attic Access (Section R807)	not show - OK	
5 Chimney Clearances/Fire Blocking (Chap. 10)	Clearances - gas fireplace? - N/A - Removed	
6 Header Schedule (Section 502.5(1) & (2))	Not shown - 3-2x8's	
7 Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-	R-38 Roof } 1st Floor? Need R-19 } OK R-19 walls } U-Value 0.35 or lower }	

10-0768

Factor Fenestration		
8 Type of Heating System	not shown	OK
Means of Egress (Sec R311 & R312) Basement 9 Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	No stair details 10" T 7 1/2" R 36" 36"	
10 Smoke Detectors (Section R313) Location and type/Interconnected	No shown	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
11 Deck Construction (Section R502.2.1)	No details on front + rear deck	



General Building Per

If you or the property owner owes real estate or per property within the City, payment arrangements must be

Location/Address of Construction: <u>DEDHAM</u>	
Total Square Footage of Proposed Structure/Area <u>1632</u>	Squ
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>336 D 3,4,5,10</u>	Applicant *must Name <u>GRAND</u> Address <u>P.O.</u> City, State & Zip
Lessee/DBA (if Applicable)	Owner (if differ Name Address City, State & Zip
	Work: \$ <u>75,000</u> C of O Fee: \$ <u>7500</u> Site <u>300.00</u> Total Fee: \$
Current legal use (i.e. single family) <u>VACANT LOT</u>	Number of Residential Units <u>1 Full 5/4 1/2 Bath</u>
If vacant, what was the previous use? <u>N/A</u>	
Proposed Specific use: <u>SINGLE FAMILY HOME</u>	<u>216 fee 870.00</u>
Is property part of a subdivision? _____ If yes, please name _____	
Project description: <u>3 BEDROOM SINGLE-FAMILY HOME 24' x 36' 250sq. ft. COF O 750.00</u> <u>WITH A 10' x 10' DECK NO GARAGE There's 1/2 Bath site 300.00</u>	<u>total 1,245.00</u>
Contractor's name: <u>MURPHY PROPERTIES & CONSTRUCTION</u>	
Address: <u>P.O. Box 6012</u>	
City, State & Zip: <u>FALMOUTH, ME 04105</u>	Telephone: <u>207-408-9535</u>
Who should we contact when the permit is ready: <u>MARK</u>	Telephone: <u>SAME</u>
Mailing address: <u>same</u>	

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Mark Moran</u>	Date: _____
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This is not a permit; you may not commence ANY work until the permit is issued



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>DEDHAM ST (11-22)</u>		
Total Square Footage of Proposed Structure/Area: <u>1632</u>		Square Footage of Lot: <u>12000 sq ft</u>
Number of Stories: <u>2</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>336</u> Block# <u>D</u> Lot# <u>34,5,10</u>	Applicant *must be owner, Lessee or Buyer* Name <u>GRANDVIEW MCM LLC</u> Address <u>P.O. Box 6012</u> City, State & Zip <u>FALMOUTH, ME 04105</u>	Telephone: <u>207-408-9535</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>85,000</u> C of O Fee: \$ <u>75.00</u> Site <u>300.00</u> Total Fee: \$
Current legal use (i.e. single family) <u>VACANT LOT</u>	Number of Residential Units: <u>1 Full 3/4 1/2 Bath</u>	
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>SINGLE FAMILY HOME</u>		
Is property part of a subdivision?	If yes, please name	
Project description: <u>3 BEDROOM SINGLE FAMILY HOME 24' x 36' 2 story WITH A 10' x 10' DECK NO GARAGE 2 1/2 Bath</u>	Blk fee 810.00 C of O 75.00 Site 300.00 Total 1,245.00	
Contractor's name: <u>MARK MORAN ROOFING & CONSTRUCTION</u>		
Address: <u>P.O. Box 6012</u>		
City, State & Zip: <u>FALMOUTH, ME 04105</u>	Telephone: <u>207-408-9535</u>	
Who should we contact when the permit is ready: <u>MARK</u>	Telephone: <u>SAIME</u>	
Mailing address: <u>SAIME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mark Moran Date:

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: Grandview M₂M, LLC

Date: 7/6/10

Address: Dedham St (18-22)

C-B-L: 336-D003 (004, 005, 010)

perm # 10-076

CHECK-LIST AGAINST ZONING ORDINANCE

*revised plan received 7/20/10
review based on that.

Date - new.

Zone Location - R2

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal - private

Lot Street Frontage - 50' min - 90' s max

Front Yard - 25' min - 27' s max (OK)

Rear Yard - 25' min - 25.75' to deck (OK)

Side Yard - 2 spaces - 14' min - 18.25' on left side (OK)
47.5' on right side (OK)

Projections -

Width of Lot - 80' min - 90' s max (OK)

Height - 35' max - 21.75' s max (OK)

Lot Area - 10,000 sq ft - 9000 sq ft + 3000 sq ft = 12,000 sq ft (OK)

Lot Coverage Impervious Surface - 20% = 2400 sq ft

24 x 36 = 864
porch 2 x 12 = 24
deck 9 x 12 = 108
996 sq ft (OK)

Area per Family - 10,000 sq ft (OK)

Off-street Parking - 2 spaces required - 35' x 12' shown beyond 25' setback (OK)

Loading Bays - N/A

Site Plan - minor changes 2010-2016

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 1 - zone C

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2010-0016
Application I. D. Number
6/29/2010
Application Date
Single Family Home
Project Name/Description

Grandview M & M Lic
Applicant
Po Box 6012 , Falmouth, ME 04105
Applicant's Mailing Address
Mark
Consultant/Agent
Agent Ph: (207)408-9535 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Dedham St, Portland, Maine
Address of Proposed Site
336 D003001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____
0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning
---------------------------------------------	-----------------	-------------------------------------------	--------

Check Review Required:

<input type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Zoning Conditional - PB	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> Design Review
<input type="checkbox"/> Amendment to Plan - Board Review	<input type="checkbox"/> Zoning Conditional - ZBA	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation
<input type="checkbox"/> Amendment to Plan - Staff Review	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Site Location
<input type="checkbox"/> After the Fact - Major	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> After the Fact - Minor	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review	<input type="checkbox"/> Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 6/29/2010

Zoning Approval Status: Reviewer _____

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	



SURVEYING ENGINEERING LAND PLANNING

Northeast Civil Solutions

INCORPORATED

www.northeastcivilsolutions.com

July 20, 2010

RECEIVED

153 U.S. Route 1
Scarborough
Maine 04074

Mr. Phil Dipierro
City of Portland
389 Congress Street
Portland, ME 04101

JUL 20 2010

Dept. of Building Inspections
City of Portland Maine

RE: Grandview M&M, LLC, Dedham Street

Dear Phil,

tel
207.883.1000
800.882.2227

Enclosed please find revised plans for the Dedham Street single family residence project. Based on conversations with Ann Machado and you the following comments were received and have been addressed in bold.

COMMENTS FROM ANN MACHADO

fax
207.883.1001

1. Send a .pdf of the site plan to the Planning Office. A .pdf copy of the site plan **has been emailed to Ann Machado and you.**
2. The footprint of the house plan does not match the plan. **This has been corrected the floor plan now matches the architectural plans.**
3. Do not show the location of the future garage. **The dashed footprint of the future garage has not been shown.**
4. The deck and front entry do not show up on the site plan. **The building was moved forward and now indicates a deck and front porch as shown on the architectural plans.**
5. Applicant must show room to park two cars beyond the setback. **Two cars are shown parked beyond the setback (A distance of 38 ft, 19 ft per car was used).**

COMMENTS FROM PHIL DIPIERRO

1. The driveway must be 12 feet in width. **The driveway has been revised to 12 ft width.**
2. A foundation drain outlet should be provided. **A foundation drain has been shown with an outlet invert elevation of 494.0.**
3. Sewer must be more than 200 feet away in order to use a septic system. **A note has been added to the plan that the nearest sewer from the edge of the building is 262 ft away.**
4. All 2:1 slopes must be stabilized. All 2:1 slopes, indicated by hatch on the plan, are to be treated with erosion control matting.
5. Property pins not found during boundary survey shall be set. **On the boundary plan (Sheet 1 of 3) solid circles indicate that four property pins must be set.**

Please feel free to contact me with any questions or concerns.

Sincerely,
Northeast Civil Solutions, Inc.

A handwritten signature in black ink that reads "Lee Allen". The signature is written in a cursive, flowing style.

Lee Allen, P.E.
Vice President

Cc: Mark Moran, Grandview M&M, LLC

Ann Machado - 0 Dedham Street, new single family, siteplan #2010-0016

From: Ann Machado
To: Phillip DiPierro
Date: 7/6/2010 2:47 PM
Subject: 0 Dedham Street, new single family, siteplan #2010-0016

Phil -

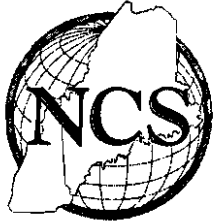
I have done my initial review, and I have many issues.

- Need an 11" x 17" or pdf of siteplan submittals
- footprint on the siteplan is a mirror image of the building plans
- Is the garage being built at this point or not - says future garage on siteplan, shows foundation for garage but no structural plans & not on elevations - if not building it now remove it from site plan and from foundation plan.
- building plans show a 4' x 11'4" entry porch & 9' x 12' rear deck but siteplan does not - arear deck will not meet the rear setback
- does not show two parking spaces beyond the 25' front setback.

Phil - they appear to be showing a septic system. Is that OK?

I left a message for the owner/contractor but if I talk to him I will tell him to wait for your review. Let me know when you are done with your review.

Thanks
Ann



**NORTHEAST
CIVIL
SOLUTIONS, INC.**

153 U.S. Route 1
Scarborough, Maine 04074
(800) 882-2227/ (207) 883-1000
FAX: (207) 883-1001
www.northeastcivilsolutions.com

LETTER OF TRANSMITTAL

TO: PHIL DiPIERRO, DEVELOPMENT REVIEW COORDINATOR CITY OF PORTLAND 389 CONGRESS ST PORTLAND, ME 04101	DATE: JUNE 28, 2010
	JOB NO.: 31890.1
	FROM: LEE ALLEN
RE: 63 KELLOGG STREET CONDOMINIUM <i>Ledham St - Single family home</i>	

PLEASE BE ADVISED THAT WE ARE ENCLOSING THE FOLLOWING:

NO.	COPIES	DESCRIPTION
1	4	Application and Plans

Mark Moran will be dropping off a check to cover the application fee (\$300) this morning. Please feel free to contact me with any questions.

Copy to file Signed *Lee Allen*

SHORT FORM WARRANTY DEED

DONNA RUSSO, of Portland, County of Cumberland, and State of Maine, for consideration paid, grants to GRANDVIEW M&M, LLC, a Maine Limited Liability Company with a mailing address of P.O. Box 6012, Falmouth, Maine, 04105, with Warranty Covenants, the premises located in the City of Portland, County of Cumberland and State of Maine, as described on Schedule A attached hereto and made a part hereof.

WITNESS my hand and seal this 2nd day of ^{June}~~May~~, 2010.

MAINE REAL ESTATE TAX PAID


Witness


Donna Russo

STATE OF MAINE
CUMBERLAND, SS.

June 2
May __, 2010

Then personally appeared the above-named Donna Russo and acknowledged the foregoing instrument to be her free act and deed.

Before me,


Notary Public/Attorney at Law

Patrick D. Thornton, Esq.

Printed Name

SCHEDULE A

A certain lot or parcel of land located on the easterly side of Hingham Street in the City of Portland, County of Cumberland and State of Maine, said parcel being:

Lot #336 as shown on a plan entitled "Plan of Woodfords Gardens" made by Ernest W. Branch, C.E., dated November 16, 1916 and recorded in the Cumberland County Registry of Deeds in Plan Book 13, Page 75, to which plan reference is made for a more particular description.

Reference may be had to a Deed from the Portland Water District to Donna Russo, dated July 3, 1986, recorded in the Cumberland County Registry of Deeds in Book 7344, Page 232.

Drafter has neither searched title nor verified the description to this property.

WARRANTY DEED

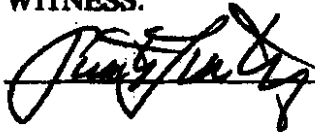
Maine Statutory Short Form


Know all Men by these presents, that **JOSEPH A. RUSSO** of Portland, County of Cumberland and State of Maine, for consideration paid, grants to **GRANDVIEW M&M, LLC**, a Maine Limited Liability Company with a mailing address of P.O. Box 6012, Falmouth, Maine 04105, with Warranty Covenants, the land in the City of Portland, County of Cumberland and State of Maine, as more particularly described on the attached Schedule A.

Also hereby conveying all rights, easements, privileges, and appurtenances belonging to the premises hereinabove described.

Witness my hand this 15th day of March, 2010.

WITNESS:

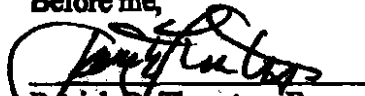


X 
Joseph A. Russo

STATE OF MAINE
CUMBERLAND, SS.

