

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0814	Issue Date: 7/1/2002	CBL: 335 G011001
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Location of Construction: 20 Haskell St	Owner Name: Burkhardt Robert P &	Owner Address: Po Box 9715-953	Phone: 749 0087
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	Zone:

Past Use: Vacant Land	Proposed Use: FOUNDATION ONLY	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: FOUNDAION ONLY for a proposed Single Family Home		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 503 7/23/02	
		Signature:	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: mjn	Date Applied For: 07/23/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>[Signature]</i>	Date: _____	Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 020814

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Burkhardt Robert P &
has permission to FOUNDATION ONLY for a proposed Single Family Home
AT 20 Haskell St 335 G011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or occupied closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 7/23/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Att. Kevin Carroll
Engineered Lumber Residential Guide

20 Haskell St

GP Lam® LVL Beam and Header Design Properties

1 1/2" 2.0E GP Lam LVL Allowable Design Properties¹

Depth ²	Maximum Vertical Shear (lbs.)			Maximum Resistive Moment (ft. lbs.)			EI (10 ⁶ inch ⁴ lbs.)	Weight (pH)
	100%	115%	125%	100%	115%	125%		
9 1/4"	3076	3537	3845	6316	7262	7894	231	4.3
9 1/2"	3159	3633	3948	6641	7637	8302	250	4.4
10 1/4"	3241	3732	4078	6970	8031	8725	270	4.5
10 1/2"	3348	3841	4218	7313	8441	9183	290	4.6
11 1/4"	3459	3963	4378	7670	8867	9678	310	4.7
11 1/2"	3576	4098	4548	8041	9318	10202	330	4.8
12 1/4"	3699	4248	4728	8427	9795	10755	350	4.9
12 1/2"	3828	4403	4918	8828	10298	11338	370	5.0
13 1/4"	3963	4573	5118	9245	10827	11952	390	5.1
13 1/2"	4104	4748	5328	9678	11383	12597	410	5.2
14 1/4"	4251	4938	5548	10127	11966	13273	430	5.3
14 1/2"	4404	5143	5778	10592	12577	13981	450	5.4
15 1/4"	4563	5363	6018	11073	13216	14722	470	5.5
15 1/2"	4728	5598	6278	11570	13883	15496	490	5.6
16 1/4"	4899	5848	6548	12083	14578	16304	510	5.7
16 1/2"	5076	6113	6828	12613	15301	17146	530	5.8
17 1/4"	5259	6393	7118	13160	16052	18022	550	5.9
17 1/2"	5448	6688	7418	13723	16831	18933	570	6.0

1. Table assumes beam has lateral support at bearing points and continuous lateral support along the compression edge of the beam.
2. 13 1/4" x 16" and deeper beams must only be used in multiple-piece members.

2.0E GP Lam LVL Allowable Design Stresses

Modulus of Elasticity	E = 2.0 x 10 ⁶ psi ¹⁰	1. No increase is allowed to E or F _u for duration of load.
Flexural Stress	F _b = 2950 psi ¹⁰	2. For depths (d) other than 12", multiply F _b by (12/d) ^{1.6} .
Horizontal Shear (joist)	F _v = 285 psi	
Compression Perpendicular to Grain (joist)	F _{c⊥} = 750 psi ¹⁰	
Compression Parallel to Grain (joist)	F _{c∥} = 2750 psi	

3 1/2" 2.0E GP Lam LVL Allowable Design Properties¹

Depth	Maximum Vertical Shear (lbs.)			Maximum Resistive Moment (ft. lbs.)			EI (10 ⁶ inch ⁴ lbs)	Weight (pH)
	100%	115%	125%	100%	115%	125%		
9 1/4"	6151	7074	7689	13486	15506	16858	462	8.8
9 1/2"	6318	7265	7887	14183	16310	17729	500	9.0
10 1/4"	6491	7471	8102	14908	17147	18699	530	10.8
10 1/2"	6671	7691	8337	15661	18017	19702	570	11.3
11 1/4"	6857	7927	8592	16442	18920	20748	610	13.4
11 1/2"	7049	8179	8857	17251	19857	21828	650	15.3
12 1/4"	7247	8447	9142	18088	20829	22943	690	17.2
12 1/2"	7451	8731	9447	18953	21837	24094	730	
13 1/4"	7661	9031	9772	19846	22873	25281	770	
13 1/2"	7877	9347	10117	20767	23937	26504	810	
14 1/4"	8099	9679	10482	21716	25030	27764	850	
14 1/2"	8327	10027	10857	22693	26153	29061	890	
15 1/4"	8561	10391	11252	23698	27307	30395	930	
15 1/2"	8801	10771	11667	24731	28493	31766	970	
16 1/4"	9047	11167	12102	25792	29712	33174	1010	
16 1/2"	9299	11579	12557	26881	30965	34619	1050	
17 1/4"	9557	12007	13032	27998	32253	36101	1090	
17 1/2"	9821	12451	13527	29143	33577	37620	1130	

1. Table assumes beam has lateral support at bearing points and continuous lateral support along the compression edge of the beam.

2.0E GP Lam LVL Allowable Design Stresses

Modulus of Elasticity	E = 2.0 x 10 ⁶ psi ¹⁰	1. No increase is allowed to E or F _u for duration of load.
Flexural Stress	F _b = 3150 psi ¹⁰	2. For depths (d) other than 12", multiply F _b by (12/d) ^{1.6} .
Horizontal Shear (joist)	F _v = 285 psi	
Compression Perpendicular to Grain (joist)	F _{c⊥} = 750 psi ¹⁰	
Compression Parallel to Grain (joist)	F _{c∥} = 2750 psi	

Contact your local retail dealer or GP Distribution Center for products available in your area.

ATTN David

207-453-9493

Bob Burkhardt

Original
STATE OF MAINE
CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Div. of Licensing & Enforcement at 1-582-8723 or write to the Division at State House Station #35, Augusta, ME 04333.

INSTALLER INFORMATION

Name of Installer Charles W. Allen

D.B.A. _____

Name of Installer (if incorporated) Cornerstone Masonry, Inc.

D.B.A. _____

Legal Address 99 Wood Rd Corham,
(Street and No.) (City or Town)

Maine Camden 04038
(State) (County) (Zip Code)

Home Telephone 207 / / Business Telephone 207 / 839 / 8870

Years of experience doing fireplace or chimney installations [27]

NAMES AND ADDRESSES OF INSTALLER'S LAST THREE CUSTOMERS
OF CHIMNEY OR FIREPLACE INSTALLATIONS

1. Name Refer Muller Telephone # 839-4419

Address Gloria St., Corham, Me. 04038 Date of Installation 9/03

Description of Job replaced chimney

2. Name David Johnston Telephone # 839-3310

Address Day Rd., Corham, Me. Date of Installation 7/03

Description of Job replace chimney

3. Name Patty Farrell Telephone # 892-5928

Address 33 Chute Rd., Windham, Me Date of Installation 7/03

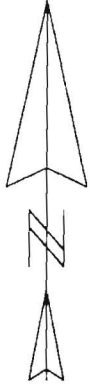
Description of Job new chimney

CONSUMER IDENTIFICATION

Consumer's Name Bob Burkhardt

Mailing Address Hasell St. Portland, Me Cumb.
(Street & No.) (City or Town) (State) (Zip Code) (COUNTY)

Home Phone 207 / 829 773 8736 Business Phone 207 / 773 8736



1.) THIS IS NOT A STANDARD BOUNDARY SURVEY. THIS PLAN IS COMPILED FROM SURVEY PLANS SUPPLIED BY ROBERT P. BURKEHARDT TO THIS SURVEYOR. THE WOOD STAKES SHOWN ON THIS PLAN WILL BE SET BY THIS SURVEYOR TO SHOW THE BUILDING SETBACK LINES.

PLAN SHOWING A
 PROPOSED BUILDING LOCATION
 MADE FOR
ROBERT P. BURKHARDT
 OF LAND LOCATED AT
 HASKELL STREEET, PORTLAND, MAINE
 SCALE: 1 INCH = 30 FEET JUNE 1, 2002
 COMPILED BY:
 WILLIAM G. AUSTIN, PLS 2174
 82 ELDERBERRY LANE
 NEW GLOUCESTER, MAINE 04260
 (207) 632-2959

[Handwritten signature in red ink]

(Section 309 and Section 407 1999 BOCA)		
Egress Windows (Section 310)		
Roof Covering (Chapter 9)		

(Table 503.3.1(1) & Table 503.3.2(1))		
Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))		
Stairway Treads & Risers (Section 314)		
Stairway Width (Section 314)		
Stairway Headroom Guardrails and Handrail (Section 314)		
Guardrails and Handrail (Section 315)		
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))		
Sheathing; Floor, Wall and roof (Table 503.2.1(1)		
Fastener Schedule (Table 602.3(1) & (2))		
Page		

INSTALLATION STANDARDS

Please check of the type of unit(s) that will be installed:

1. Factory-Built Chimney and Chimney Units

Factory built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

2. Masonry Chimney

Masonry Chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces vents and solid fuel appliances.

