

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>	
Permit No: 02-0655	Issue Date: [ ]
CBL: 335 G011001	

Location of Construction: 20 Haskell St	Owner Name: Burkhardt Robert P &	Owner Address: Po Box 9715-953 Portland	Phone: 749-0087 207-773-8736
Business Name: n/a	Contractor Name: n/a SELF	Contractor Address: Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: R-3

Past Use: Vacant	Proposed Use: Single Family / New 71' x 40' single family with 24' x 22' attached garage.	Permit Fee: \$973.00	Cost of Work: \$125,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB	

Proposed Project Description:  
 Build New 71' x 40' Single Family w/ 24' x 22' Attached Garage  
*NO rear deck*

Signature: \_\_\_\_\_ Signature: \_\_\_\_\_

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
 Action:  Approved  Approved w/Conditions  Denied  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gg	Date Applied For: 06/17/2002	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2002-0134 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: <i>OK with conditions 7/17/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

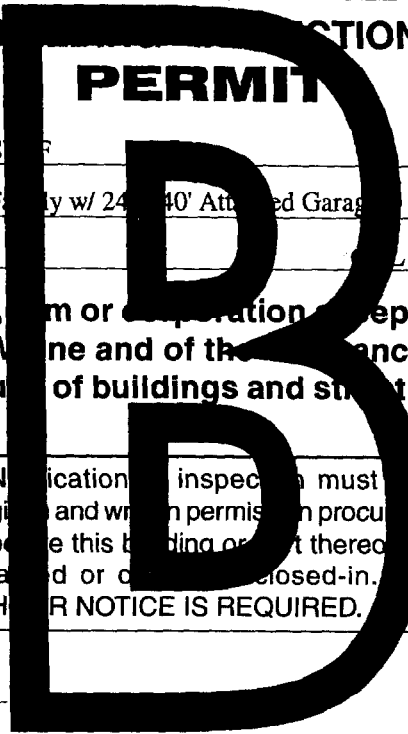
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING INSPECTION PERMIT

Permit Number: 020655



This is to certify that Burkhardt Robert P & /n/a S  
has permission to Build New 71' x 40 Single Family w/ 24' x 40' Attached Garage  
AT 20 Haskell St 335 G011001

provided that the person or persons, firm or corporation accepting this permit shall comply with  
of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulati  
the construction, maintenance and use of buildings and structures, and of the application on file  
this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Application ID Number: 2-0814

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

[Empty comment box]

Approval Date: 07/23/2002

Given On Date: [Empty]

OK to Issue Permit Name: Mike Nugent Date: 07/23/2002 Date 2: [Empty]

Conditions Section:	Add New Condition From	Add New Condition	Delete Condition
Girder design must be altered due to excessive spans, Foundation Only MJN			
All girders to be THREE 1 3/4" x 11" LVL's all floor framing to be 2"x 10" -- 16" O.C. 8/12/02			
NO C/O UNTIL THE ROAD IC ACCEPTED BY THE CITY MJN			
No rear Deck or Bulkhead on the side			

Create Date: 07/23/2002 By: mjn Update Date: 07/23/2002 By: mjn

Application ID Number: 2-0655

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: 20 Haskell St Approval Date: 07/12/2002

Confusing permit with two different plot plans attached. - I finally determined the correct one - too close to lot lines and at least 100 sq. Ft. Over lot coverage requirements. - I put a call into the owner. - owner came in - the grade level has

Given On Date: 06/18/2002

OK to Issue Permit Name: Marge Schmuckal Date: 07/12/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This permit is being approved on the basis of plans submitted. These plans were changed by the owner while at the City counter in order to correct some zoning deficiencies. Any deviations shall require a separate approval before starting that work.

This street is considered to be a 14-403 street and shall be brought up to City Standards from the end of the closest pavement to the farther end of this property PRIOR to a temporary or permanent occupancy permit.

It is understood that there will be no daylight basement and that less than half of the basement floor-to-ceiling height will be above grade. It is also understood that the rear deck will not be a built structure. It is also understood that the right hand side bulkhead will not be constructed.