March 15, 2010

Then personally appeared the above named Joseph A. Russo and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Patrick B. Thornton, Esq.
Maine Attorney at Law

SCHEDULE A

Doc# 12405 Bk:27648 Pg 68

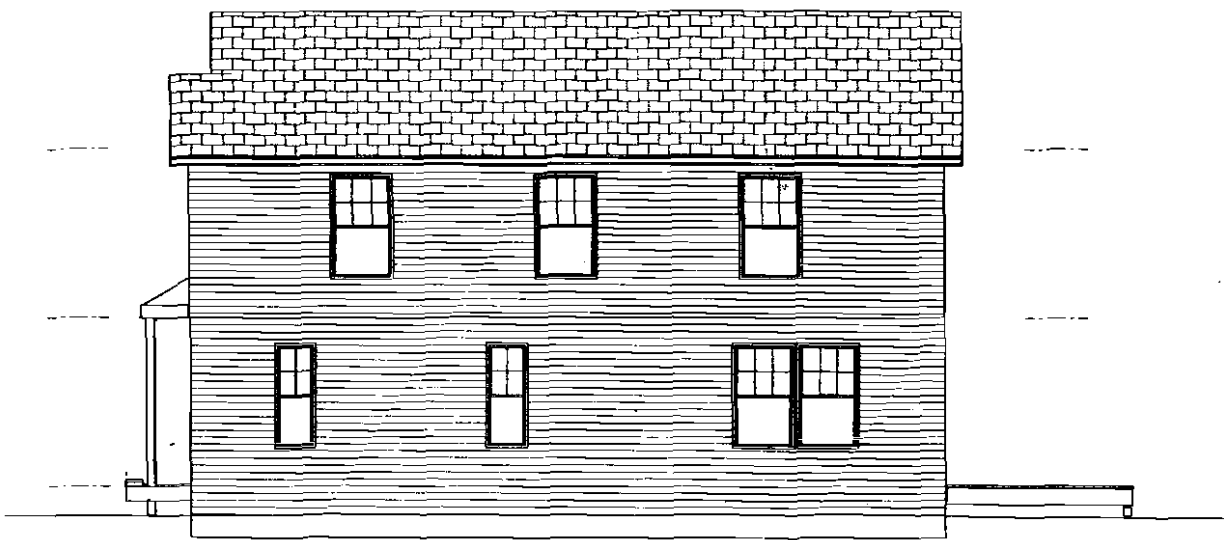
Three certain lots or parcels of land situated on Dedham Street in Portland in the County of Cumberland and State of Maine, being lots numbered three hundred fifty-one (351), three hundred fifty-two (352) and three hundred fifty-three (353), as shown on plan of lots at Woodfords Gardens belonging to J. W. Wilbur Co., Inc., said plan being made by Ernest W. Branch, C.E. dated November 16, 1916, and recorded in Cumberland County Registry of Deeds, Plan Book 13, Page 75. Said lots measure each thirty (30) feet in width, by one hundred (100) feet in depth, and contain each according to said plan, three thousand square feet (3,000) more or less. Together with the fee in so far as the said Corporation has the right so to convey the same, of all the streets and ways shown on said plan, in common with the owners of the other lots shown on said plan, and subject to the right of all the said lot owners to make any customary use of said streets and ways.

Reference may be made to Deed from Stuart H. Herbert to the Grantor herein, recorded July 28, 1986 in the Cumberland County Registry of Deeds in Book 7291, Page 42.

Received
Recorded Register of Deeds
Mar 14, 2010 10:57:42h
Cumberland County
Fancis E. Levins



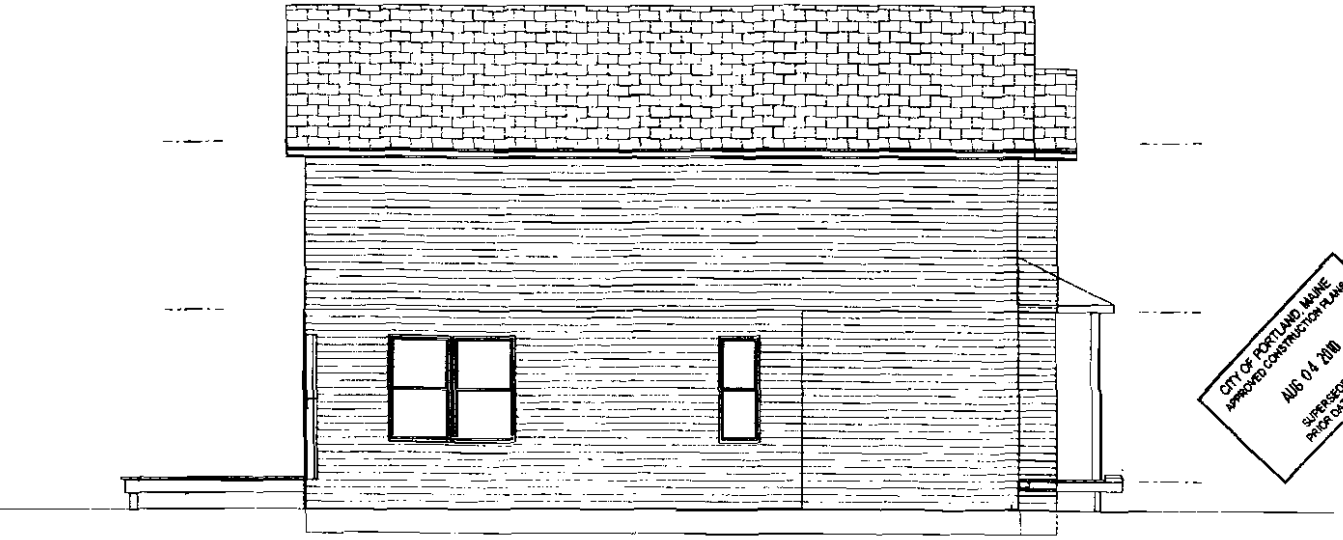
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

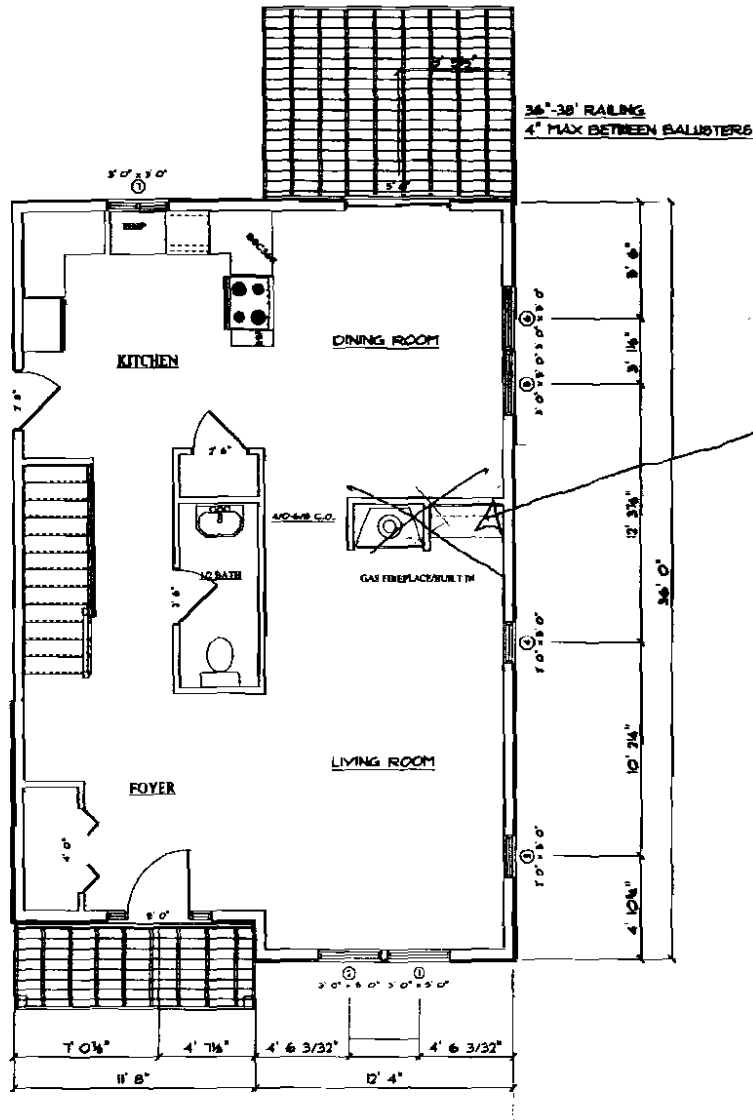


LEFT ELEVATION

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 AUG 04 2010
 SUPERSEDES ALL
 PREVIOUS PLANS

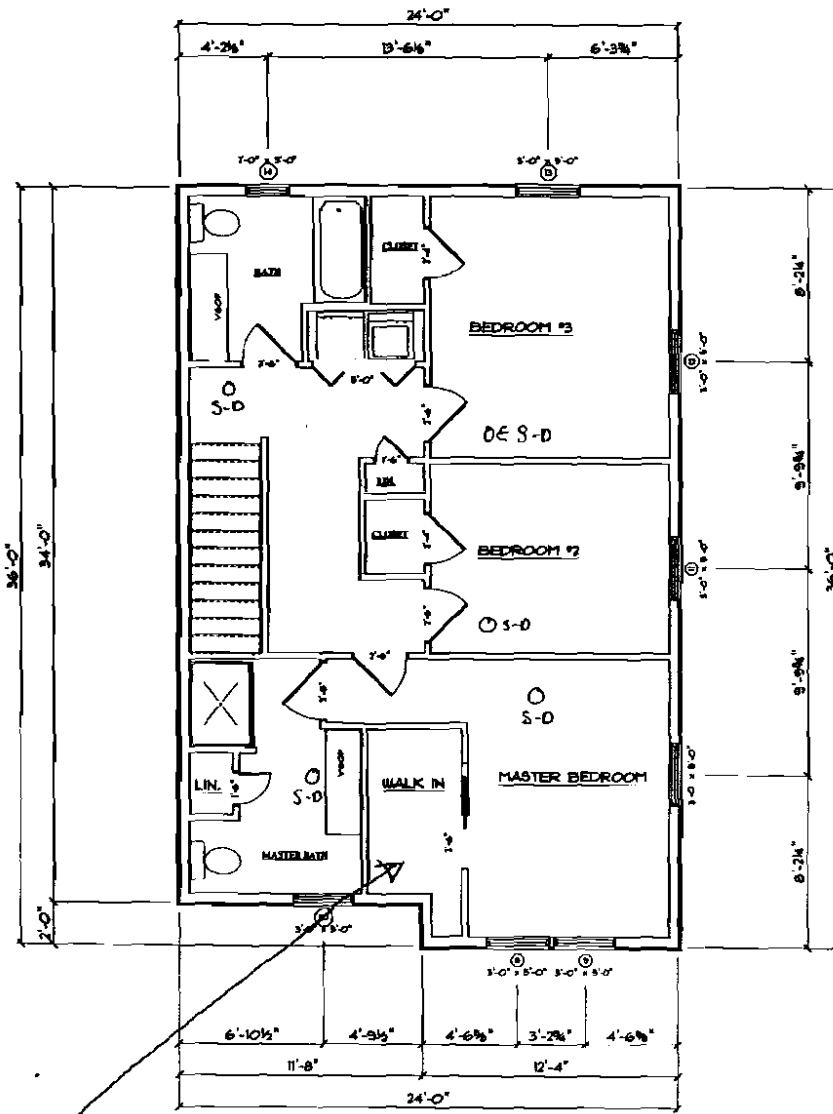
DEDHAM STREET PORTLAND, ME		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED
MAINLY PROPERTIES, INC		
ELEVATIONS	DRAWING NUMBER	A-4

3/4" T.G. Advantek
 Floor Sheathing
 2"x6" 16" O.C. Stud Wall
 1/2" O.S.B. Wall Sheathing
 5/8" O.S.B. Roof Sheathing
 2"x4" 16" O.C. Interior Partitions
 2"x8" 16" O.C. Ceiling Joist
 Fiberglass Batt Insulation R19
 Fiberglass Batt Insulation R38
 1/2" Gypsum Wallboard Interior Finish