3. Metal Chimney

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

1. Strength to resist stress
2. Adequate anchoring and bracing
3. Durability
4. Security against leakage
5. Allowances for thermal expansion

4. Factory Built Fireplace

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

5. Masonry Fireplace

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

I, Cornerstone Masonry, Inc., the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature

Charles W. All, Pres

Date

9/13/04

CONSUMER CHECKLIST

1. Have you checked the references provided by the installer?
2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
3. If the installation is a pre-fabricated chimney or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Board?
4. Does the installer provide any type of written guarantee for the product installation being proposed?
5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400
6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

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10/1/2024

#2520

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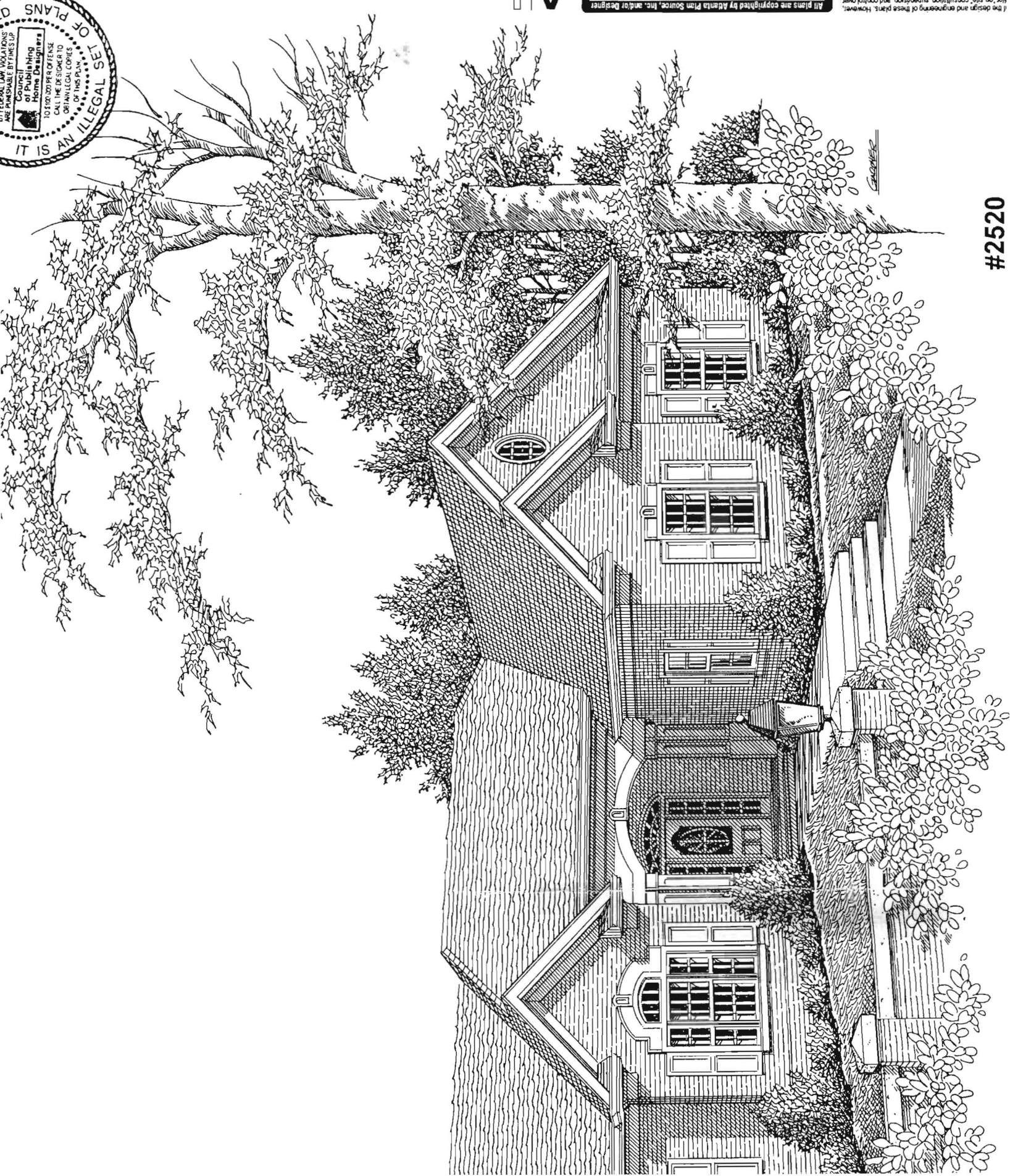
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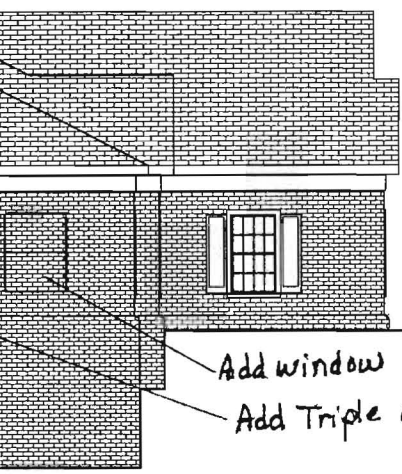
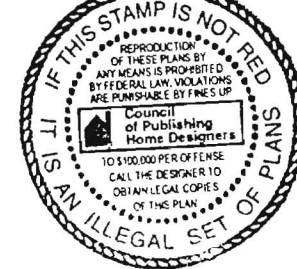




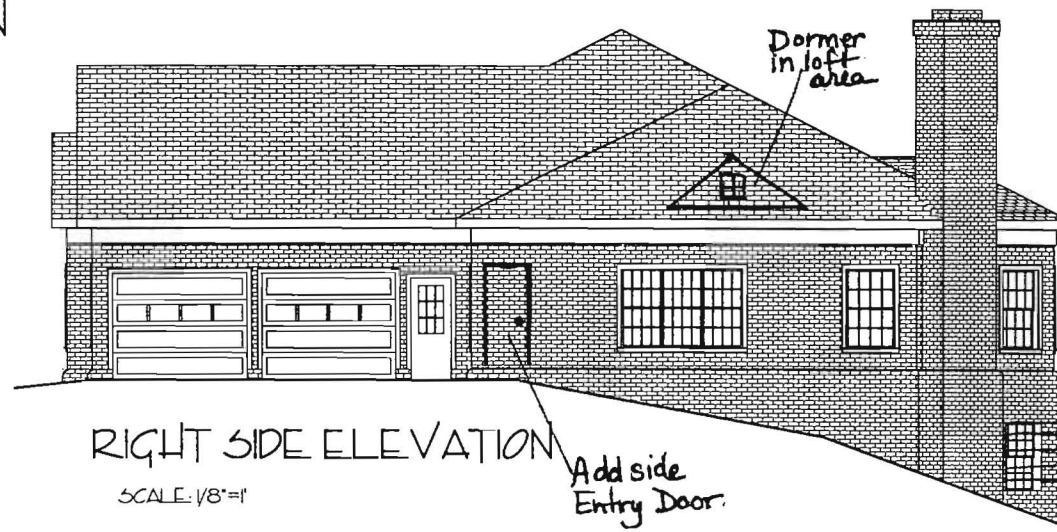
REAR ELEVATION

SCALE: 1/8"=1'

NO DAYLIGHT
BASEMENT



Add window in Bedroom
Add Triple window

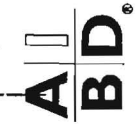


RIGHT SIDE ELEVATION

SCALE: 1/8"=1'