Create Date: 06/17/2002 By: mmr Update Date: 07/12/2002 By: mes

Soil type/Presumptive Load Value (Table 401.4.1) \_\_\_\_\_

Component	Plan Reviewer	Inspection/Date/Findings
Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" x 20" - 7'6" DEPTH 4' SOME AREAS (4' AROUND GARAGE)	
Foundation Drainage Dampproofing (Section 406)	PVC/FILTER STONE	
Crawls Space ONLY Ventilation Section 409.1	5- 6" x 12" VENTS	
Anchor Bolts/Straps (Section 403.1.4)	12 ANCHORS 6' O.C.	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	VARYING 11, 9, 12	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	(2) x 10 CULS. 11'6" SPAN - UNDER DESIGNER	
Sill/Band Joist Type & Dimensions	2x6 SILL 2x10 BAND	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10'S 16' O.C. 14' 0" MAX SPAN	
Second Floor Joist Species Dimensions and Spacing	ME 22 ANCHORS - 2x10'S 12' 3"	

Applicant: Robert & Mary Burkhardt

Date: 7/12/02

Address: 20 Haskell St

C-B-L: 335-G-011, 12, 13, 17

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

#02-0655

Zone Location - R-3

Interior or corner lot - end of St

Proposed Use/Work - construct new 40' x 71' single family with attached 22' x 24' garage

Sewage Disposal - City ~~Deck off rear~~

Lot Street Frontage - 50' req - 96.50' shown

Front Yard - 25' min req - 27' shown

Rear Yard - 25' min req - 36' scaled at close of

OK

Side Yard - 8' min req - 9' & 15' shown

1 - 2 story → grade changes on the plans - This is now considered to be a 1 story

Projections - No Rear Deck

Width of Lot - 75' min - 96' shown

Height - 35' MAX - 32' from lowest grade to ridge - less than that because of grade - 9'

Lot Area - 6,500<sup>#</sup> min 13,129<sup>#</sup> shown

Lot Coverage/ Impervious Surface - 25% MAX or 3282.25<sup>#</sup> max

Area per Family - 6,500<sup>#</sup>

Off-street Parking - 2 req - 2 car garages shown

Loading Bays - N/A

Site Plan - minor/minor # 2002-0134

Shoreland Zoning/ Stream Protection - No

Flood Plains - Panel 2 Zone X

NO DAYLIGHT BASEMENT

7/12/02 owners were in the bldg & we discussed

3282.25 102.8<sup>over</sup>  
3293.05

2.5 x 11.5 (front garage bump out) = 28.75

22 x 24.5 garage = 539

9' x 14.5 front porch = 130.5

5 x 6 bulkhead = 30

26.5 x 43.5 part of main house = 1152.75

1.66' x 12' front bump out = 19.92

28' x 36' - part of main house (left side) = 1008

8.25 x 14.5 rear left bump out = 119.63

~~(23 x 23) ÷ 2 = 264.5~~  
3028.55

200 & 0134

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

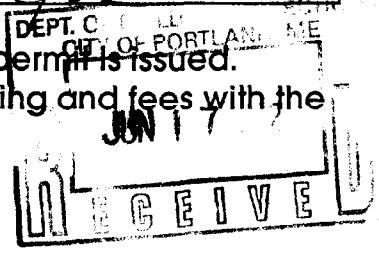
Location/Address of Construction: <u>20 Haskell St Portland, Me</u>		
Total Square Footage of Proposed Structure <u>3,564</u>	Square Footage of Lot <u>13,149</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>335</u> Block# <u>6</u> Lot# <u>011</u>	Owner: <u>Robert + Mary Burkhardt</u>	Telephone: <u>773-8736 or 749-0087</u>
Lessee/Buyer's Name (If Applicable) <u>—</u>	Applicant name, address & telephone: <u>Robert + Mary Burkhardt</u> <u>58 Washington Ave</u> <u>Portland, ME 04102</u> <u>773-8736</u>	Cost Of Work: \$ <u>125,000</u> Fee: \$ <u>898.00</u> <u>300.00</u>
Current use: <u>— none —</u>		
If the location is currently vacant, what was prior use: <u>none —</u>		
Approximately how long has it been vacant: <u>—</u>		
Proposed use: <u>Residential Single-story dwelling 11' x 40'</u>		<u>\$ 75.00</u> <u>1,273.00</u> <u>total</u> <u>Quarry 34' x 22'</u>
Project description: <u>The construction of single-story dwelling including foundation, structure and finish.</u>		
Contractor's name, address & telephone: <u>Robert P. Burkhardt (owner)</u> <u>SAME AS ABOVE</u>		
Who should we contact when the permit is ready: <u>Robert or Mary Burkhardt</u>		
Mailing address: <u>58 Washington Ave</u> <u>Portland, Me</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>773-8736 or 749-0087 Cell</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Robert P. Burkhardt</u>	Date: <u>6/12/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