FIRST FLOOR PLAN

NO GAS FIREPLACE
UNLESS AN UPSELL



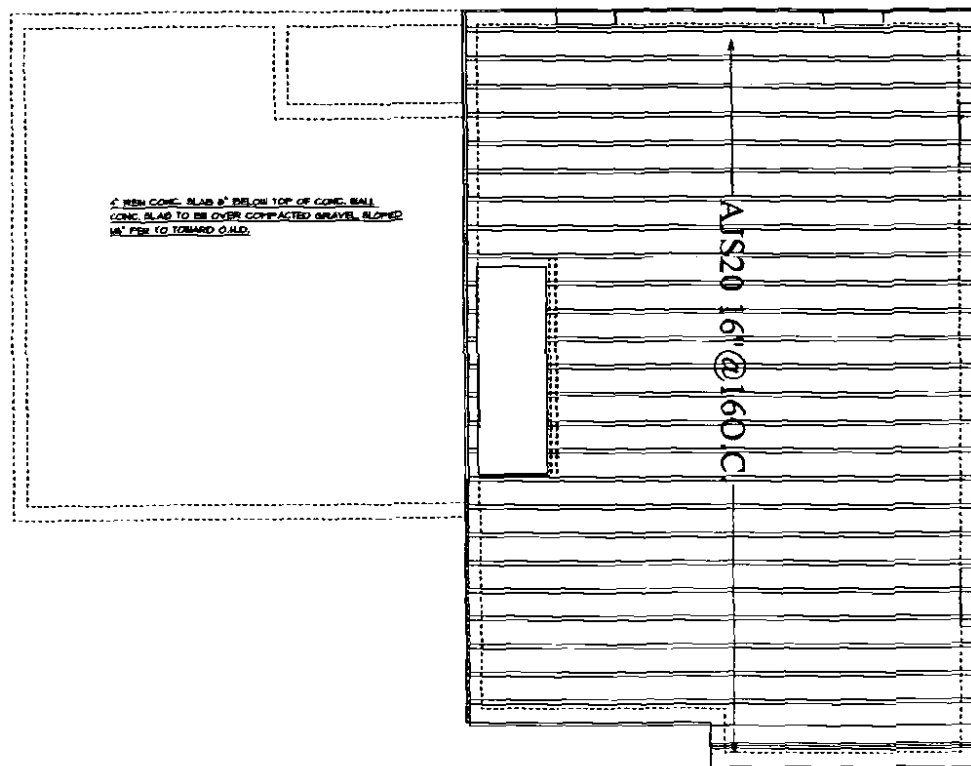
SECOND FLOOR PLAN

O-S-D = Smoke Detector

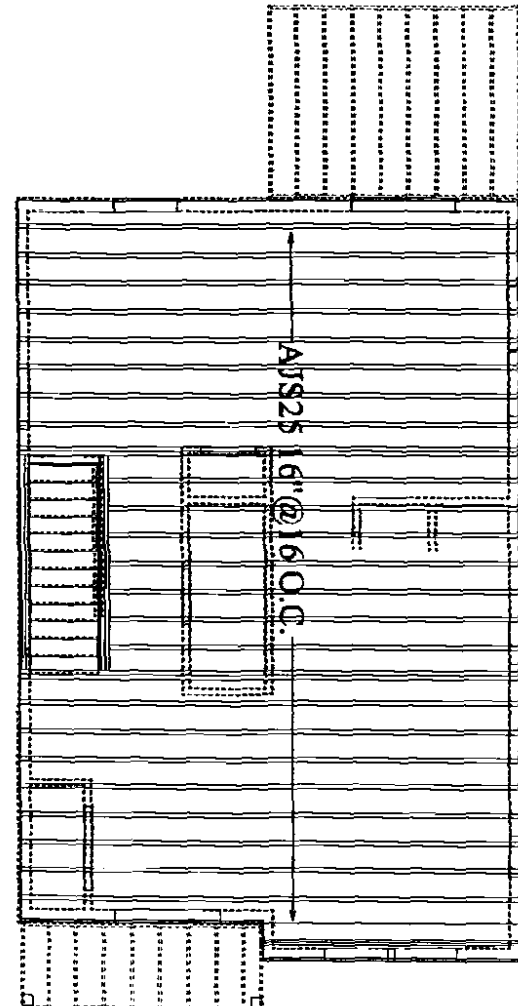
Interior Stairs.
 2"x12" Stringers ③
 Risers no more than 7 1/16"
 according to code
 10" Tread on all steps.
 Finished in either carpet
 or oak.
 All stairway framing is done
 according to code

CITY OF PORTLAND MAINE
 APPROVED CONSTRUCTION PLANS
 AUG 04 2010
 SUPERSEDES ALL
 PRIOR DATED PLANS

Dunham Street Portland Me.		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED 7/1/10
Mainly Properties		DRAWING NUMBER
Floor Plans		A-1



2" REIN. CONCRETE SLAB 8" BELOW TOP OF CONCRE. WALL
 CONCRE. SLAB TO BE OVER COMPACTED GRAVEL BLENDED
 1/4" P.E. TO TOWARD G.L.D.



- 2"x6" Pressure Treated wood Sill Continuous
- 2"x10" Ridge Board
- 2"x10" 16" O.C. Roof Rafter
- 5/8" O.S.B. Roof Sheathing
- 2"x10" 16" O.C. Floor Joist
- 2"x6" 16" O.C. Ceiling Joist
- 2"x12" Stair Stringers (2 sets of stairs)
- Membrane Shield Eaves and Valleys
- Asphalt Roof Shingles
- Basement Stairs
- 2"x12" Stringers @
- No less than 36" stairway opening.
- 3/4" Treads and risers
- Outside Stairs
- 2"x12" Stringers = pressure treated
- Front Stairs, framed to code
- Pressure Treated back deck
- Deck 16" o.c. pressure treated
- 2"x10" framing.
- 36" railing heights on all exterior

CITY OF PORTLAND MAINE
 APPROVED CONSTRUCTION PLANS
 AUG 14 2010
 SUPERSEDES ALL
 PRIOR DATES PLANS

DUNHAM STREET, PORTLAND ME		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED
MAINLY PROPERTIES, INC		
FLOOR FRAMING PLAN	DRAWING NUMBER A-3	

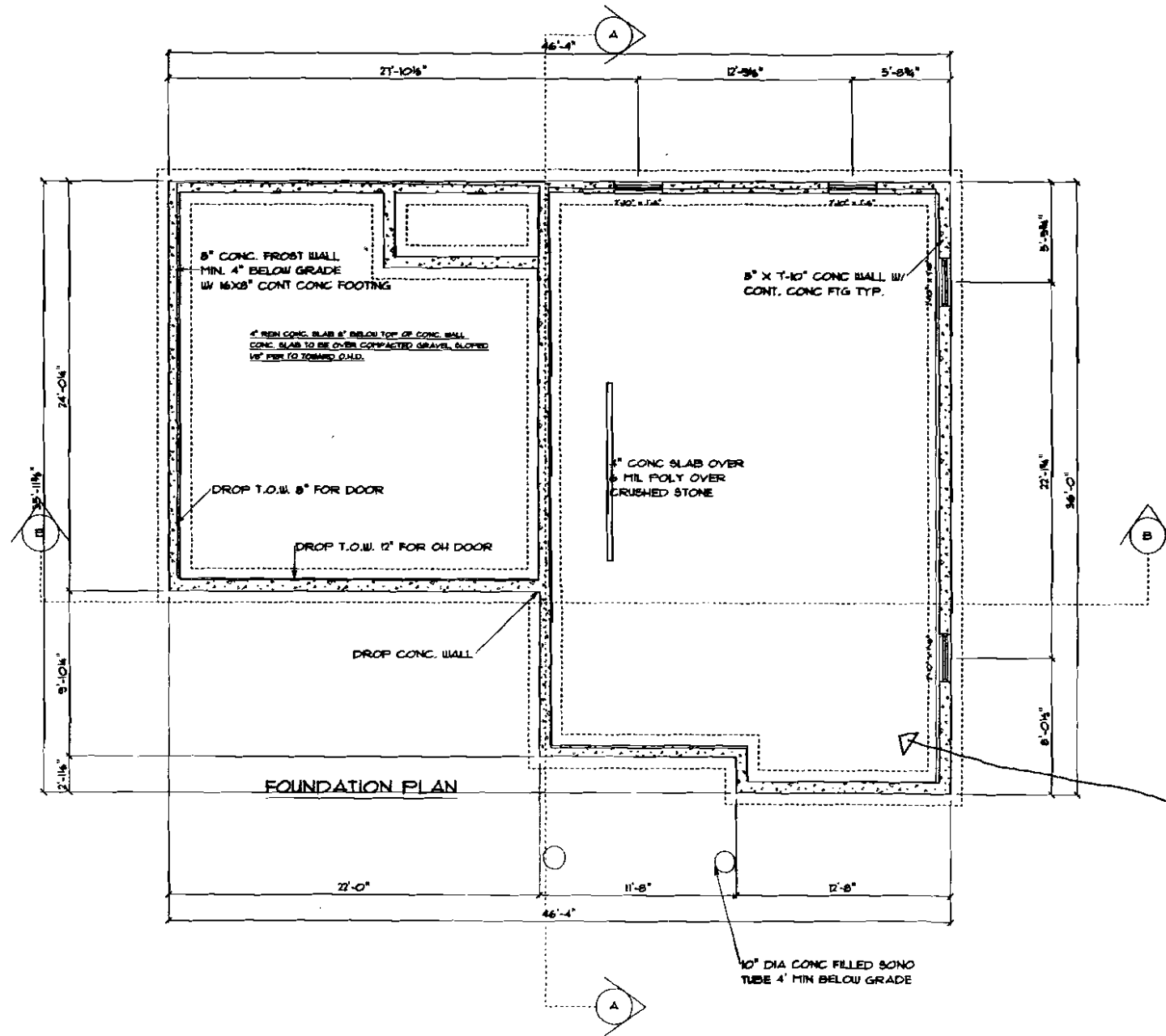
1/2" Anchor Bolt
 With nut and washer
 6'-0" o.c. Minimum

8" Thick Poured Concrete
 Foundation wall

Coated Dampproofing

4" poured Concrete
 Floor Slab over 6"
 Minimum Compacted
 gravel or stone

2'-0" x 1'-0"
 Poured Concrete
 Foundation Footing



APPROX AREA HEATING SYSTEM
 GAS FIRED WALL MOUNT BAXI LUNA
 SPECED TO HOUSE

CITY OF PORTLAND MAINE
 APPROVED CONSTRUCTION PLANS
 AUG 04 2010
 SUPERSEDES ALL
 PRIOR DATED PLANS

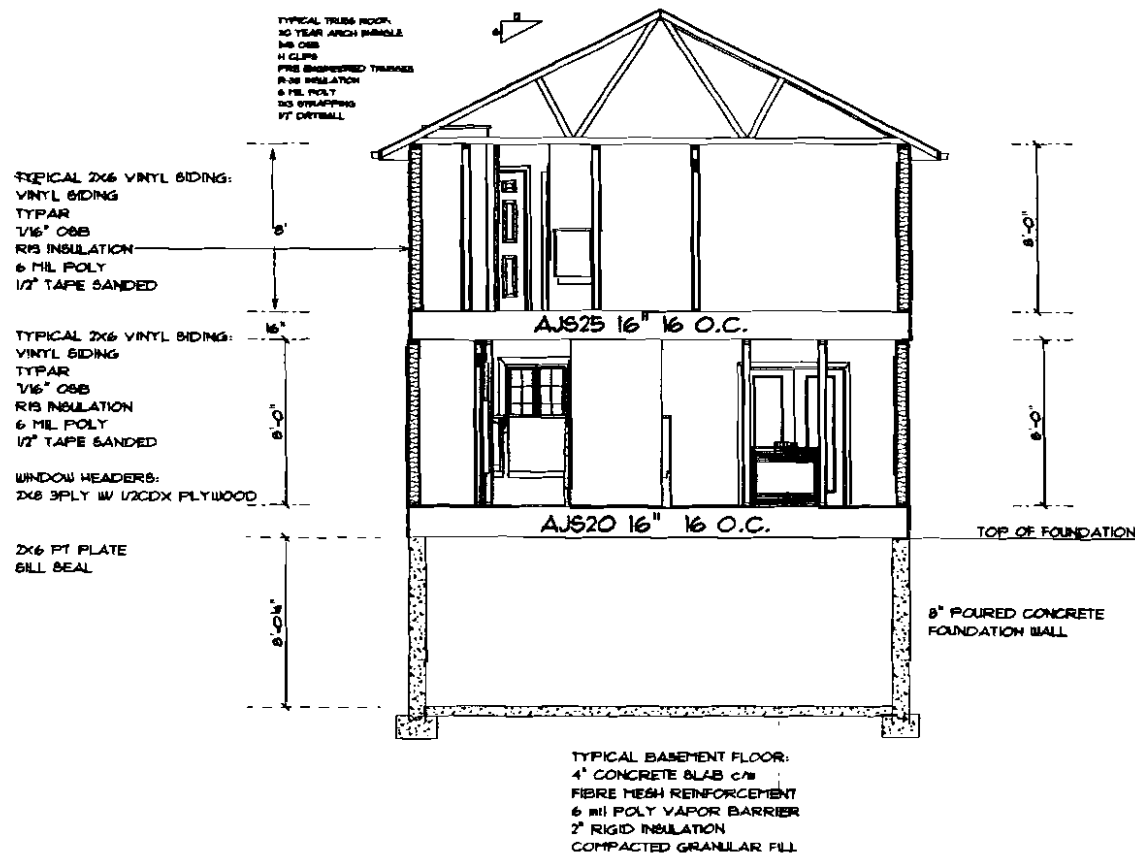
DUNHAM STREET, PORTLAND ME	
SCALE 1/4"=1'	APPROVED
DATE February 02, 2010	DRAWN BY
	REVISED
MAINLY PROPERTIES, INC	
FOUNDATION PLAN	DRAWING NUMBER
	A-2

Door Schedule

- 1 - Insul. Entry Door Side lites
3'0" x 6'8"
- 1 Ext Insul Entry Door
3'0" x 6'8"

Window Schedule

- Jeld-Wen D.H. Window # 3660
3'0" x 5'0"
- Jeld-Wen D.H. Window # 3448
2'10" x 4'0"
- Jeld-Wen D.H. W.D.W # 7260-2
6'0" x 5'0"



CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
AUG 11 2010
SUPERSEDES ALL
PREVIOUS PLANS

DEDHAM STREET, PORTLAND, MAINE		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED
MAINLY PROPERTIES, INC		
CROSS SECTION A	DRAWING NUMBER A	

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
Portland, Maine 04101

INVOICE FOR FEES

Owner: GRANDVIEW M & M LLC
Location: 22 DEDHAM ST
CBL: 336 D003001
Invoice Date: 05/11/2011

Fee Description	Fee Charge
11/01/2010 RE INSPECTION Ck#1319	\$75.00
Total Billed:	\$75.00
Total Paid:	\$75.00
Amount Due:	\$0.00

Detach and remit with payment

Bill to: GRANDVIEW M & M LLC
PO BOX 6012
FALMOUTH, ME 04105

CBL 336 D003001
Invoice Date: 05/11/2011
Invoice No: 1200
Total Amt Due: \$0.00
Payment Amount:

Make checks payable to the *City of Portland*, Inspections Division, Room 315, 389 Congress Street, Portland, ME 04101.