Dormer in loft area

Add side Entry Door



Asphalt Architectural Shingles

COMPOSITION SLINGLES

24"x36" OVAL GLASS

8" FASCIA Primed & Painted

1x12" FRIEZE BOARD

4" CROWN MOLDING

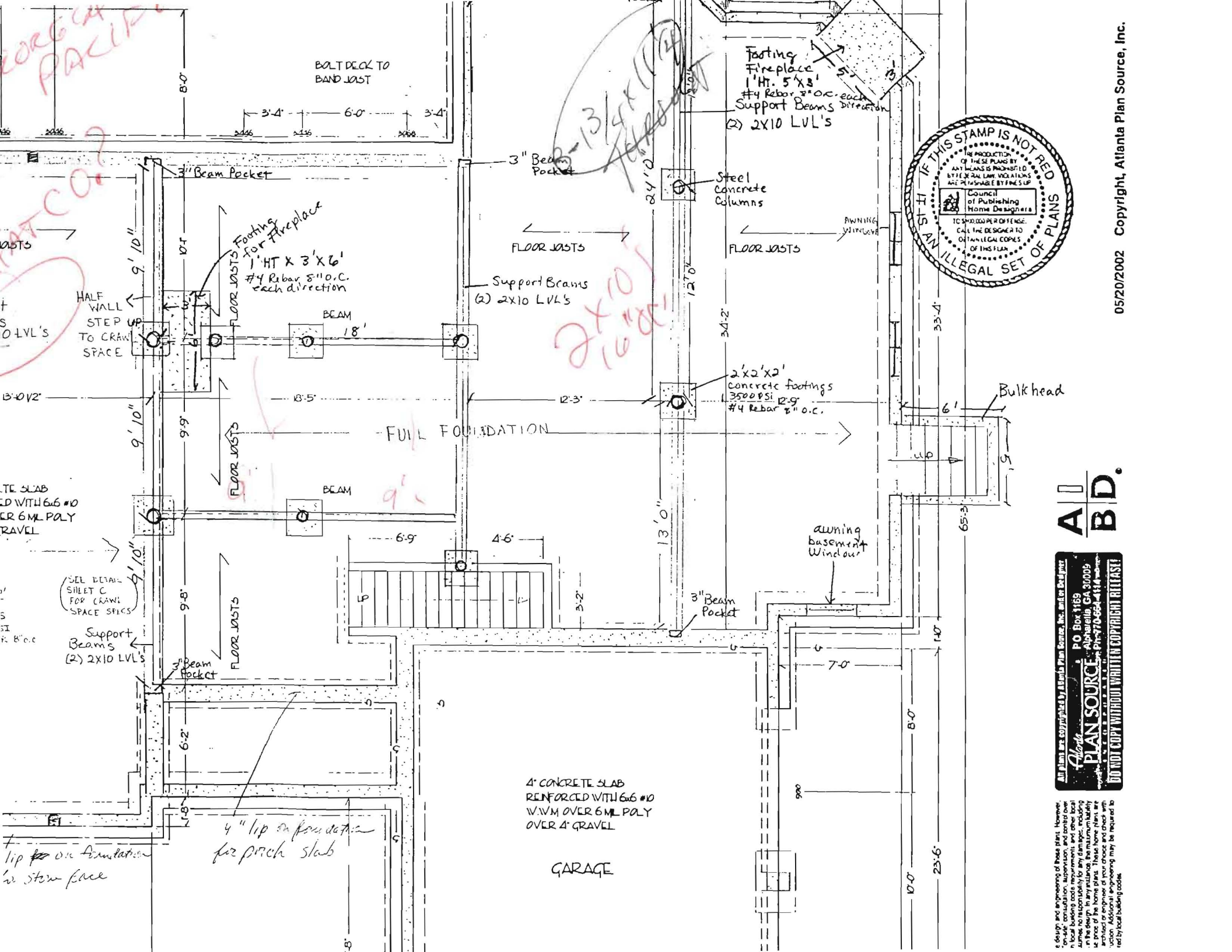
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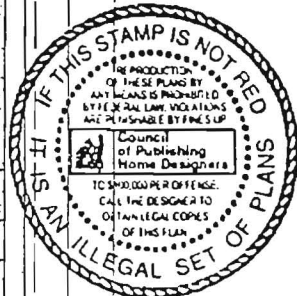
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LOGIC PACIFIC

ATCO?

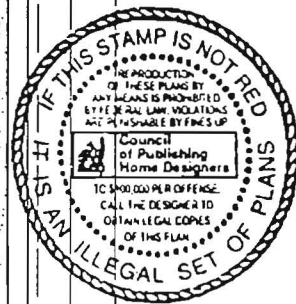
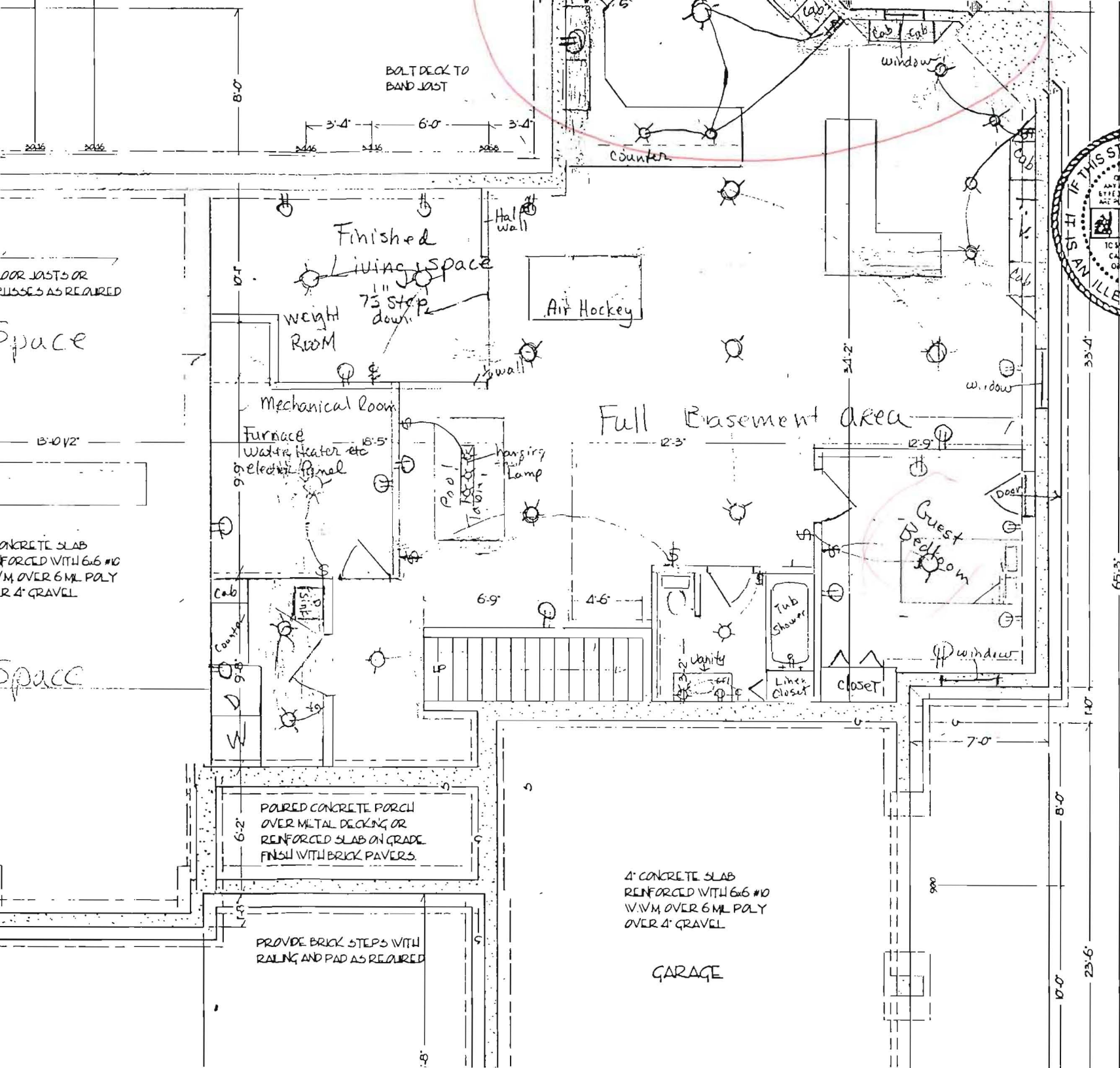
2x10 16" o.c.