STATUTORY WARRANTY DEED

DIVERSIFIED PROPERTIES, INC., a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

ROBERT P. BURKHARDT and MARY BURKHARDT, whose mailing address is P.O. Box 9715-953, Portland, Maine 04104, as JOINT TENANTS

A certain lot or parcel of land with any improvements thereon, situated on Haskell Street in the City of Portland, County of Cumberland and State of Maine, and being more particularly described in Exhibit A annexed hereto and made a part hereof. Said parcel being a portion of lot number two hundred seventy-one (271) as shown on Plan of Harris Farms, made by E.C. Jordan & Co., Civil Engineers, dated June 5, 1919, recorded at the Cumberland County Registry of Deeds in Plan Book 14, Page 19.

Being a portion of the premises conveyed to the Grantor herein by deed of George E. Christy dated July 10, 2001 and recorded at the Cumberland County Registry of Deeds in Book 16517, Page 104.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which the Grantees herein by their acceptance of this deed hereby assume and agree to pay.

IN WITNESS WHEREOF, the said DIVERSIFIED PROPERTIES, INC. has caused this instrument to be signed in its corporate name and sealed with its corporate seal by JAMES M. WOLF, its TREASURER thereunto duly authorized this 7<sup>th</sup> day of NOVEMBER, 2001.

DIVERSIFIED PROPERTIES, INC.

Joyce M. Yates

By: [Signature]  
Its Treasurer

STATE OF MAINE  
CUMBERLAND, SS.

NOVEMBER 7, 2001

Then personally appeared the above-named JAMES M. WOLF,  
TREASURER. of DIVERSIFIED PROPERTIES, INC. as aforesaid and acknowledged  
the foregoing instrument to be his free act and deed in his said capacity and the free act  
and deed of said corporation.

Before me,

Joyce M. Yates  
Attorney at Law/Notary Public

JOYCE M. YATES  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

EXHIBIT A

Warranty Deed from  
Diversified Properties, Inc.  
to Robert P. Burkhardt and  
Mary Burkhardt

A certain lot or parcel of land lying on the westerly side of Natick Street, in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a 5/8" rebar with cap set at the southerly corner of Lot 271 as shown on a Plan of Harris Farms made by E.C. Jordan & Co. dated June 5, 1919 as recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19. Thence:

- 1) N 29° 16' 00" W by the easterly side of Lot 269 and Lot 268 as shown on said plan a distance of Sixty and 00/100 (60.00) feet to a point.
- 2) N 60° 44' 00" E a distance of Fifty-Seven and 67/100 (57.67) feet to a point on the westerly sideline of Natick Street.
- 3) S 05° 14' 56" E by said Natick Street a distance of Sixty-Five and 69/100 (65.69) feet to a point and the easterly corner of said Lot 271.
- 4) S 60° 44' 00" W by the northerly side of Lot 270 as shown on said plan a distance of Thirty and 93/100 (30.93) feet to the point of beginning.

The above described parcel contains 2,658 square feet and being a portion of said Lot 271.

Bearings are referenced to magnetic North 1919.

Reference is herein made to a Standard Boundary Survey made for Diversified Properties by Titcomb Associates dated April 4, 2001.



FILE BOTH COPIES OF THIS FORM WITH COUNTY REGISTRY OF DEEDS DO NOT DETACH!