**NORTHEAST
CIVIL
SOLUTIONS, INC.**

153 U.S. Route 1
Scarborough, Maine 04074
(800) 882-2227/ (207) 883-1000
FAX: (207) 883-1001
www.northeastcivilsolutions.com

LETTER OF TRANSMITTAL

TO: JEANIE BURKE CITY OF PORTLAND 389 CONGRESS ST PORTLAND, ME 04101	DATE: OCTOBER 27, 2010
	JOB No.: 31890.1
	FROM: SHAWN ALLARD
RE: DEDHAM STREET	

PLEASE BE ADVISED THAT WE ARE ENCLOSING THE FOLLOWING:

NO.	COPIES	DESCRIPTION
	1	Site Plan

RECEIVED

OCT 27 2010

Dept. of Building Inspections
Portland Maine

Copy to file Signed _____



SURVEYING ENGINEERING LAND PLANNING

Northeast Civil Solutions

INCORPORATED

www.northeastcivilsolutions.com

October 27, 2010

153 U.S. Route 1
Scarborough
Maine 04074

Jeanie Bourke
City of Portland Room 315
389 Congress Street
Portland, ME 04101

RE: Grandview M&M, LLC, Dedham Street

Dear Jeanie,

tel
207.883.1000
800.882.2227

During the week of October 25, 2010, we located the existing foundation. NCS found that the foundation was completed in accordance with the City of Portland required setbacks as shown and submitted on the plan.

Please feel free to contact me with any questions or concerns.

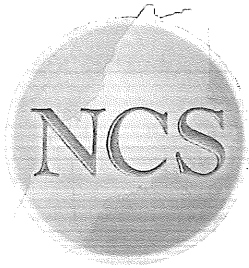
fax
207.883.1001

Sincerely,
Northeast Civil Solutions, Inc.

M. Johann Buisman, PLS
Vice President

Cc: Mark Moran, Grandview M&M, LLC

RECEIVED
OCT 27 2010
Dept. of Building Inspections
City of Portland Maine



SURVEYING ENGINEERING LAND PLANNING

Northeast Civil Solutions
INCORPORATED

www.northeastcivilsolutions.com

October 27, 2010

153 U.S. Route 1
Scarborough
Maine 04074

Jeanie Bourke
City of Portland Room 315
389 Congress Street
Portland, ME 04101

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fax
207.883.1001

Sincerely,
Northeast Civil Solutions, Inc.

M. Johann Buisman, PLS
Vice President

Cc: Mark Moran, Grandview M&M, LLC ✓

RECEIVED
SEP 27 2010
Dept. of Building Inspections
City of Portland Maine

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: May 10, 2011

RE: C. of O. for # 18-22 Dedham Street, Moran Single Family Home
(Id # 2010-0016) (CBL 336 D 003001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Paved driveway apron,
2. 2 Street trees,
3. Finish grading, loaming, seeding, and mulching.

I anticipate this work can be completed by **May 31, 2011**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Inspection Services Manager
File: Barbara Barhydt, Development Review Services Manager
File: Urban Insight

Rouision 48511

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 315 11
(207) 287-5235 Fax (207) 287-3185

PROPERTY LOCATION		Caution Permit Required -- Attach in Space Below -->	
City, Town, or Plantation	PORTLAND	<p>The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached HERE by the Local Plumbing Inspector. The permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.</p>	
Street or Road	DEDHAM STREET		
Subdivision, Lot #	(LOT 3-5)		
OWNER/APPLICANT INFORMATION		Caution Inspection Required	
Name (last, first, MI)	MORAN, MARK	I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Mailing Address of Owner/Applicant	P.O. Box 6012 KALMOUTH, ME. 04105	(1st) Date Approved _____	
Daytime Tel. #	408-9535	Local Plumbing Inspector Signature _____ (2nd) Date Approved _____	
<p>Owner or Applicant Statement I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.</p>			
Signature of Owner or Applicant _____ Date _____			

PERMIT INFORMATION		
TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENTS
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <input type="checkbox"/> b. Major Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Approval	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Private System (graywater & sit. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
12000 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> acres	<input checked="" type="checkbox"/> 1. Single Family Dwelling Unit, No. of bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> 3. Other: _____ Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	<input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE)			
TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular <input type="checkbox"/> b. Low profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY 1000 gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input checked="" type="checkbox"/> a. Cluster array <input type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE 1440 sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	270 gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 501.1 (dwelling units) <input type="checkbox"/> 2. Table 502.2 (other facilities) SHOW CALCULATIONS -- for other facilities -- <input type="checkbox"/> 3. Section 503.0 (meter readings)
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/EJECTOR PUMP	ATTACH WATER-METER DATA
PROFILE CONDITION DESIGN 9, D1, A at Observation Hole # TPI Depth 11" Elevation -69' OF MOST LINING SOIL FACTOR	<input type="checkbox"/> 1. Small - 2.0 sq. ft./gpd <input type="checkbox"/> 2. Medium - 2.5 sq. ft./gpd <input type="checkbox"/> 3. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 4. Large - 4.1 sq. ft./gpd <input checked="" type="checkbox"/> 5. Extra-Large - 6.0 sq. ft./gpd	<input type="checkbox"/> 1. Not Required <input checked="" type="checkbox"/> 2. May Be Required <input type="checkbox"/> 3. Required Specify only for engineered systems: DOSE _____ gallons	LATITUDE AND LONGITUDE at Center of Disposal Area Lat 43 d 46 m 3 s Lon 70 d 78 m 14 s If GPS, state margin of error: GOOGLE

SITE EVALUATOR STATEMENT			
I certify that on 12/1/09 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
James H. Mancini Site Evaluator Signature	247 SE #	DEC. 3, 2009 Date	APRIL 14, 2010 + APRIL 19, 2011 Page 1 of 2 HHE-200 Rev. 4/05
JAMES G. MANCINI Site Evaluator Name Printed	892-9498 Telephone #	APRIL 14, 2010 E-mail Address	

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(607) 287-5877, FAX (607) 287-4172

Town, City, Plantation
FORTLAND

Street, Road, Subdivision
DEDHAM ST. (Lot 3-5)

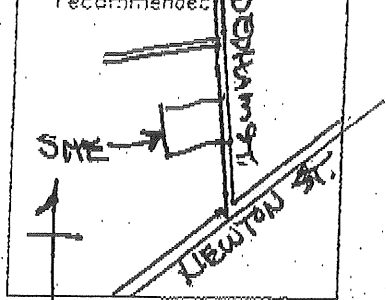
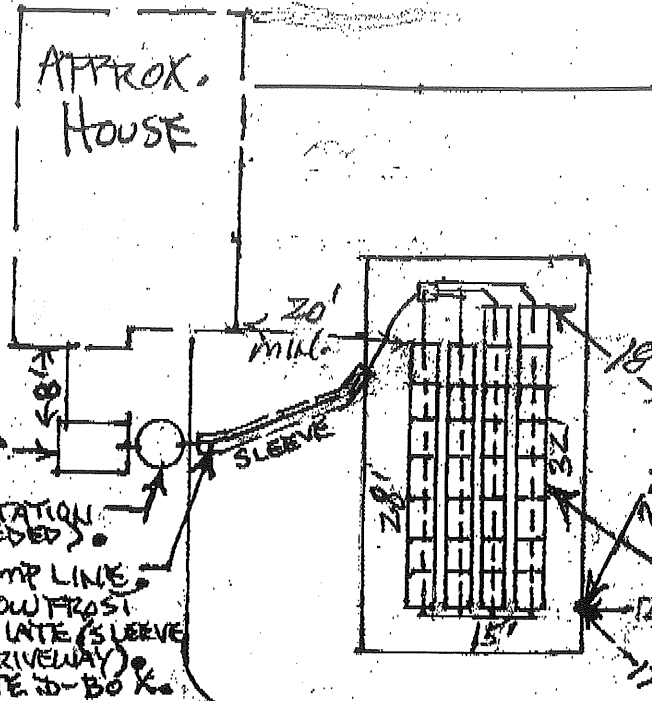
Owner's Name
MORANI, MARK

SITE PLAN

Scale 1" = 20' Ft.
or as shown

SITE LOCATION PLAN
(Map from Mcine Atlas recommended)

NOTES: WATER LINE TO BE 10' MIN. FROM DISPOSAL FIELD AND SEPTIC TANK. PUMP STATION WHERE FEASIBLE.



(ERP) 7" DIA. PINE.
2 ROWS OF 8 AND 2 ROWS OF 7 ELSEN UNITS. WITH 12" OF COARSE SAND BETWEEN ROWS, 6" BELOW FOOTPRINT, AND 9" AROUND PERIMETER.

DEDHAM ST. 40' ±

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP1 Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

Observation Hole Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0	SILT LOAM	FRIABLE	BROWN	
10			10YR 4/3	
15	CLAY	FIRM	OLIVE	▲ ▲ ▲ WATER
20				
30				
40				
50				

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0				
10				
20				
30				
40				
50				

Soil Classification **9 D1** Slope **11%** Limiting Factor **II** Ground Water Restrictive Layer Bedrock Pit Depth

Soil Classification _____ Slope _____ Limiting Factor _____ Ground Water Restrictive Layer Bedrock Pit Depth

James H. Mancini 247
Site Evaluator Signature SE

APRIL 4, 2010 Page 2 of 3
Date APRIL 19, 2011 HHE-200 Rev. 7/97
APRIL 25, 2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health Services
 Division of Health Engineering
 (607) 267-2672 Fax (607) 267-4472

Town, City, Plantation
PORTLAND

Street, Road, Subdivision
DEHAM ST. (LOT 3-5)

Owner's Name
MORAN, MARK

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20 FT.

"SEE PAGE 2 OF 3"

FILL REQUIREMENTS
(ABOVE GRADE)
 Depth of Fill (Upslope)
 Depth of Fill (Downslope)

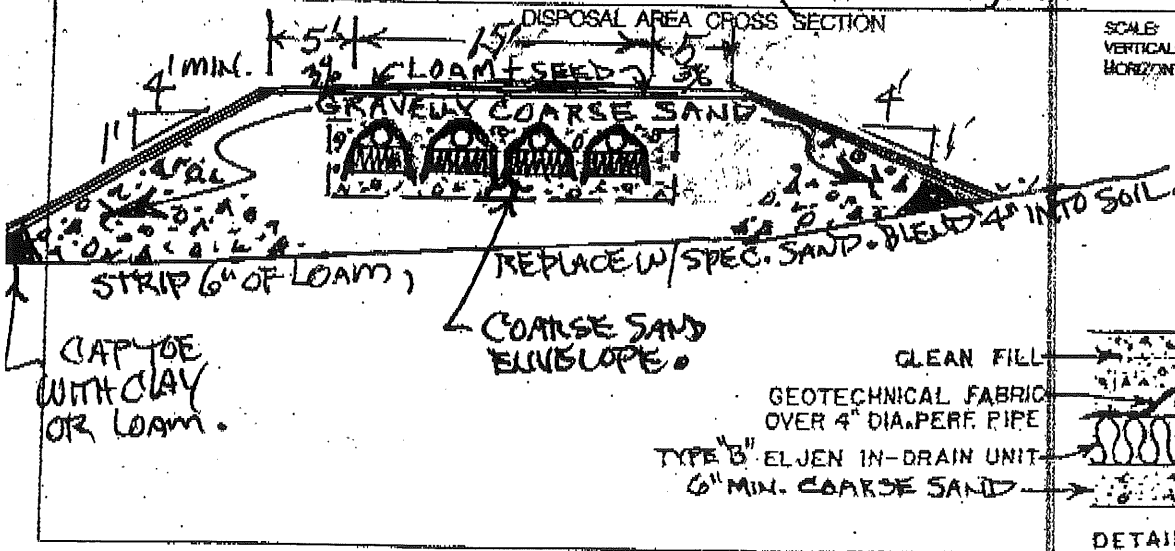
34-39"
 4-45"

CONSTRUCTION ELEVATIONS

Finished Grade Elevation = 24"
 Top of Distribution Pipe or Proprietary Device = 34"
 Bottom of Disposal Area (6" SAND BASE) = 51"

ELEVATION REFERENCE POINT

Location & Description: **NAIL IN PINE 1.52' OFF GRADE.**
 Reference Elevation: **AT 00"**



SCALE:
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 10'

ERR
 ELEV.