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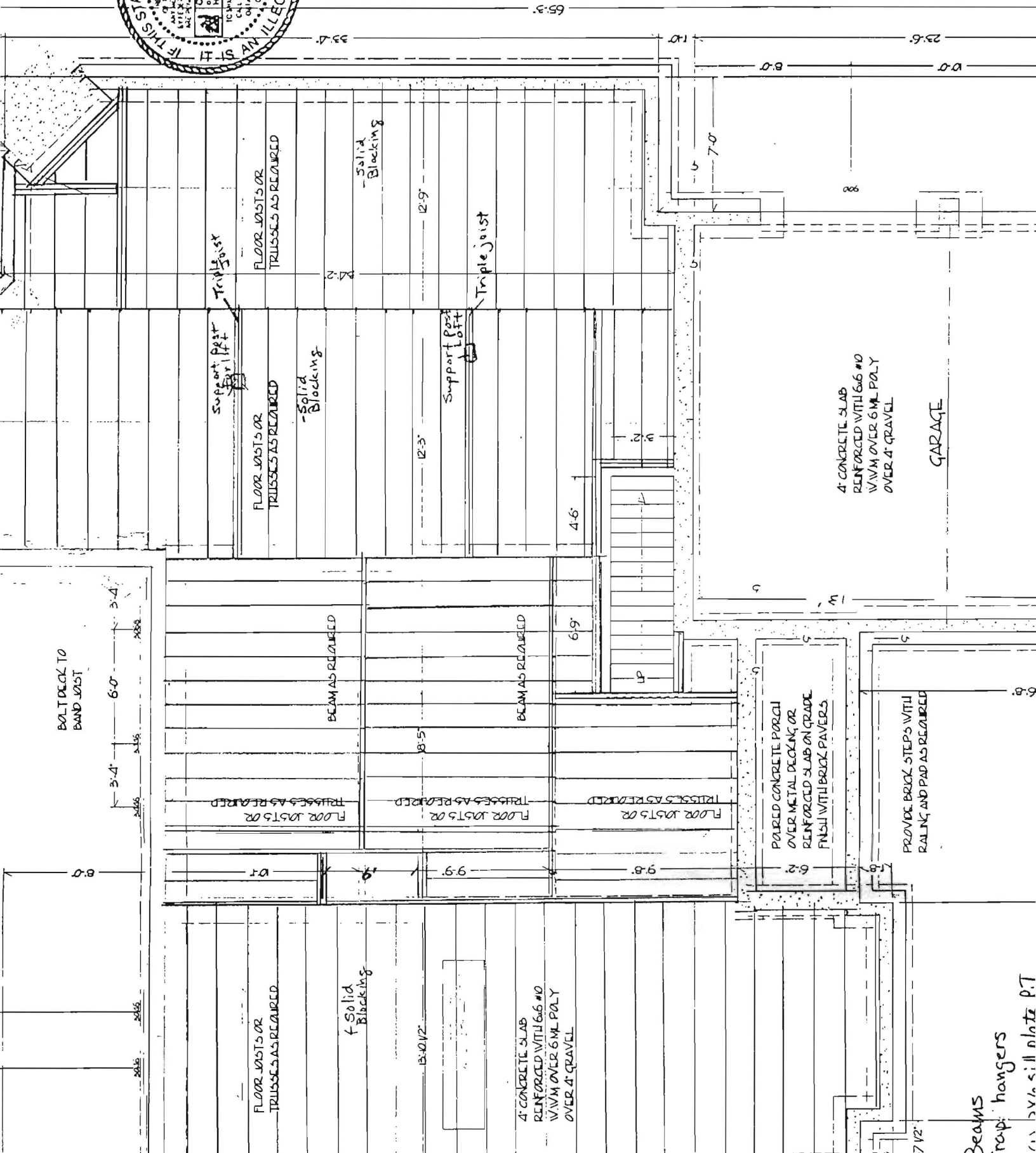
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BOLT DECK TO BAND JOIST

3'-4" 6'-0" 3'-4"

FLOOR JOISTS OR TRUSSES AS REQUIRED

Solid Blocking

13'-0 1/2"

4" CONCRETE SLAB REINFORCED WITH #6 #0 W/W/M OVER 6 ML POLY OVER 4" GRAVEL

FLOOR JOISTS OR TRUSSES AS REQUIRED

FLOOR JOISTS OR TRUSSES AS REQUIRED

FLOOR JOISTS OR TRUSSES AS REQUIRED

PAVED CONCRETE PORCH OVER METAL DECKING OR REINFORCED SLAB ON GRADE FINISH WITH BRICK PAVERS

PROVIDE BRICK STEPS WITH RAILING AND PAD AS REQUIRED

FLOOR JOISTS OR TRUSSES AS REQUIRED

Solid Blocking

12'-3"

Support Post for Loft

Triple Joist

12'-9"

FLOOR JOISTS OR TRUSSES AS REQUIRED

Solid Blocking

7'-0"

4" CONCRETE SLAB REINFORCED WITH #6 #0 W/W/M OVER 6 ML POLY OVER 4" GRAVEL

GARAGE

Beams trap hangers

13'-0 1/2" sill plate P.T.

7 1/2"

65-3

33-4

1-0

8-0

23-6

0-0

8

4'-6"

6'-9"

8'-5"

9'-9"

9'-8"

6'-2"

6'-0"

8

8

9

4

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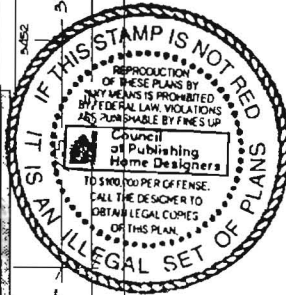
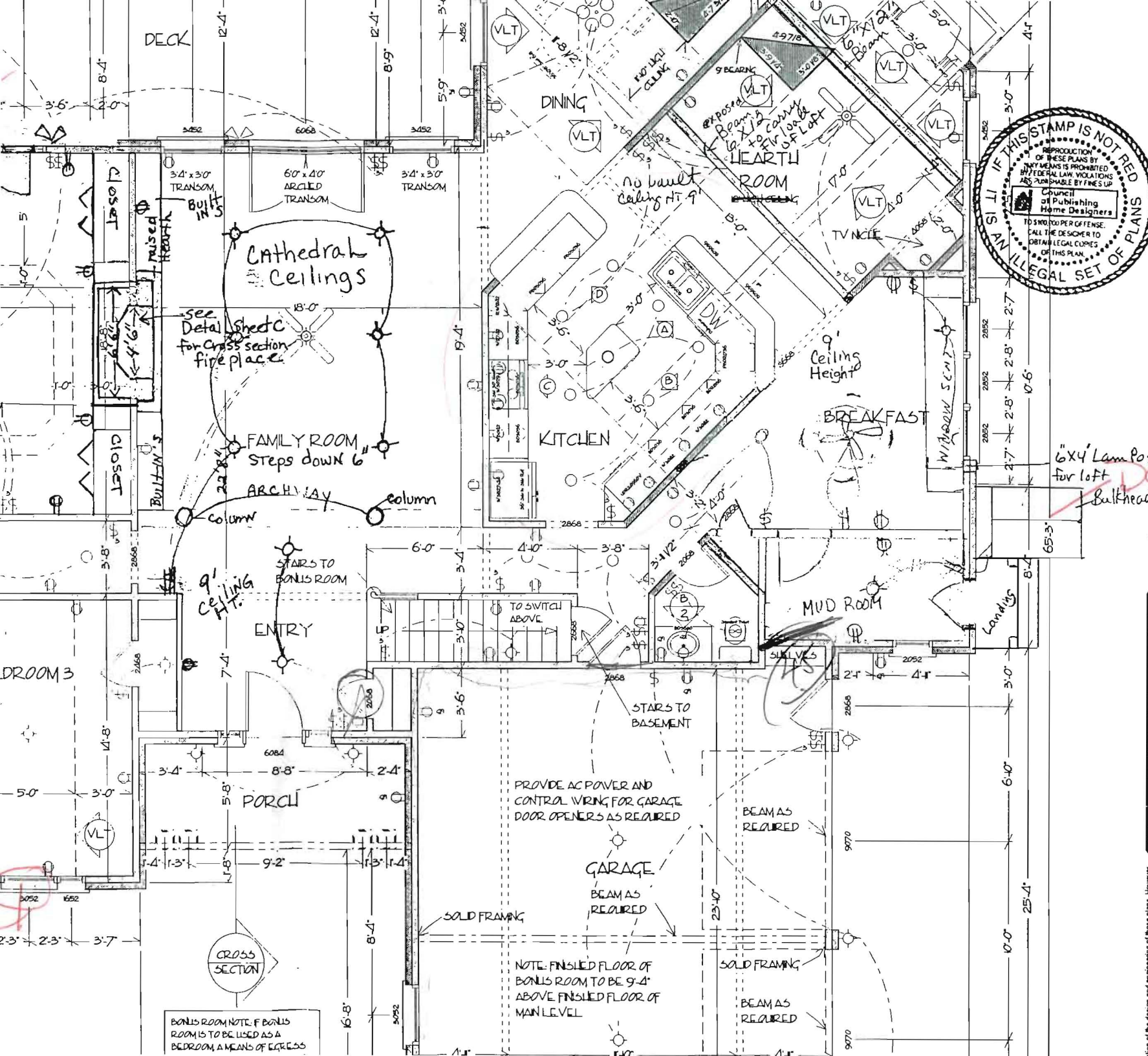
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see Detail sheet C for cross section fireplace