PLEASE READ INSTRUCTIONS ON REVERSE BEFORE COMPLETING DECLARATION

REAL ESTATE TRANSFER TAX DECLARATION TITLE 36, M.R.S.A., SECTIONS 4641 through 4641-N

1. MUNICIPALITY OR TOWNSHIP: PORTLAND; COUNTY: CUMBERLAND; BOOK: (REGISTRY); PAGE: USE ONLY

2. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S). GRANTEE (BUYER): BURKHARDT, Robert P. (RFB 030 144 18130); BURKHARDT, Mary (MB 024 162 13170)

3. NUMBER AND STREET: P.O. Box 9715-953; CITY OR TOWN: Portland; STATE AND ZIP CODE: ME 04104

4. IDENTITY: NAME(S) (LAST, FIRST, INITIAL) AND SOCIAL SECURITY NUMBER(S) OR CORPORATE NAME(S) AND FEDERAL IDENTIFICATION NUMBER(S). GRANTOR (SELLER): DIVERSIFIED PROPERTIES, INC. (DPI 01 047 6397)

5. NUMBER AND STREET: P.O. Box 10127; CITY OR TOWN: Portland; STATE AND ZIP CODE: ME 04104

6. TAX MAP & LOT NUMBER (Required); PROPERTY: MUNICIPALITY DOES NOT HAVE TAX MAPS (Please describe property); 7. DATE OF TRANSFER: MO. DAY YR. (Use numerals) 01; Warning to Buyer! If the property is classified as Farmland, Open Space, or Tree Growth, a substantial financial penalty could be triggered by development, subdivision, partition, or change in use of the property. Applicable Not Applicable

8. CONSIDERATION: Consideration meaning total amount or price paid, or required to be paid, for real property valued in money, whether received in money or otherwise and shall include the amount of any mortgage, liens or encumbrances thereon. FULL VALUE: \$ 5,000.00; TAXABLE CONSIDERATION: \$ 5,000.00

9. EXEMPTION: 9. EXPLAIN BASIS FOR EXEMPTION (Complete only if transfer is claimed to be fully or partially exempt pursuant to M.R.S.A. 36 §4641-C)

10. SPECIAL CIRCUMSTANCES: Were there special circumstances in the transfer which suggest that the price of the property was either more or less than its fair market value. (Such as the fact that transfer was a forced sale, foreclosure, intercorporate sale, exchange, or transfer tax was based on estimate value.) PLEASE EXPLAIN. YES NO

11. INCOME TAX WITHHELD: Buyer(s) certify that they have withheld Maine income tax from the purchase price as required by § 5250-A and will remit to Maine Revenue Services within 30 days after date of transfer. Buyer(s) not required to withhold Maine income tax because: seller has qualified as a Maine resident, a waiver has been received from the State Tax Assessor, consideration for the property is less than \$50,000, foreclosure sale: exempt per 36 MRSA §5250-A, sub§ 3-A

12. OATH: Aware of penalties as set forth by Title 36, Section 4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete. GRANTEE(S) or AUTHORIZED AGENT: Robert P. Burkhardt (11/7/01), Mary S. Burkhardt (11/7/01); GRANTOR(S) or AUTHORIZED AGENT: [Signature] (11/7/01)

13. PREPARER: Name and address of person or firm preparing this form: Terry N. Snow, Esq., P.O. Box 275, Cumberland, Maine 04021

STATUTORY SHORT FORM MORTGAGE DEED

WE, ROBERT P. BURKHARDT and MARY BURKHARDT, being husband and wife, whose mailing address is P.O. Box 9715-953, Portland, Maine 04104, hereinafter referred to as Borrowers,

FOR CONSIDERATION PAID, GRANT to:

DIVERSIFIED PROPERTIES, INC., a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine, with a mailing address of P.O. Box 10127, Portland, Maine 04104, hereinafter referred to as Lender,

with MORTGAGE COVENANTS to secure the payment of a certain promissory note of even date in the sum of Five Thousand Dollars (\$5,000.00) in accordance with the terms and conditions of said promissory note given by the Borrowers herein to Lender herein,

Certain lots or parcels of land with any improvements thereon, situated on Haskell Street in the City of Portland, County of Cumberland and State of Maine, and being lot numbers two hundred sixty-eight (268), two hundred sixty-nine (269), two hundred seventy (270) and a portion of lot number two hundred seventy-one (271), which portion is more particularly described in Exhibit A annexed hereto and made a part hereof, as shown on Plan of Harris Farms, made by E.C. Jordan & Co., Civil Engineers, dated June 5, 1919, recorded at the Cumberland County Registry of Deeds in Plan Book 14, Page 19.