24"

38"

45"

51"

DETAIL (NO SCALE)

James A. Mancini
 Site Evaluator Signature

247
 SE *

APRIL 4, 2010
 APRIL 19, 2011
 APRIL 25, 2011

REVISION

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 3102 11
207 287-5222 Fax (207) 287-3165

PROPERTY LOCATION		Caution Permit Required -- Attach in Space Below -->>	
City, Town, or Plantation	FORT LAUD	The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached HERE by the Local Plumbing Inspector. The permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Street or Road	DEBHAM STREET		
Subdivision, Lot #	(LOT 3-5)		
OWNER/APPLICANT INFORMATION		Caution: Inspection Required	
Name (last, first, MI)	MORAN, MARK	I have inspected the installation submitted above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Mailing Address of Owner/Applicant	P.O. Box 6012 KALMOUTH, ME. 04105	Municipal Tax Map #	Lot #
Daytime Tel. #	408-9535	(1st) Date Approved	
Owner or Applicant Statement		Local Plumbing Inspector Signature	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation submitted above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		(2nd) Date Approved	

PERMIT INFORMATION		
TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENTS
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <input type="checkbox"/> b. Major Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Approval	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Private System (graywater & sit. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
12000 sq. ft. <input checked="" type="checkbox"/> or acres <input type="checkbox"/>	<input checked="" type="checkbox"/> 1. Single Family Dwelling, No. of bedrooms: <u>3</u> <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> 3. Other: _____ (specify) _____ Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	<input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGES _____)			
TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular <input type="checkbox"/> b. Low profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY <u>1000</u> gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input type="checkbox"/> a. Cluster array <input type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. Flagstone load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> e. Other: _____ SIZE <u>1440</u> sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	<u>270</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 501.1 (dwelling unit(s)) <input type="checkbox"/> 2. Table 502.2 (other facilities) SHOW CALCULATIONS -- for other facilities -- <input type="checkbox"/> 3. Section 503.6 (meter readings) ATTACH WATER-METER DATA
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/EJECTOR PUMP	LATITUDE AND LONGITUDE
PROFILE CONDITION DESIGN <u>9, D1, A</u> at Observation Hole # <u>IPL</u> Depth <u>11"</u> Elevation <u>-69'</u> OF MOST LIMITING SOIL FACTOR	<input type="checkbox"/> 1. Small - 2.0 sq. ft./gpd <input type="checkbox"/> 2. Medium - 2.6 sq. ft./gpd <input type="checkbox"/> 3. Medium-Large - 3.0 sq. ft./gpd <input type="checkbox"/> 4. Large - 4.5 sq. ft./gpd <input checked="" type="checkbox"/> 5. Extra-Large - 5.0 sq. ft./gpd	<input type="checkbox"/> 1. Not Required <input checked="" type="checkbox"/> 2. May Be Required <input type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	Center of Disposal Area Lat. <u>43° 42' 3"</u> Lon. <u>70° 18' 14"</u> if GPS, state margin of error: <u>GAUSS</u>

SITE EVALUATOR STATEMENT

I certify that on 12/1/09 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State Subsurface Wastewater Disposal Rules (10-144A-CMR 241).

James A. Mancini 247 DEC. 3 2009
 Site Evaluator Signature SE #
JAMES G. MANCINI 892-9498 APR 15 2010 + APRIL 19, 2011
 Site Evaluator Name/Phone Telephone # APR 22 2011
 Email Address


Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

APR 25 2011

10-144 CMR 241


Dept. of Building Inspections
City of Portland Maine

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DUSTIN T. FOGG

DEPARTMENT OF PROFESSIONAL AND FINANCIAL REGULATION
OFFICE OF LICENSING AND REGISTRATION
ELECTRICIANS EXAMINING BOARD

JOURNEYMAN ELECTRICIAN

License Number: **JY40090502**

Status: **Active**

Expiration Date: **09/30/2011**

Mailing Address: **237 SOUTH ST**
GORHAM, ME 04038-1987

Primary Phone : **+1 (207) 831-9900**

History

License Type	Start Date	End Date
JOURNEYMAN ELECTRICIAN	09/06/2007	09/30/2011

License/Disciplinary Action

No Records.

ELECTRICIANS HELPER

License Number: **HP20029767**

Status: **Withdrawn/Terminated by Licensee**

Expiration Date: **09/06/2007**

Mailing Address: **237 SOUTH ST**
GORHAM, ME 04038-1987

Primary Phone : **+1 (207) 831-9900**

History

License Type	Start Date	End Date
ELECTRICIANS HELPER	01/16/2001	09/06/2007
*** NOT ACTIVE ***	12/01/2000	01/15/2001
ELECTRICIANS HELPER	11/16/1998	11/30/2000

License/Disciplinary Action

No Records.


GENERAL INFORMATION

Gender: **Male**

The Office of Licensing and Registration presents the above information as a service to the public. Although the Office believes the information to be reliable, we do not certify the accuracy of the posted information. In addition, there may be a delay in posting and updating information. The information may not show a complete history. Licensing history prior to January 1, 2000 is unavailable.

An active license/permit may still be subject to limitations and restrictions as a result of disciplinary action imposed. Please contact the specific licensing board about specific disciplinary actions.

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E-Mail CMP

Schedule Inspection

Invoicing

Add

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Permit Nbr:	2010-4746	Addr:	DEDHAM ST	0	CBL	336 D003001	Appl Date:	
Building Permit Nbr:	100768	District:	5	Status:	Open	Issue Date:		
Owner	GRANDVIEW M & M LLC	C Tract:	21.02	Res or Comm:	R	Date Closed		
Mail Addr	PO BOX 6012	FALMOUTH, ME 04105	Min Fee:	\$45.00	Fee Pa			
Desc:	441184174001							

10/26/10
10/26/10
2.00

Other Permits Referenced

Search By:	Company Name			Add New
	License Number			Electrician's Name
License #	MS10016408	License Status:	A	JOSEPH J. FALCONE
Company Name				
First Name	JOSEPH	Middle	J	Last
				FALCONE
Suffix				
Address:	137 DAGGETT ST	Phone	(207)787-3900	
	PORTLAND, ME 04103	Cell Phone	(207) 318-5144	
		Beeper		
	PORTLAND	ME	4103	
License Date:	2/21/1997	Issue Date:	8/8/2002	ExpDate:
				8/31/2012

CreatedBy	Idobson	CreateDate	10/26/2010	ModBy	Idobson	ModDate	10/26/2010
		Time	12:53			Time	

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date OCT 24 2010
 Permit # 2010-4746
 CBL# 336-D-3

LOCATION: 18 Dedham St METER MAKE & # _____
 CMP ACCOUNT # 441-1841741001 OWNER Brand View M&M LLC
 TENANT _____ PHONE # 207-408-9535

TOTAL EACH FEE

Category	Quantity	Sub-category	Quantity	Sub-category	Quantity	Rate	Total
OUTLETS	42	Receptacles	38	Switches	6	Smoke Detector	.20
							17.20
FIXTURES	18	Incandescent	5	Fluorescent	4	Strips	.20
							5.40
SERVICES	1	Overhead		Underground		TTL AMPS <800	15.00
		Overhead		Underground		>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS	25.00
							25.00
METERS	1	(number of)					1.00
MOTORS		(number of)					2.00
RESID/COM		Electric units					1.00
HEATING	1	oil/gas units		Interior		Exterior	5.00
APPLIANCES	1	Ranges		Cook Tops		Wall Ovens	2.00
		Insta-Hot		Water heaters	3	Fans	2.00
	1	Dryers	1	Disposals	1	Dishwasher	2.00
		Compactors		Spa	1	Washing Machine	2.00
		Others (denote)					2.00
MISC. (number of)		Air Cond/win					3.00
		Air Cond/cent				Pools	10.00
		HVAC		EMS		Thermostat	5.00
		Signs					10.00
		Alarms/res					5.00
		Alarms/com					15.00
		Heavy Duty(CRKT)					2.00
		Circus/Carnv					25.00
		Alterations					5.00
		Fire Repairs					15.00
		E Lights					1.00
		E Generators					20.00
PANELS		Service		Remote	1	Main	4.00
TRANSFORMER		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00
						TOTAL AMOUNT DUE	\$ 63.60
		MINIMUM FEE/COMMERCIAL 55.00				MINIMUM FEE	45.00

336

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OCT 26
 Dept. of Building Inspections
 City of Portland Maine

CONTRACTORS NAME Joe Falcone MASTER LIC. # MS 10016408
 ADDRESS 37 Daggatt St LIMITED LIC. # _____
 TELEPHONE 207 318-5144

SIGNATURE OF CONTRACTOR [Signature]

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(603) 257-5672 FAX (603) 257-4172

Town, City, Plantation
PORTLAND

Street, Road, Subdivision
DEBHAM ST. (Lot 3-5)

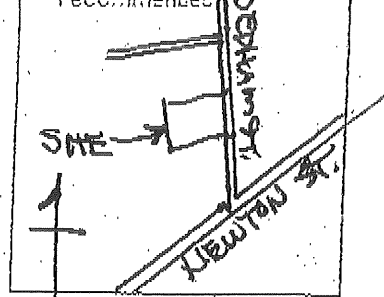
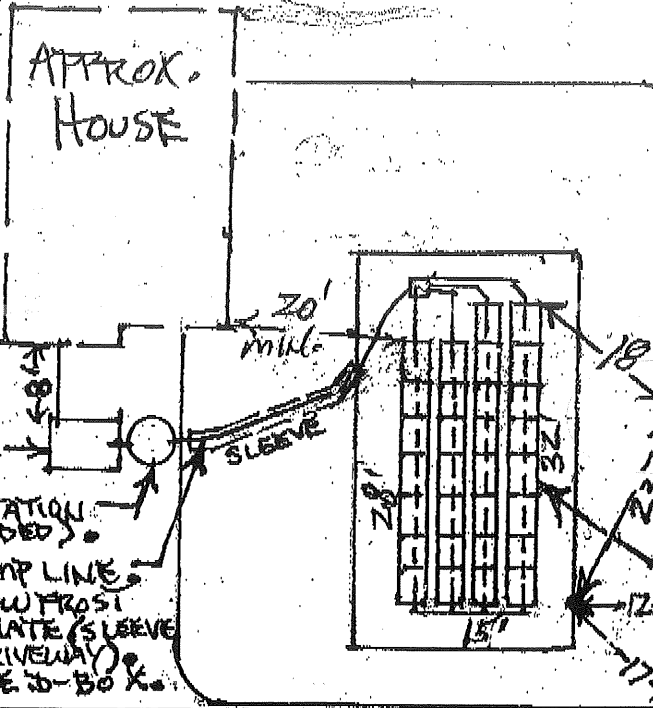
Owner's Name
MORAN, MARK

SITE PLAN

Scale 1" = 20' Ft.
or as shown

SITE LOCATION PLAN
(Map from Maine Atlas recommended)

NOTE: WATER LINE TO BE 10' MIN. FROM DISPOSAL FIELD AND SEPTIC TANK. PLACE TANK WHERE FEASIBLE.



(EXP) 7" DIA. PINE.
2 ROWS OF 8 AND 2 ROWS OF 7 ELVEN UNITS WITH 12" OF COARSE SAND BETWEEN ROWS, 6" BELOW FOOTPRINT, AND 9" AROUND PERIMETER.

DEBHAM ST.

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TPI Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Moisture
0	SILT LOAM	FRIABLE	BROWN	104R 4/3
10	CLAY	FIRM	OLIVE	WATER
20				
30				
40				
50				

Observation Hole Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Moisture
0				
10				
20				
30				
40				
50				

Soil Classification **9 DL** Slope % Limiting Factor Ground Water Restrictive Layer Bedrock Pit Depth

Soil Classification Slope % Limiting Factor Ground Water Restrictive Layer Bedrock Pit Depth

James J. Mancini 247
Site Evaluator Signature SE

APRIL 14, 2010
APRIL 19, 2011
APRIL 25, 2011
Page 2 of 3
HHE-200 Rev. 7/97

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Public Services
 Division of Health Engineering
 (607) 267-3672 Fax (607) 267-4372

Town, City, Plantation
PORTLAND

Street, Road, Subdivision
DELLAM ST. (LOT 3-5)

Owner's Name
MORAN, MARK

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20 FT.

"SEE PAGE 2 OF 3"

FILL REQUIREMENTS
 (ABOVE GRADE)
 Depth of Fill (Upslope)
 Depth of Fill (Downslope)

34-39"
 41-45"

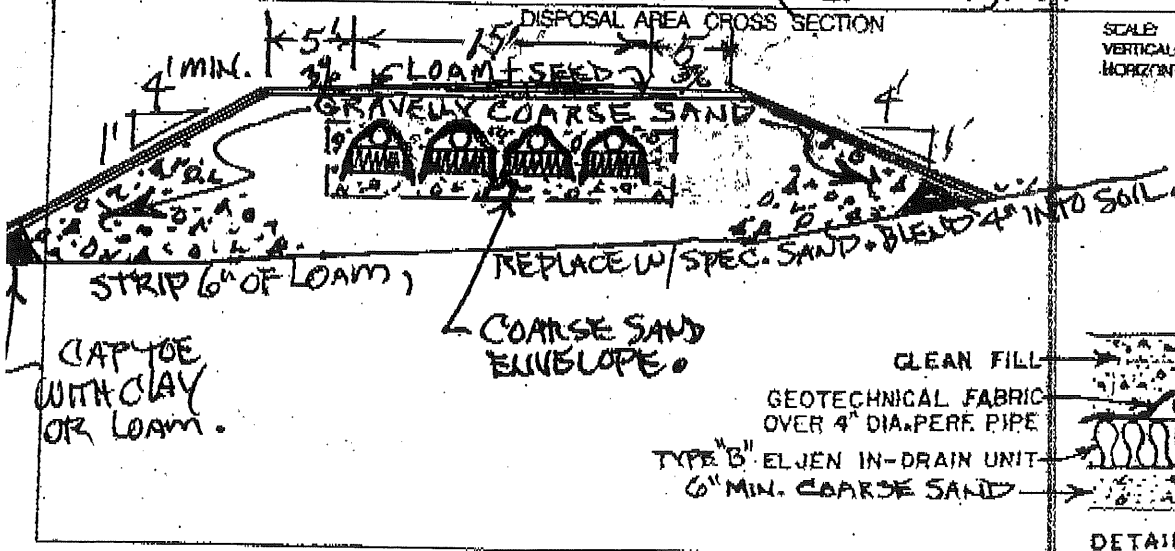
CONSTRUCTION ELEVATIONS

Finished Grade Elevation = 24'
 Top of Distribution Pipe or Proprietary Device = 32'
 Bottom of Disposal Area (6" SAND BASE) = 51"

ELEVATION REFERENCE POINT

Location & Description: NAIL IN
 Reference Elevation: PINE 5' 24" OFF GRADE.
 AT 00"

DISPOSAL AREA CROSS SECTION



SCALE:
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 10'

ERR. ELEV.