Cathedral Ceilings

no built ceiling HT 9

9' Ceiling Height

PROVIDE AC POWER AND CONTROL WIRING FOR GARAGE DOOR OPENERS AS REQUIRED

GARAGE BEAMS REQUIRED

NOTE: FINISHED FLOOR OF BONUS ROOM TO BE 9'-4" ABOVE FINISHED FLOOR OF MAIN LEVEL

BONUS ROOM NOTE: IF BONUS ROOM IS TO BE USED AS A BEDROOM A MEANS OF EGRESS

6"x4" Lam Post for loft Bulkhead

DOG HOUSE FOR EGRESS PURPOSE

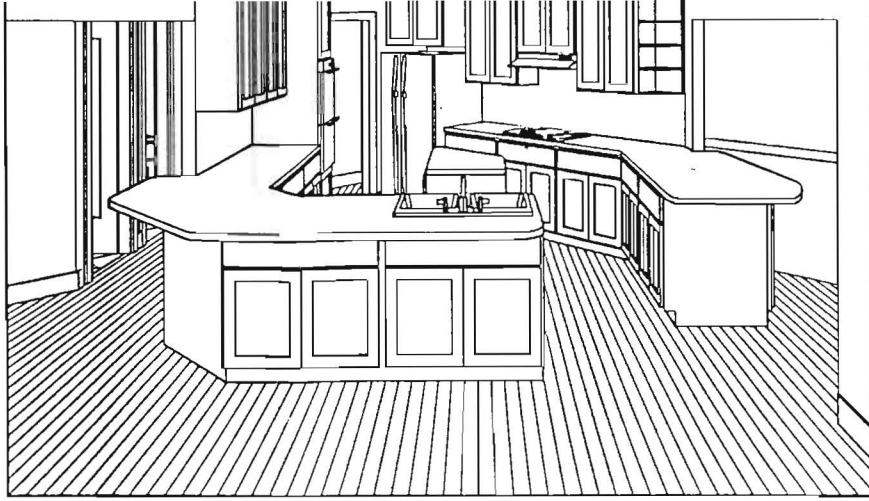
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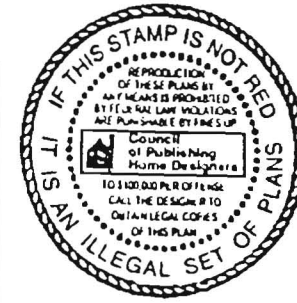


3D KITCHEN VIEW

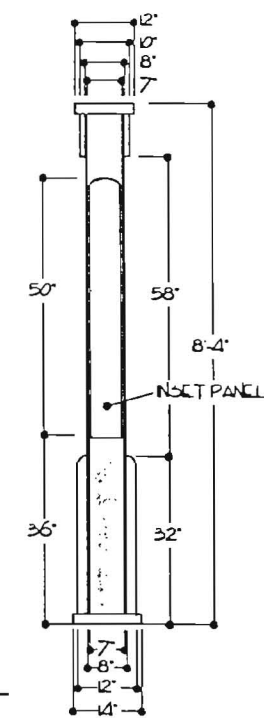
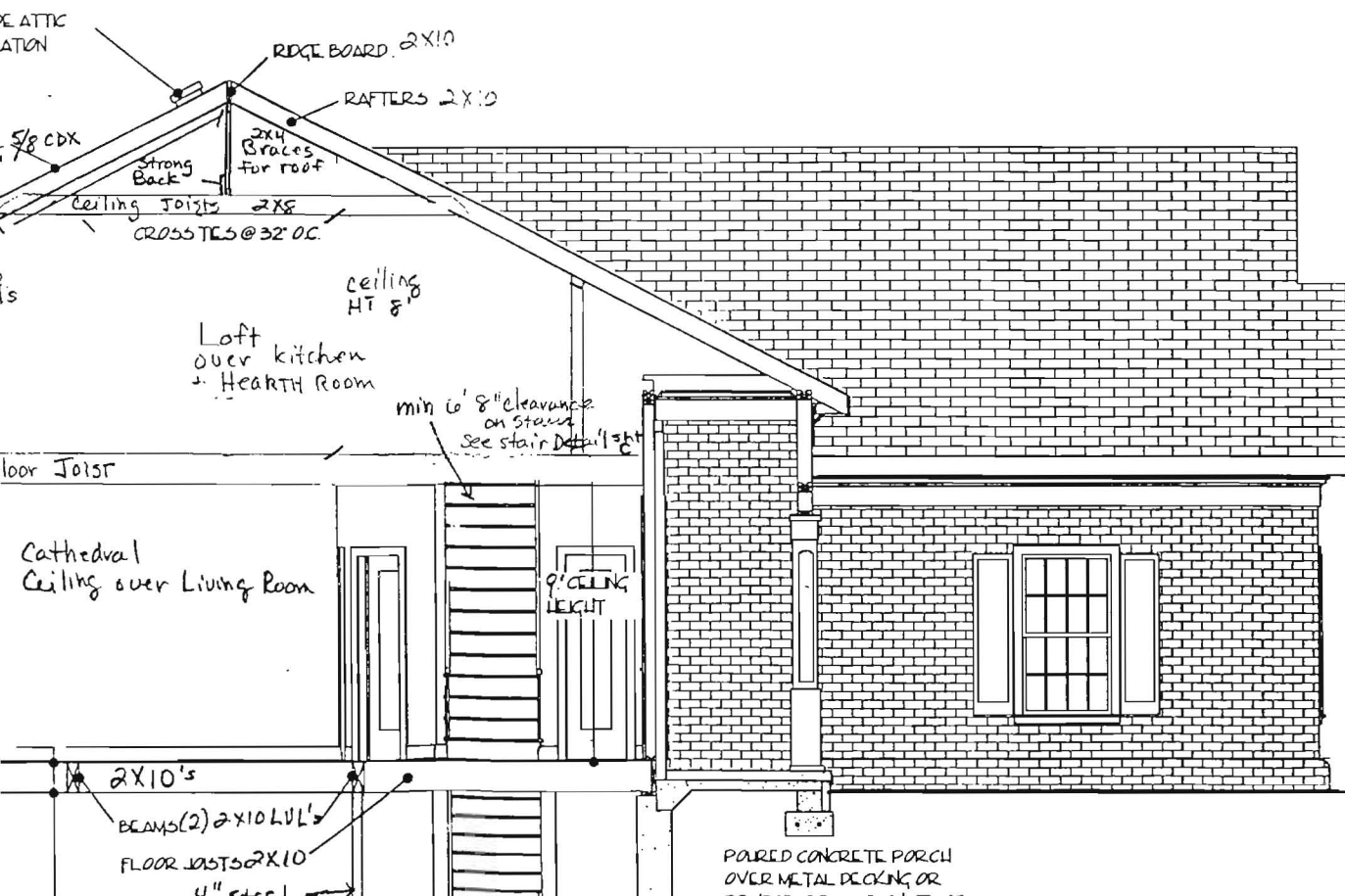


BATH CABINET ELEVATIONS

SCALE: 1/4"=1'