Being the same premises conveyed to the Borrowers herein by warranty deeds of the Lender herein, of even date, to be recorded at the Cumberland County Registry of Deeds herewith.

Prior Mortgages: This conveyance is SUBJECT to a first mortgage to Lender herein from the Borrowers herein to be recorded at said Registry of Deeds herewith, which mortgage is to be paid and performed by the Borrowers herein in accordance with the terms of said mortgage and the note which is secured by the aforesaid mortgage, and Borrowers herein hereby agree that a breach of the conditions of said prior mortgage shall constitute a breach of the conditions of this mortgage.

Non-Assumption: If title to or possession of all or any part of the premises described in the herein mortgage deed or any interest therein is sold or transferred without the prior written consent of the holder of the note given to secure this mortgage, then the entire principal sum and accrued interest shall at once become due and payable without notice, at the option of the holder of said Note.

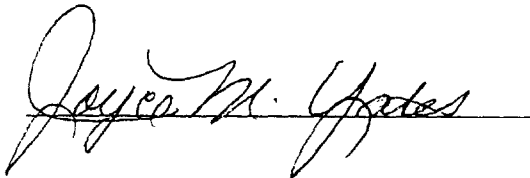
Statutory Conditions: This mortgage is upon the statutory conditions set forth in Title 33 M.R.S.A. §769, and all acts amendatory thereto, which is hereby incorporated by reference thereto, and upon the further condition that all covenants, conditions and agreements on the part of the Borrowers herein contained shall be kept and fully performed, for any breach of which, the Lender herein, its successors and assigns, shall have all remedies provided by law.

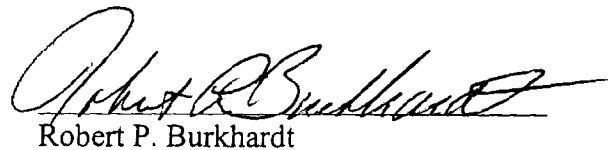
Notices: Unless the law requires otherwise, any notice that must be given to Borrowers under this mortgage shall be given by delivering it or mailing it addressed to Borrowers as follows: P.O. Box 9715-953, Portland, Maine 04104, or to any other address the Borrowers may give to Lender in writing.

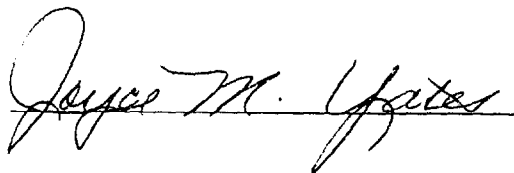
Governing Law: This mortgage shall be governed by the laws of the State of Maine, and shall be binding for the benefit of Lender, Borrowers and their respective heirs, successors and assigns. If any term of this mortgage or the note securing this mortgage conflicts with the law, then all other terms of the mortgage and note shall remain in effect without the conflicting term.

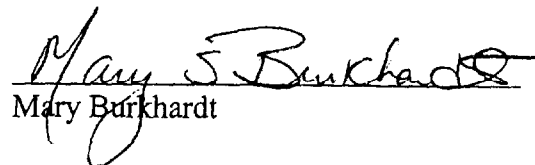
Discharge of Mortgage: When the Lender has been paid all amounts due under this mortgage and note, then Lender shall discharge the mortgage by delivering a recordable mortgage discharge to Borrowers stating that the note and the mortgage have been paid in full. Borrowers shall not be required to pay for the preparation of such discharge, but the Borrowers shall be responsible for the recording fee of said discharge.

WITNESS our hands this 17<sup>th</sup> day of NOVEMBER, 2001.

  
\_\_\_\_\_  
Joyce M. Yates

  
\_\_\_\_\_  
Robert P. Burkhardt

  
\_\_\_\_\_  
Joyce M. Yates

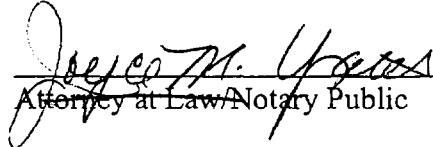
  
\_\_\_\_\_  
Mary Burkhardt

STATE OF MAINE  
CUMBERLAND, SS.