24"
 38"
 45"
 51"

DETAIL (NO SCALE)

James A. Mancini
 Site Evaluator Signature

247
 SE =

APRIL 4, 2010
 Date
 APRIL 19, 2011
 APRIL 25, 2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5877 FAX (207) 287-4772

Town, City, Plantation
PORTLAND

Street, Road, Subdivision
DEDHAM ST. (Lot 3-5)

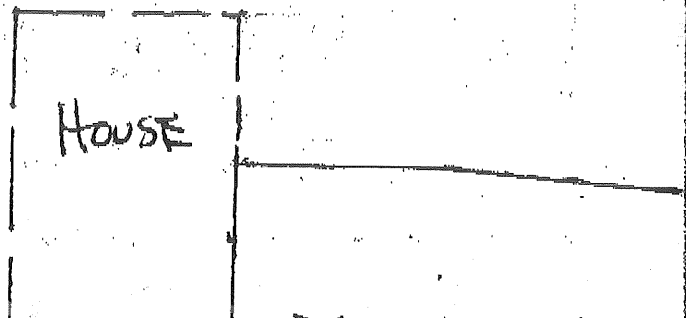
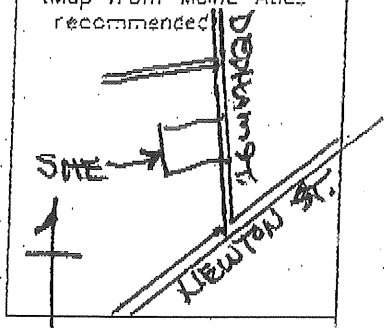
Owner's Name
MORAN, MARK

SITE PLAN

Scale 1" = 20' Ft.
or as shown

SITE LOCATION PLAN
(Map from Maine Atlas recommended)

NOTE: WATER LINE TO BE 10' MIN. FROM DISPOSAL FIELD AND SEPTIC TANK. PLACE MARK WHERE FEASIBLE.



1000 GAL. TANK
PUMP STATION (IF NEEDED)
1/2" - 2" PUMP LINE BURY BELOW FROST OR INSULATE (SLEEVE UNDER DRIVEWAY) INSULATE 3" BOX.

(ERP) 7" DIA. PINE.

5 ROWS OF 6 ELTEN UNITS. WITH 12" OF COARSE SAND BETWEEN ROWS, 6" BELOW FOOTPRINT, AND 9" AROUND PERIMETER.

STAKE

STAKE

DEDHAM ST. 40' ±

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TPI Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

Observation Hole Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0 - 10	SILT LOAM	PLIABLE	BROWN 10YR 4/3	
10 - 20	CLAY	FIRM	OLIVE	WATER
20 - 30				
30 - 40				
40 - 50				

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0 - 10				
10 - 20				
20 - 30				
30 - 40				
40 - 50				

Soil Classification **9 D1** Slope % **11** Limiting Factor Ground Water Restrictive Layer Bedrock Pit Depth

Soil Classification Slope % Limiting Factor Ground Water Restrictive Layer Bedrock Pit Depth

James J. Mancini 247
Site Evaluator Signature SE

APRIL 4, 2010
APRIL 19, 2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 505 11
(207) 287-5331 Fax (207) 287-5189

PROPERTY LOCATION		Caution Permit Required -- Attach in Space Below --><	
City, Town, or Plantation	PORTLAND	The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached HERE by the local Plumbing Inspector. The permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Street or Road	DEBHAM STREET		
Subdivision, Lot #	(LOT 3-5)		
OWNER/APPLICANT INFORMATION		Caution: Inspection Required	
Name (last, first, MI)	MORAN, MARK	I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Mailng Address of Owner/Applicant	P.O. Box 6012 KALMOUTH, ME. 04105	(1st) Date Approved _____	
Daytime Tel. #	408-9535	Local Plumbing Inspector Signature _____ (2nd) Date Approved _____	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		Signature of Owner or Applicant _____ Date _____	

PERMIT INFORMATION			
TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENTS	
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <input type="checkbox"/> b. Major Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Approval	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & air, toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Segregated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components	
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY	
12,000 sq. ft. <input checked="" type="checkbox"/> or <input type="checkbox"/> acres	<input checked="" type="checkbox"/> 1. Single Family Dwelling, No. of bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> 3. Other: _____ (specify) _____ Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	<input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Cug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____	
SHORELAND ZONING			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> 2. Regular <input type="checkbox"/> 3. Low profile <input type="checkbox"/> 4. Plastic <input type="checkbox"/> 5. Other: _____ CAPACITY 1000 gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device <input checked="" type="checkbox"/> a. Choker array <input type="checkbox"/> c. Unsear <input checked="" type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: 1440 sq. ft. <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	270 gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 501.3 (dwelling units) <input type="checkbox"/> 2. Table 502.2 (other facilities) SHOW CALCULATIONS -> for other facilities -> <input type="checkbox"/> 3. Section 503.0 (meter readings) ATTACH WATER-METER DATA
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/JECTOR PUMP	LATITUDE AND LONGITUDE
PROFILE 9 CONDITION D1 DESIGN A at Observation Hole # TPI Depth 11 * Elevation -69 OF MOST UNFITTING SOIL FACTOR	<input type="checkbox"/> 1. Small -- 2.0 sq. ft./gpd. <input type="checkbox"/> 2. Medium -- 2.5 sq. ft./gpd. <input type="checkbox"/> 3. Medium-Large -- 3.3 sq. ft./gpd. <input type="checkbox"/> 4. Large -- 4.1 sq. ft./gpd. <input checked="" type="checkbox"/> 5. Extra-Large -- 5.0 sq. ft./gpd.	<input type="checkbox"/> 1. Not Required <input checked="" type="checkbox"/> 2. May Be Required <input type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	of Center of Disposal Area Lat. 43 d. 42 m. 3 s. Long. 70 d. 19 m. 14 s. N.T.S., state margin of error: GOOGLE

SITE EVALUATOR STATEMENT			
I certify that on 12/1/09 (date) I completed a site evaluation on this property and state that the data reported was accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A-CMR 241).			
Signature: James H. Marcini Site Evaluator Signature		SE # 247 Telephone # 892-9498	
Printed Name: JAMES H. MARCINI Site Evaluator Name Printed		Email Address: APRIL 14, 2010 + APRIL 19, 2011 HFE 200 Rev. 405	

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Water Services
 Division of Health Engineering
 (207) 287-2572 FAX (207) 287-6382

Town, City, Plantation
PORTLAND

Street, Road, Subdivision
DEBHAM ST. (LOT 3-5)

Owner's Name
MORAN, MARK

SUBSURFACE WASTEWATER DISPOSAL PLAN

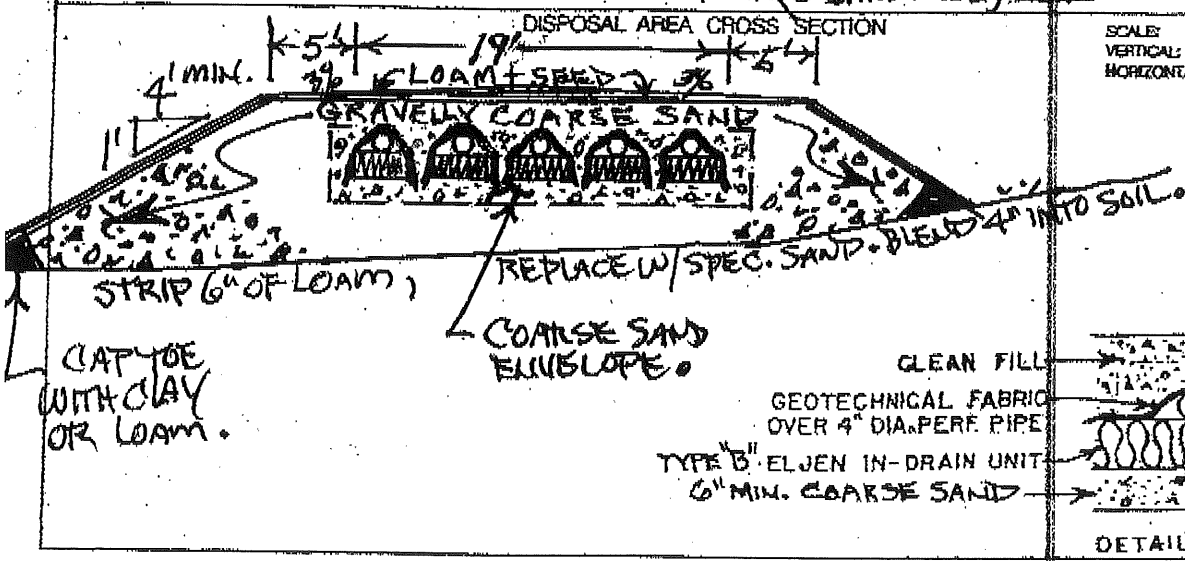
SCALE 1" = 20 FT.

"SEE PAGE 2 OF 3"

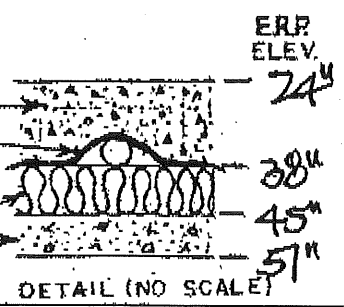
PER REQUIREMENTS
 (ABOVE GRADE) 34-39"
 Depth of Fill (Upslope) 4-45"
 Depth of Fill (Downslope)

CONSTRUCTION ELEVATIONS
 Finished Grade Elevation = 34"
 Top of (Distribution Pipe) or Proprietary Device = 34"
 Bottom of Disposal Area (6" SAND BASE) = 51"

ELEVATION REFERENCE POINT
 Location & Description NAIL IN PINE 152" OFF GRADE.
 Reference Elevation AT 00"