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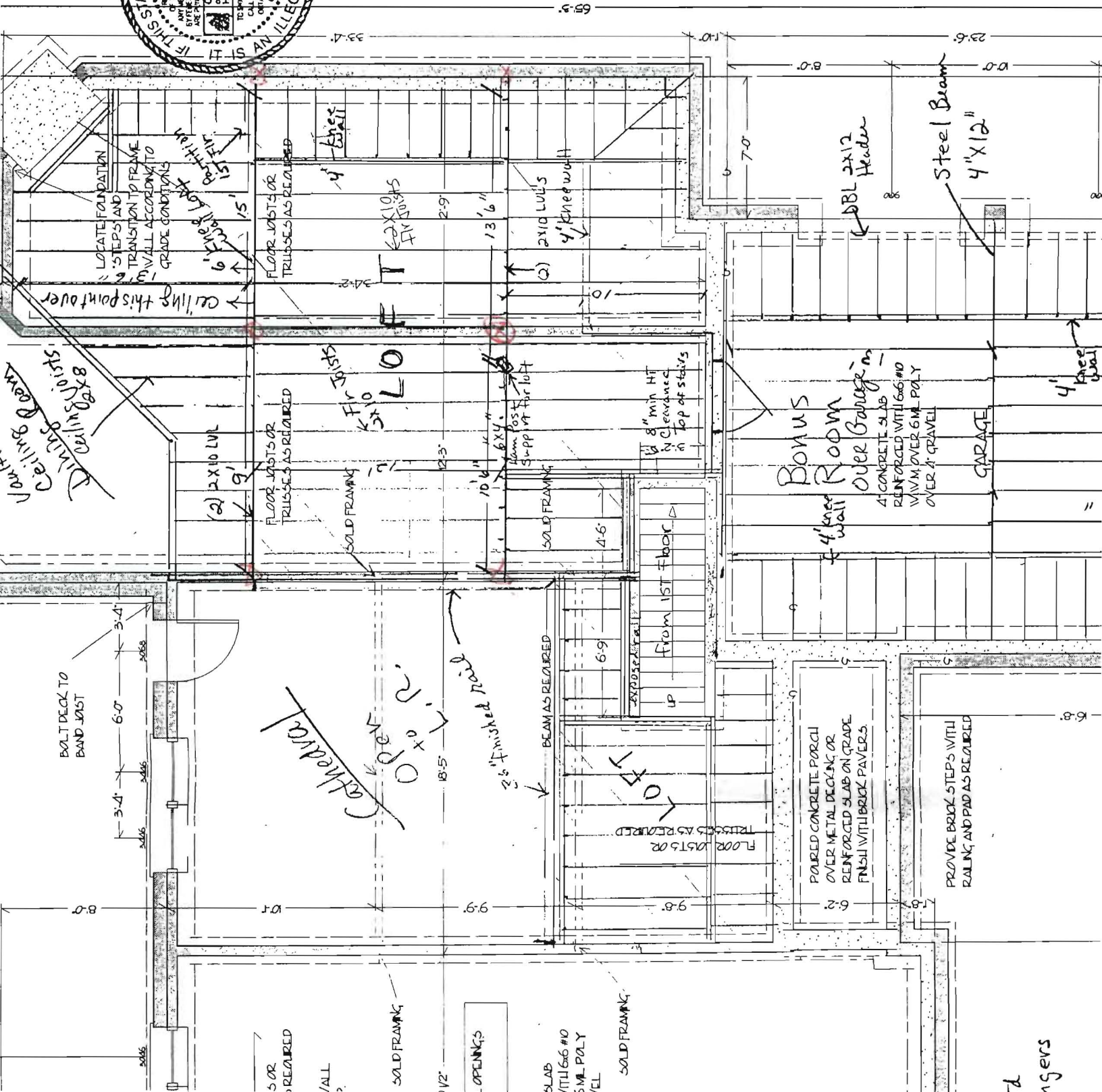
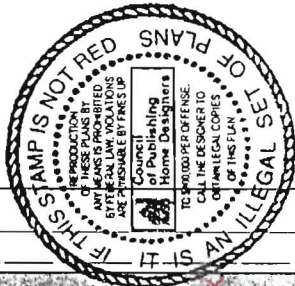
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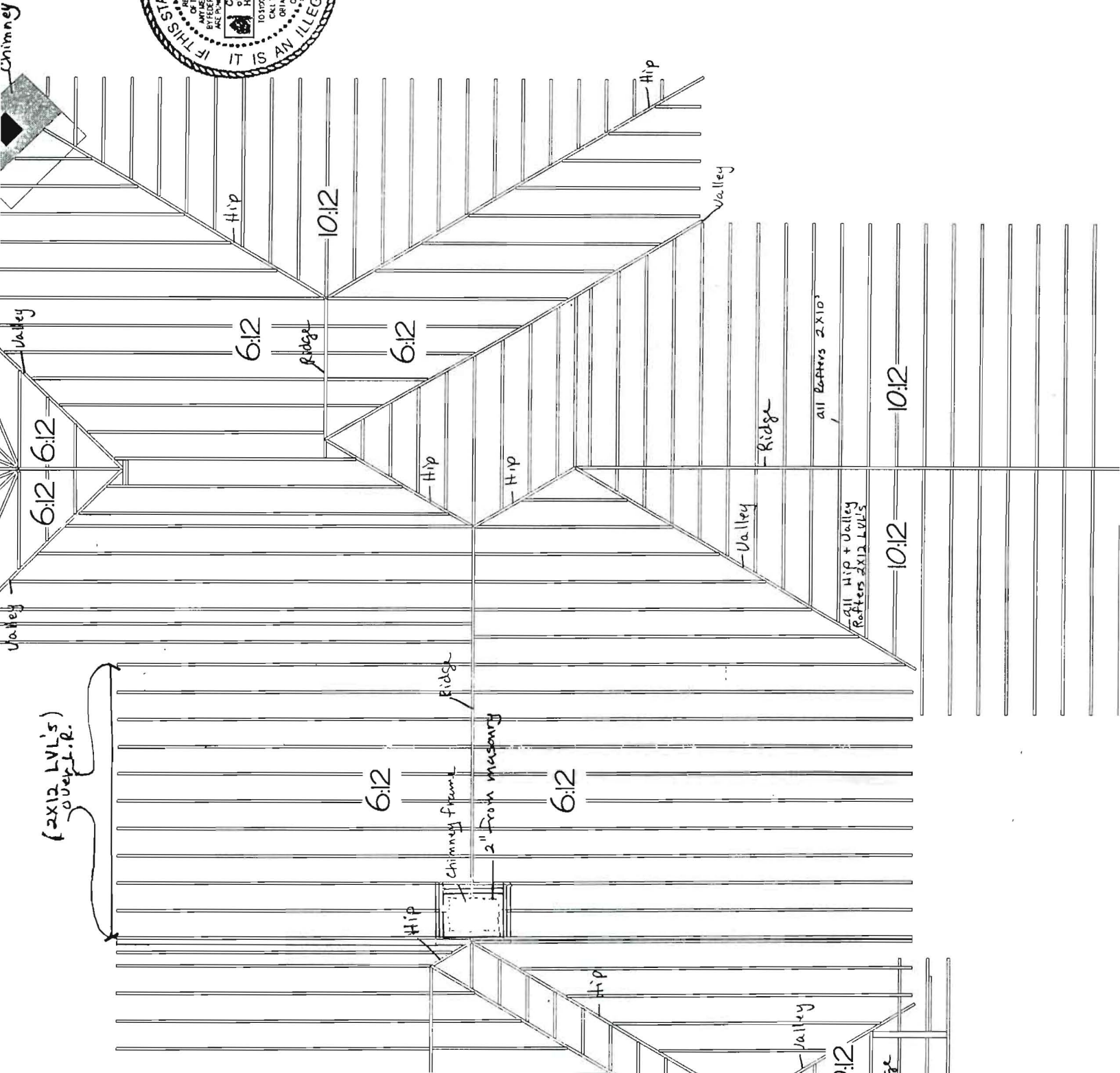
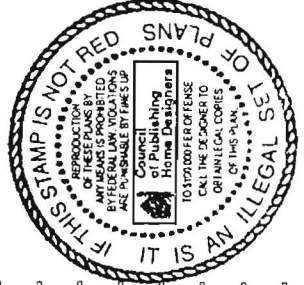


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tion of the design and engineering of these plans. However, the contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes and regulations.



geological conditions. It is the responsibility of the contractor to make the necessary modifications to ensure code compliance and safety. It is recommended that you consult a local architect or engineer of your choice and check with local building officials prior to the construction. Special engineering may require that these specifications be changed to comply with seismic, wind, or other special required by local codes.

STRUCTURAL STEEL:

1. All structural steel shall be ASTM A-36 detailed, fabricated and erected in accordance with AISC Manual Eight Edition.
2. All welding to be done by certified welders in accordance with minimum AWS specifications.
3. All anchor bolts to be ASTM 307.

STEEL ACCESSORIES:

- * 1. Foundation bolts to be 1/2" dia X 10" with not less than 7" embedment into concrete.
- 2. Holddown at foundation and steel connectors to be Simpson Mfg. or approved equal.

MASONRY:

1. Concrete masonry units ASTM C90-70 grade N type I 1000 PSI ASTM C331 and C33 moisture content 30% maximum of total absorption. Linear shrinkage not to exceed 0.065%-1 5/8 face shells.
2. A. All mortar for reinforced masonry walls shall be UBC type "B".
B. All mortar shall be mixed by mechanical means and proportioned by accurate measurement.
Shovel measurements shall not be allowed.
3. A. All grout for grouted voids shall comply with all provisions for 3000 PSI concrete with a maximum aggregate size of 3/8"
B. All voids containing reinforcement bars shall be reinforced with 1-#5 vertical bars, placed accurately at centerline of grout cores at 4'-0" lifts over 4'-0" may be made if cleanouts are provided.
4. Provide 2'-0" x 2'-0" corner bars equal in size and number to horizontal reinforcing at all intersections and corners of brick walls.

MASONRY or STONE VENEER:

1. All veneer shall be anchored to structural elements using corrosion resistance anchor ties. The ties shall be minimum 22 ga. x 1" with maximum vertical and horizontal spacing of 16" O.C..

WOOD:

Framing Lumber:

1. All sawn lumber shall be Douglas Fir-Larch Lumber erected as required by CABO nailing schedule, plane & details and in specifications.
2. Grading shall be in accordance with current WWSA standard grading rules.
A. Grade No. 1 Post and Beams
Floor and ceiling joist, rafters.
B. Grade No 2. Sills, Plates, blocking and studs.
3. Solid interior beams visually exposed to be clear grade FIHC. All exterior and interior bearing wall openings shall have 4 X 12 No 1 DF headers unless otherwise shown.
4. All members 2x and less in least dimension shall be kiln dried.
5. All members 4x and greater in least dimension shall be free-of-heart center.

Sheathing Materials:

1. Plywood Wall sheathing 1/2" thick C-D interior with exterior glue index 32/16 nailed
2. Plywood Floor Sheathing 3/4" thick C-D interior with exterior glue index 32/16 glued & nailed.
3. Plywood Roof Sheathing 3/4" thick C-D interior with exterior glue index 32/16 nailed
4. Particle Board Underlayment 1/2" thick CS-236-66 mat formed type 1-B-2.
5. Water Resistant Particle Board Underlayment 1/2" thick phenolic resin treated type 2-B-2. Installed at kitchen and bathroom.

Interior Decking:

1. 2 X 8 T&G #3 D.F. Subfloor over post & beam.

Exterior Decking:

1. Open decking and weather exposed material to be pressure treated.

Glue Laminated Members:

- * 1. All glue laminated members shall be #2000 grade, detailed, fabricated and erected in accordance with current WWSA standards specifications for glue laminated Douglas Fir Timber.
- 2. All glue laminated members shall be fabricated with waterproof glue.
- * 3. Connect all joists, purlins, to beams with Simpson standard U-straps hangers to develop full total load reactions unless otherwise shown.

Pre-Engineered Roof Trusses:

1. Trusses shall conform to all provisions of the current edition of CABO or UBC for standards for design and materials.

Pressure Treated Lumber:

1. All wood in permanent contact with concrete to be pressure treated or decay resistant.

CONSTRUCTION ACCESSORIES:

1. Building Paper—Tyvek® Housewrap
2. Provide hurricane ties at eaves per current edition CABO or UBC

NAILING SCHEDULE:

1. Provide nailing per CABO sec R-402.3a-1 and R-503.6 or UBC tables 25-0 and 25-Q.

THERMAL and MOISTURE PROTECTION:

Dampproofing:

1. Apply standard Dry Wall Products, Inc. "Thorseal Foundation Coating" foundation waterproofing on all backfill faces of walls below grade where interior face wall is toward an occupied space. Provide "Thoroglazed" dampproofing coating on all exposed surfaces of concrete walls above earth grade and flatwork not covered by finish materials all in strict conformance with MFG printed instructions.

Insulation: Prescriptive Path One

1. Roof Vaulted R-30 with vapor barrier on warm side (winter).
Roof Flat R-38 with vapor barrier on warm side (winter).
2. Wall (ext) R-21 with vapor barrier on warm side (winter).
3. Floors over unheated spaces R-25 with vapor on warm side (winter).
4. Basement wall (if any) R-21 to floor slab.
5. Basement floor slab on grade R-15 in 24" at perimeter.
6. Furnace ducts in unheated spaces R-8.

Flashings:

1. Provide 26 ga. metal at roof counter-flashing, penetration flashing and base flashing.
2. Gutters and downspouts to be 25 ga. pre-finish metal.

Caulking and Sealants:

1. Caulk and/or seal all exposed interior and exterior joints above and below grade and all those interior and exterior joints and appendages concealed by other building materials, flashing, etc. with caulking and/or sealant material abutting natural or painted finishes.

WINDOWS and DOORS:

1. All windows to be U40 insulated glass or better. Provide tempered glass at sliding doors, windows within 12" of any door and windows less than 18" above finish floor.
2. All skylites to be U50 insulated, tempered glass.
3. All exterior wood doors to be solid core wood as selected by owner, or prefinished steel doors with wood frames. Main entry doors to be U54, all other exterior doors to be U20. All interior doors to be hollow core, wood frame.
- * 4. Each bedroom to have at least one window with min. clear opening of 5.7 Sq. Ft., min., height opening of 24", min., width opening of 20" and max. 44" sill height above finish floor.

FINISHES:

Gypsum Wallboard:

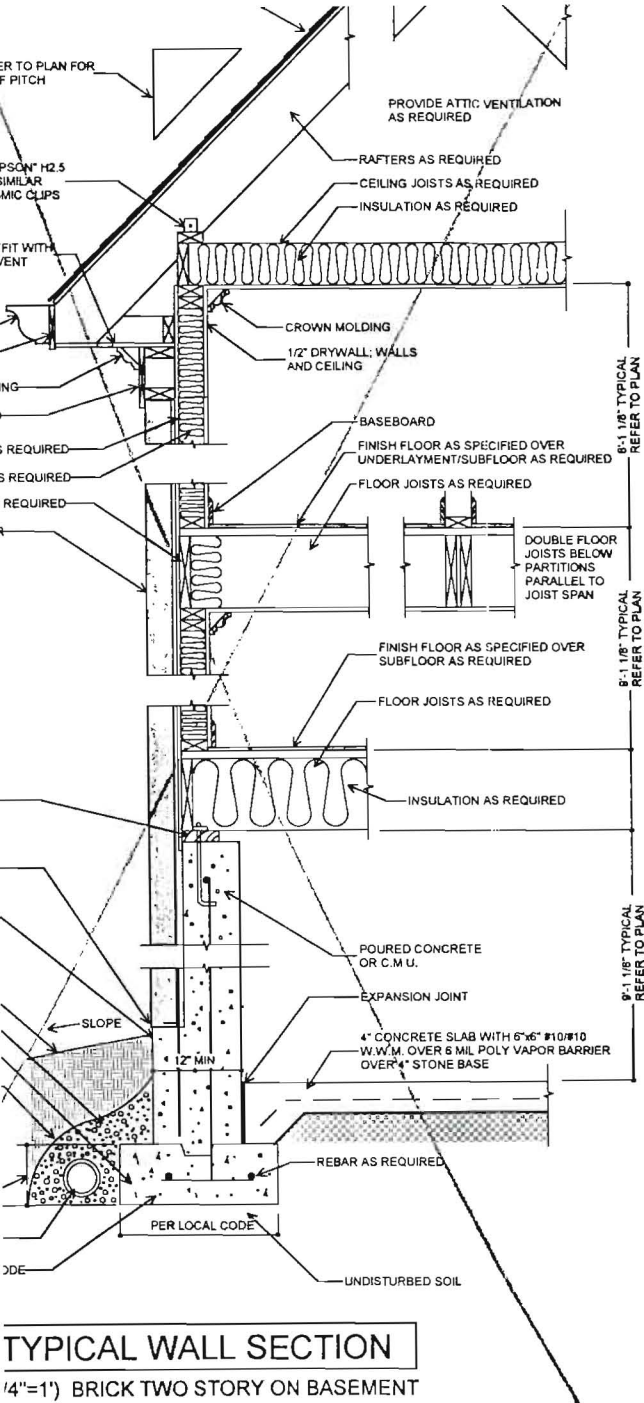
1. Provide gypsum wallboard of type and thickness as required. Gypsum wallboard work and materials shall meet requirements on ANSI No. 97-1 for the "Application and finish of Wallboard". Joint compound system mixed, applied and finished in compliance with MFG printed directions, to be invisible after finish, including all metal corner beads and trim.
2. Provide 1/2" thick gypsum wallboard at all interior walls, except at tub and shower recess. walls to have 1/2" waterproof gypsum wallboard with hard moisture resistant surface up min. 6'-0". Walls between garage and residence to have 1/2" gypsum wallboard to roof or on all walls and ceiling or as indicated by drawings or local codes.