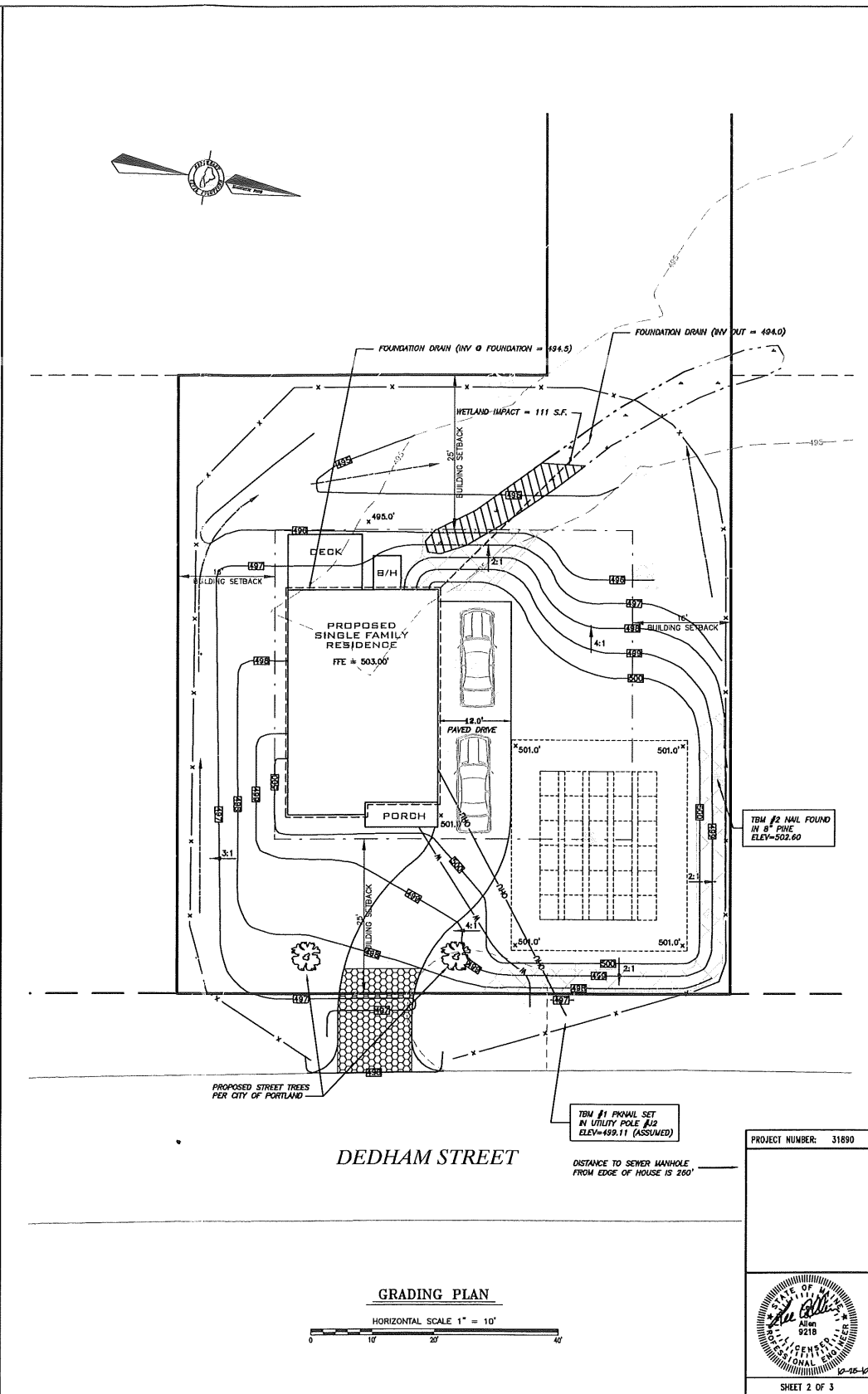
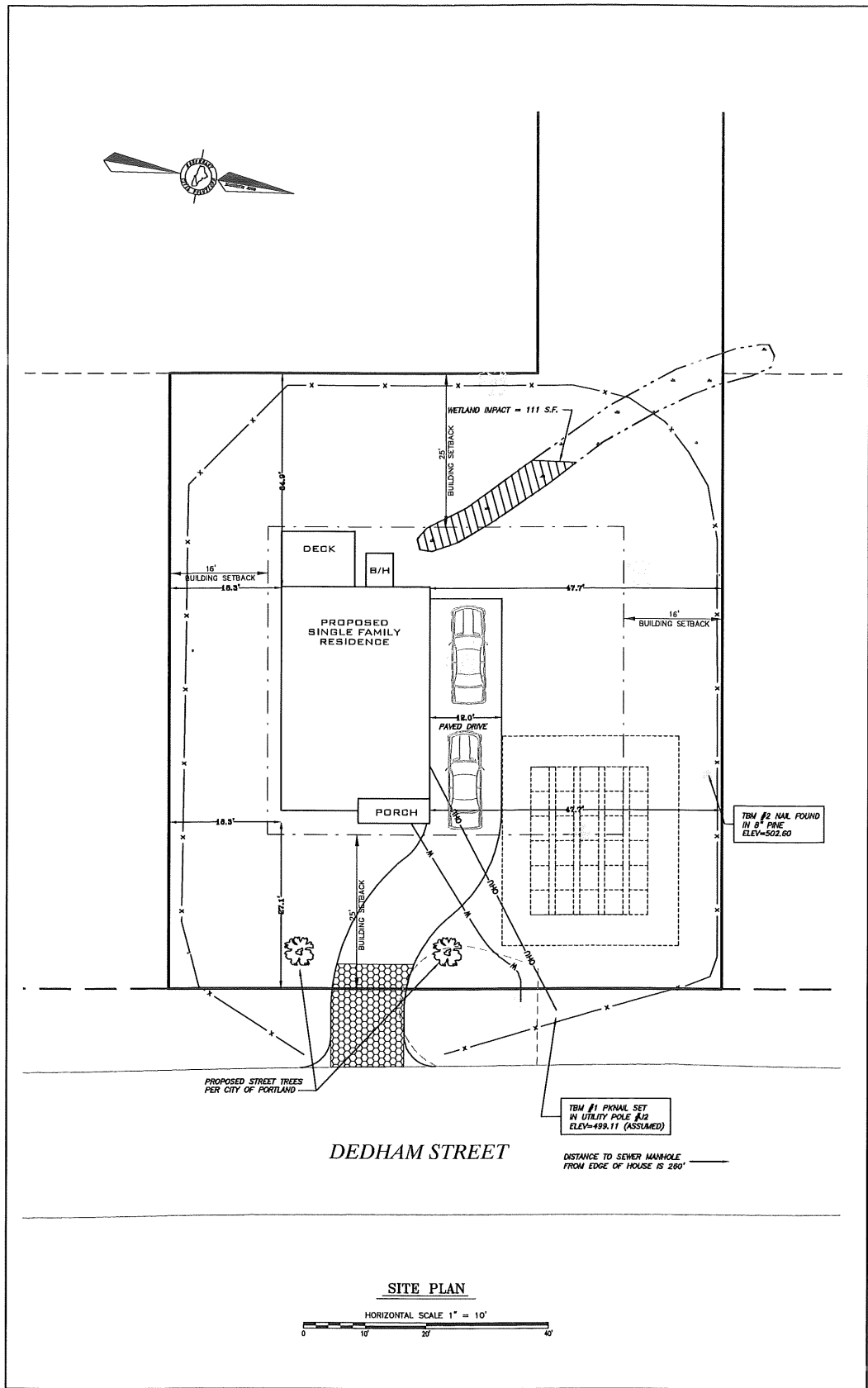
SCALE:
 VERTICAL: 1" = 5'
 HORIZONTAL: 1" = 10'



James A. Mancini
 Site Evaluator Signature

247 SE *

APRIL 4, 2010
 APRIL 19, 2011



LEGEND

- BOUNDARY LINE
- EDGE OF PAVEMENT
- - - EXISTING GRAVEL
- - - ABUTTER
- - - RIGHT OF WAY
- - - BUILDING SETBACK
- - - EXISTING UTILITY POLE
- - - EXISTING CONTOURS
- - - WETLAND
- - - PROPOSED CONTOUR
- - - PROPOSED GRAVEL
- - - WATER LINE
- - - PROPOSED DRAIN LINE
- - - SILT FENCE/MULCH BERM
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] HAY BALE BARRIER
- [Symbol] EROSION CONTROL MATTING

NOTES

- ELEVATIONS AND CONTOURS ARE BASED ON AN ASSUMED DATUM. SEE PLAN FOR TBM DESCRIPTION.
- THE UTILITIES SHOWN ON THIS PLAN WERE FROM FIELD OBSERVATION ONLY. THERE MAY BE OTHER UTILITIES EXISTING THAT ARE NOT SHOWN. CONTACT DIG-SAFE (888)DIG-SAFE PRIOR TO ANY EXCAVATION WORK.

SOILS LEGEND

SYMBOL	SOIL TYPE	HSG
Sn	SCANTY SILT LOAM	D

THE SOURCE OF THE SOIL TYPES AND BOUNDARIES IS THE NATIONAL COOPERATIVE SOIL SURVEY (NCSS).

THIS PLAN IS FOR REVIEW PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION OR RECORDING

Revised	By	Date	Change
1	SA	10-20-18	REVISED HICK & BARDEN LOCATOR PER CLIENT
1	SA	7-18-19	REVISED PER CITY OF PORTLAND COMMENTS

PROJECT NUMBER: 31890 ACAD FILE: 31890-SITE.DWG SCALE: 1" = 10' DATE: JUNE 23, 2010

SITE/GRADING PLAN

Drawing Name:
DEDHAM STREET
DEDHAM STREET, PORTLAND, MAINE 04101

Project Name:
GRANDVIEW M&M, LLC C/O MARK MORAN
PO BOX 6012, FALMOUTH, MAINE 04105

SURVEYING ENGINEERING LAND PLANNING
Northeast Civil Solutions
INCORPORATED

153 US ROUTE 1, SCARBOROUGH, MAINE 04074

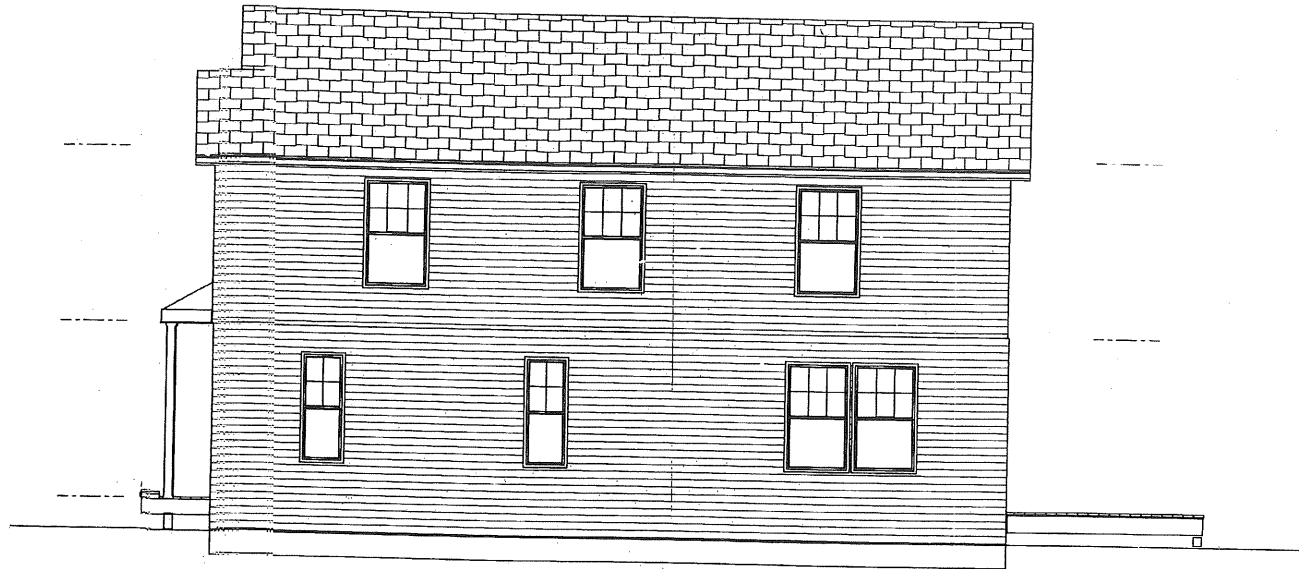
Tel: 207.883.1000 Fax: 207.883.1001 e-mail: info@northeastcivilsolutions.com
800.882.2227

RECEIVED
OCT 25 2010
Dept. of Building Inspections
City of Portland Maine

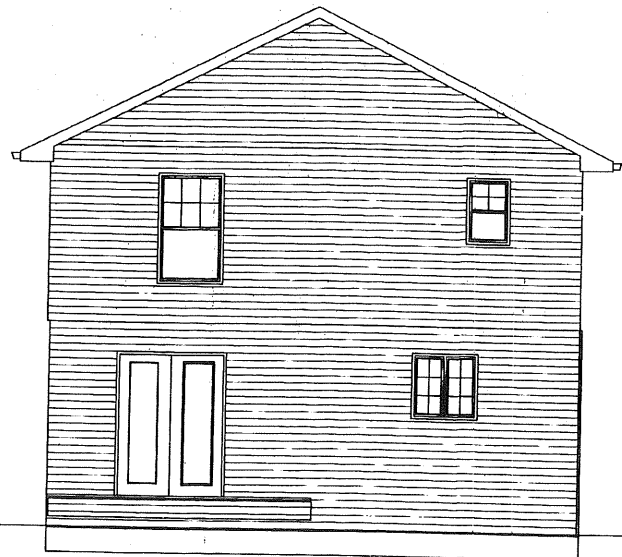
SHEET 2 OF 3



FRONT ELEVATION



RIGHT SIDE ELEVATION

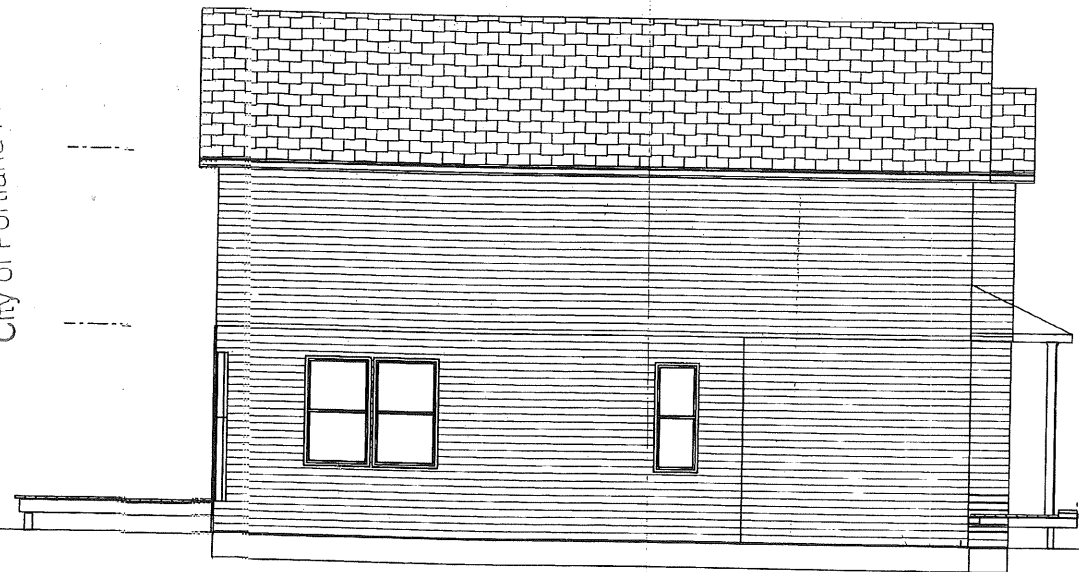


REAR ELEVATION

RECEIVED

JUN 29 2010

Dept. of Building Inspections
City of Portland Maine

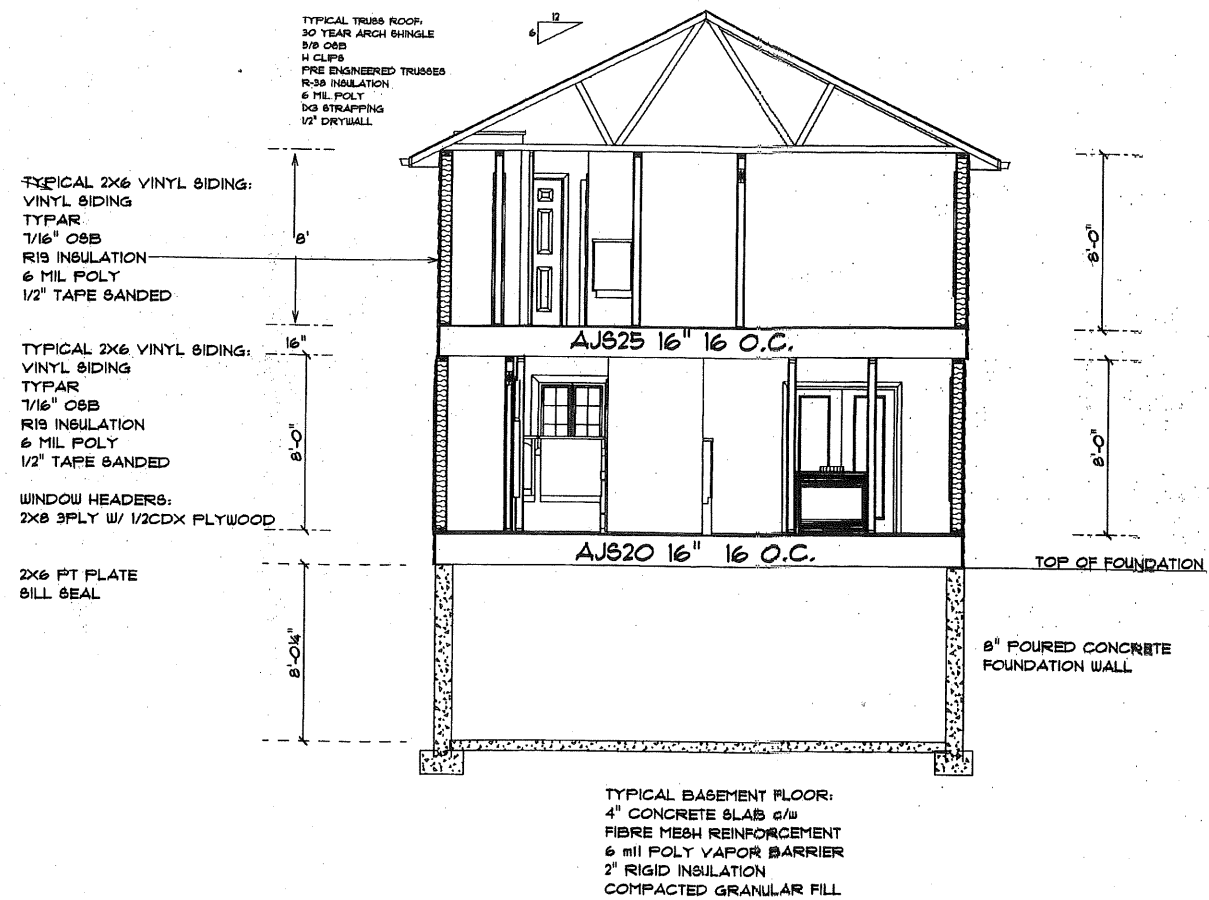


LEFT ELEVATION

REVISION

18-22 Dedham St

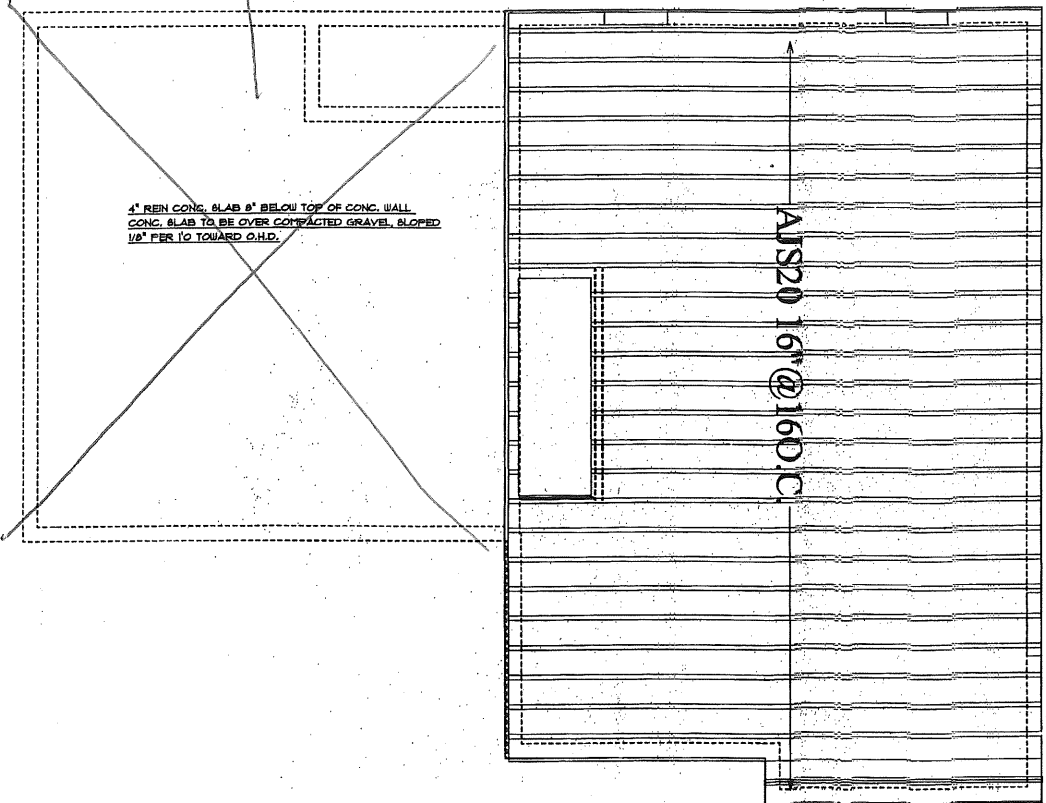
DEDHAM STREET PORTLAND, ME		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010	REVISOR	REVISION
MAINLY PROPERTIES, INC		
ELEVATIONS	DRAWING NUMBER	A-4



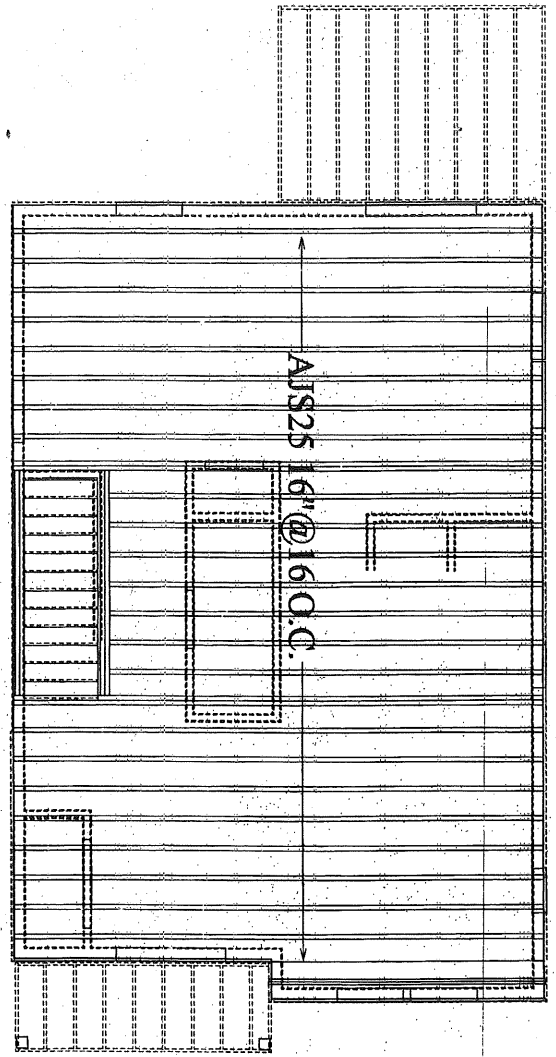
18-22 Dedham St

DEDHAM STREET, PORTLAND, MAINE		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2020		REVISED
MAINLY PROPERTIES, INC		
CROSS SECTION A	DRAWING NUMBER	
	A	

Not part of
this permit
with apply will need to
apply for separate
application to build garage
infrastructure



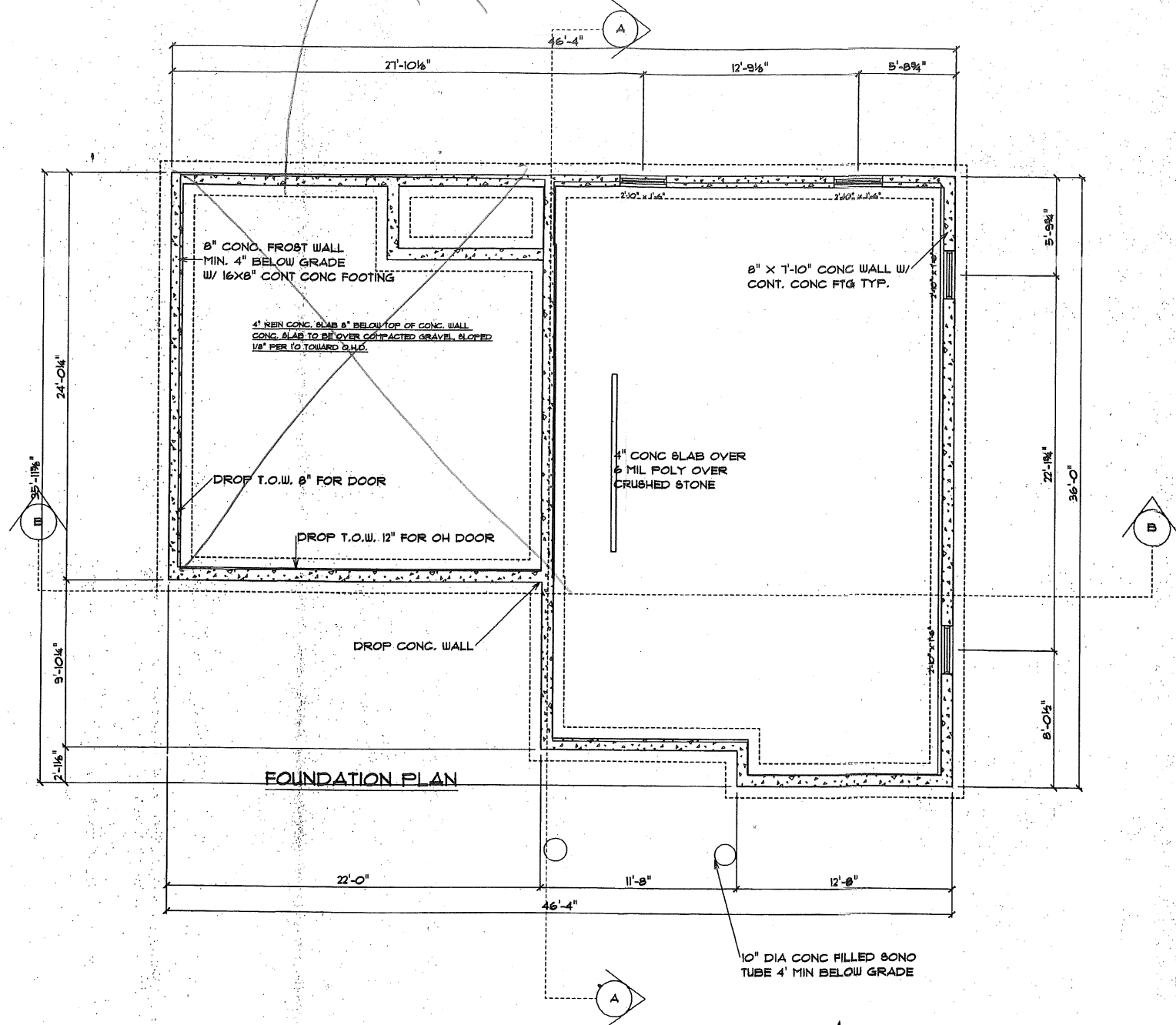
4" REIN CONC. SLAB 6" BELOW TOP OF CONC. WALL
CONC. SLAB TO BE OVER COMPACTED GRAVEL, SLOPED
1/8" PER FO TOWARD O.H.D.



18-22 DeLham St

DUNHAM STREET, PORTLAND ME		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED
MAINLY PROPERTIES, INC		
FLOOR FRAMING PLAN	DRAWING NUMBER	A-3

Not part of this
 permit - see building
 plan received 7/20/19



18-22 Dedham St

DUNHAM STREET, PORTLAND ME		
SCALE 1/4"=1'	APPROVED	DRAWN BY
DATE February 02, 2010		REVISED
MAINLY PROPERTIES, INC		
FOUNDATION PLAN	DRAWING NUMBER A-2	