MECHANICAL:

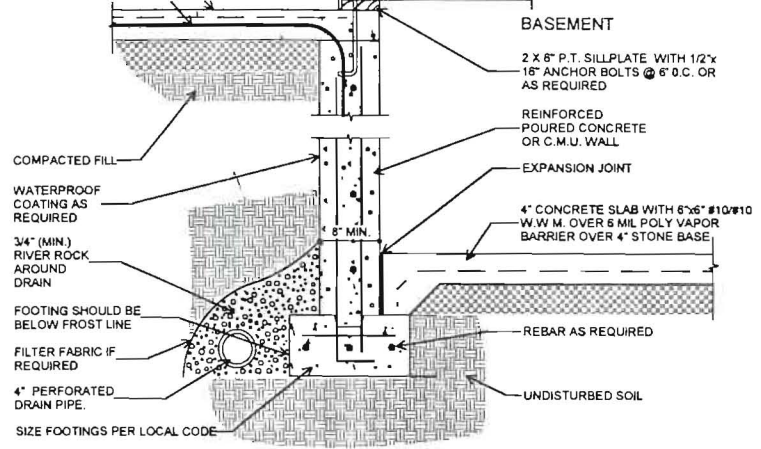
1. General plumbing: Per current plumbing code. Use ABS/PVC plastic waste and vent piping. Use copper water supply piping.
2. Exhaust fans, range hood and clothes dryer to vent outside.
3. Provide combustion air inlet for fireplaces and stoves per sec. R-906

ELECTRICAL:

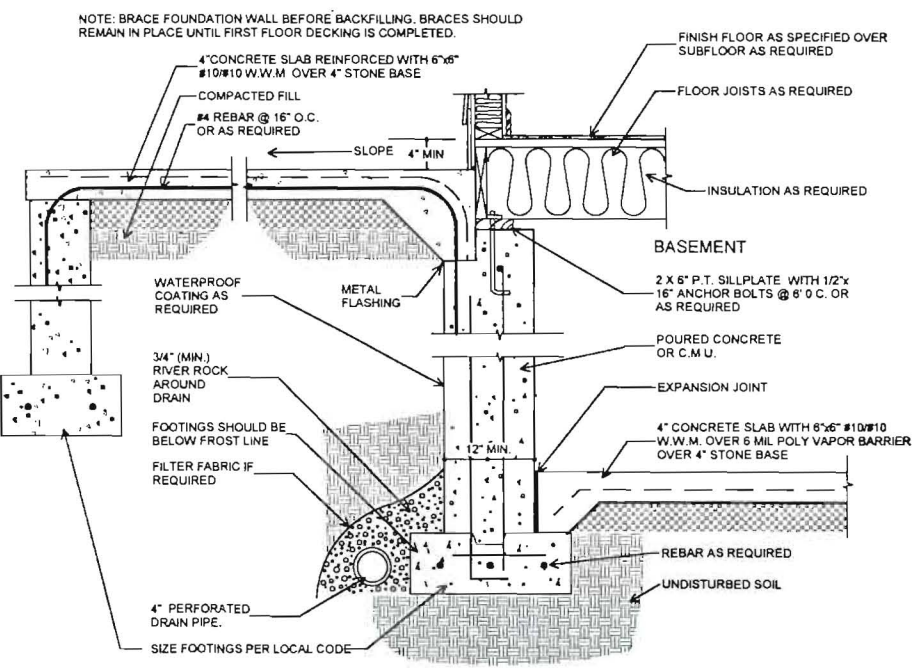
1. General Electrical: Per current electrical code and as notes on drawings.
2. Smoke detectors shall be connected to house power and



TYPICAL WALL SECTION
(1/4"=1') BRICK TWO STORY ON BASEMENT



GARAGE WALL SECTION (1B)
(3/4"=1')



PORCH/STOOP WALL SECTION (1C)
(3/4"=1')

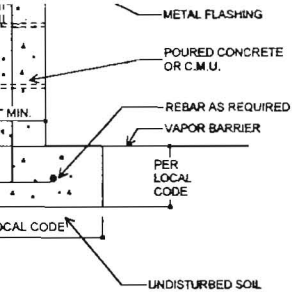
FRAMING NOTES

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4x12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQ11V

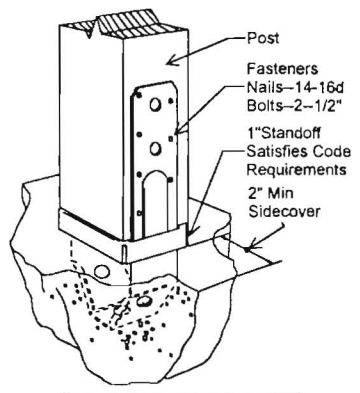
5. NAIL SCHEDULE:

JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRIDGING TO JOIST	2-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-16d	BLIND NAIL
SOLE PLATE TO JOIST	16d @ 16"	FACE NAIL
TOP PLATE TO STUDS	2-18d	END NAIL
STUD TO SOLE PLATE	4-8d	TOE NAIL OR
	2-16d	END NAIL
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PLATE	16d @ 16"	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16"	EDGE NAIL

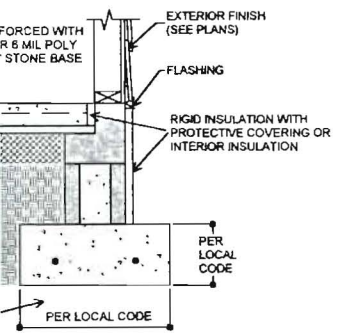
Please Note: These Construction Details are provided as a service to Atlanta Plan Source, Inc. customers. The information shown is based on The Standard Building Code, Uniform Building Code, and CABO One and Two Family Dwelling Code, and represents typical construction practices in Atlanta, Georgia USA. Special engineering may require that these plans be changed to comply with seismic, wind, or other special conditions as required by local codes. It is recommended that you consult a local architect or engineer of your choice and that you check with



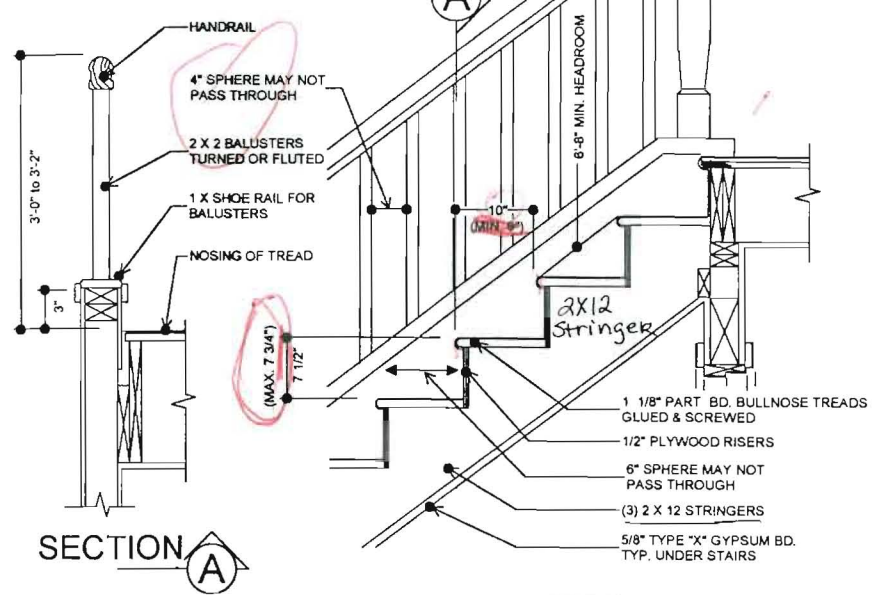
FOUNDATION DETAIL



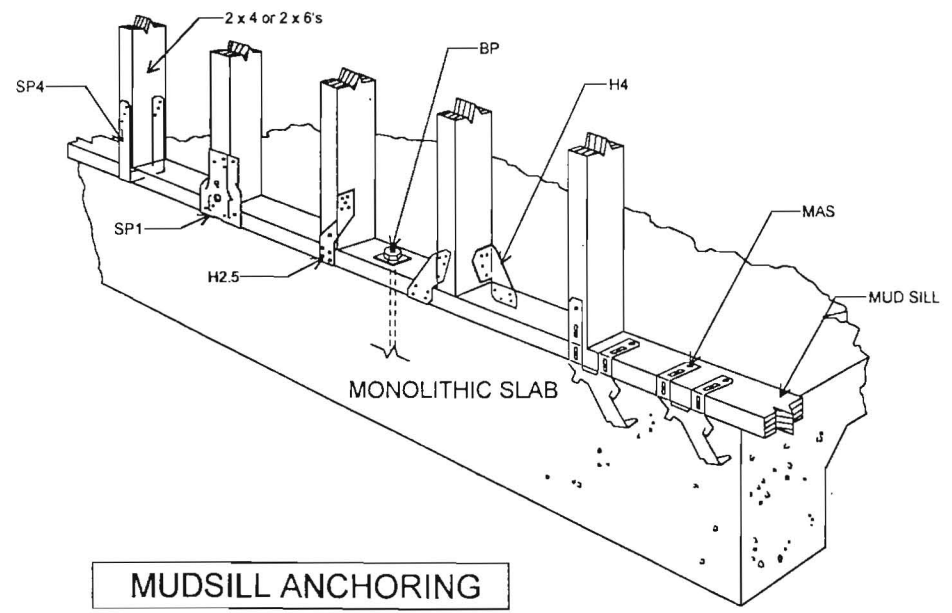
POST BASE
SIMPSON PBS44



FOUNDATION DETAIL



STAIR DETAIL



MUDSILL ANCHORING
SIMPSON "STRONG-TIES"