NOVEMBER 7, 2001

Then personally appeared the above-named ROBERT P. BURKHARDT and MARY BURKHARDT and acknowledged the foregoing instrument to be their free act and deed.

Before me,

  
\_\_\_\_\_  
Attorney at Law/Notary Public

JOYCE M. YATES  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES SEPTEMBER 16, 2003

EXHIBIT A

Mortgage Deed from  
Robert P. Burkhardt  
and Mary Burkhardt to  
Diversified Properties, Inc.

A certain lot or parcel of land lying on the westerly side of Natick Street, in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a 5/8" rebar with cap set at the southerly corner of Lot 271 as shown on a Plan of Harris Farms made by E.C. Jordan & Co. dated June 5, 1919 as recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 19. Thence:

- 1) N 29° 16' 00" W by the easterly side of Lot 269 and Lot 268 as shown on said plan a distance of Sixty and 00/100 (60.00) feet to a point.
- 2) N 60° 44' 00" E a distance of Fifty-Seven and 67/100 (57.67) feet to a point on the westerly sideline of Natick Street.
- 3) S 05° 14' 56" E by said Natick Street a distance of Sixty-Five and 69/100 (65.69) feet to a point and the easterly corner of said Lot 271.
- 4) S 60° 44' 00" W by the northerly side of Lot 270 as shown on said plan a distance of Thirty and 93/100 (30.93) feet to the point of beginning.

The above described parcel contains 2,658 square feet and being a portion of said Lot 271.

Bearings are referenced to magnetic North 1919.

Reference is herein made to a Standard Boundary Survey made for Diversified Properties by Titcomb Associates dated April 4, 2001.



PROMISSORY NOTE

\$5,000.00

PORTLAND, Maine  
NOVEMBER 7, 2001

FOR VALUE RECEIVED, the undersigned ROBERT P. BURKHARDT and MARY BURKHARDT, whose mailing address is P.O. Box 9715-953, Portland, Maine 04104 (Borrowers), promise to pay to DIVERSIFIED PROPERTIES, INC., a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine, whose mailing address is P.O. Box 10127, Portland, Maine 04104 (Note Holder), or its order, the principal sum of FIVE THOUSAND DOLLARS (\$5,000.00), with interest on the unpaid principal balance from the date of this Note until paid at the rate of eight percent (8%) per annum, amortized over ten (10) years. Principal and interest shall be payable at such address as the Note Holder may designate, in consecutive monthly installments of SIXTY DOLLARS AND SIXTY-SEVEN CENTS (\$60.67) each, which monthly installment shall include interest in full to date and payments on account of principal to the extent each installment will permit after deduction of interest, with the first payment commencing thirty (30) days from the date of this Note and continuing on the same day of each month thereafter until paid in full, except that if not sooner paid the entire principal balance and accrued interest shall be due and payable two (2) years from the date of this Note, as a balloon payment.

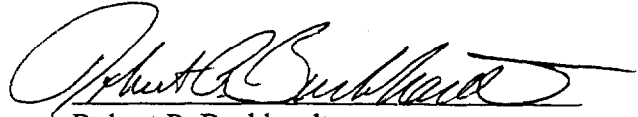
This note is non-assumable.

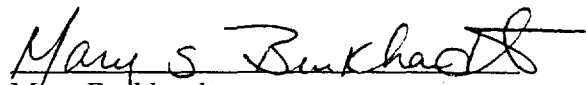
Borrowers may prepay the principal amount outstanding in whole or in part without penalty.

Borrowers shall pay Note Holder a late charge of five percent (5%) of any payment not received within ten (10) days of the due date.

If default be made in the payment of any installment under this Note and such default is not made good prior to the due date of the next such installment, or if default be made in the mortgage of even date given to secure this Note, which mortgage default shall continue for more than thirty (30) days after notice, in writing, from Note Holder of such failure to perform, the entire principal sum and accrued interest shall at once become due and payable, at the option of Note Holder. Failure to exercise this option shall not constitute a waiver of the right to exercise the same in the event of any subsequent default. The Borrowers hereof agree to pay all costs of collection and/or administration of this Note, including reasonable attorney's fees and costs of the Note Holder's attorneys, upon any default in the payment of the principal of this Note or interest thereon when due, or mortgage default, whether or not suit is commenced.

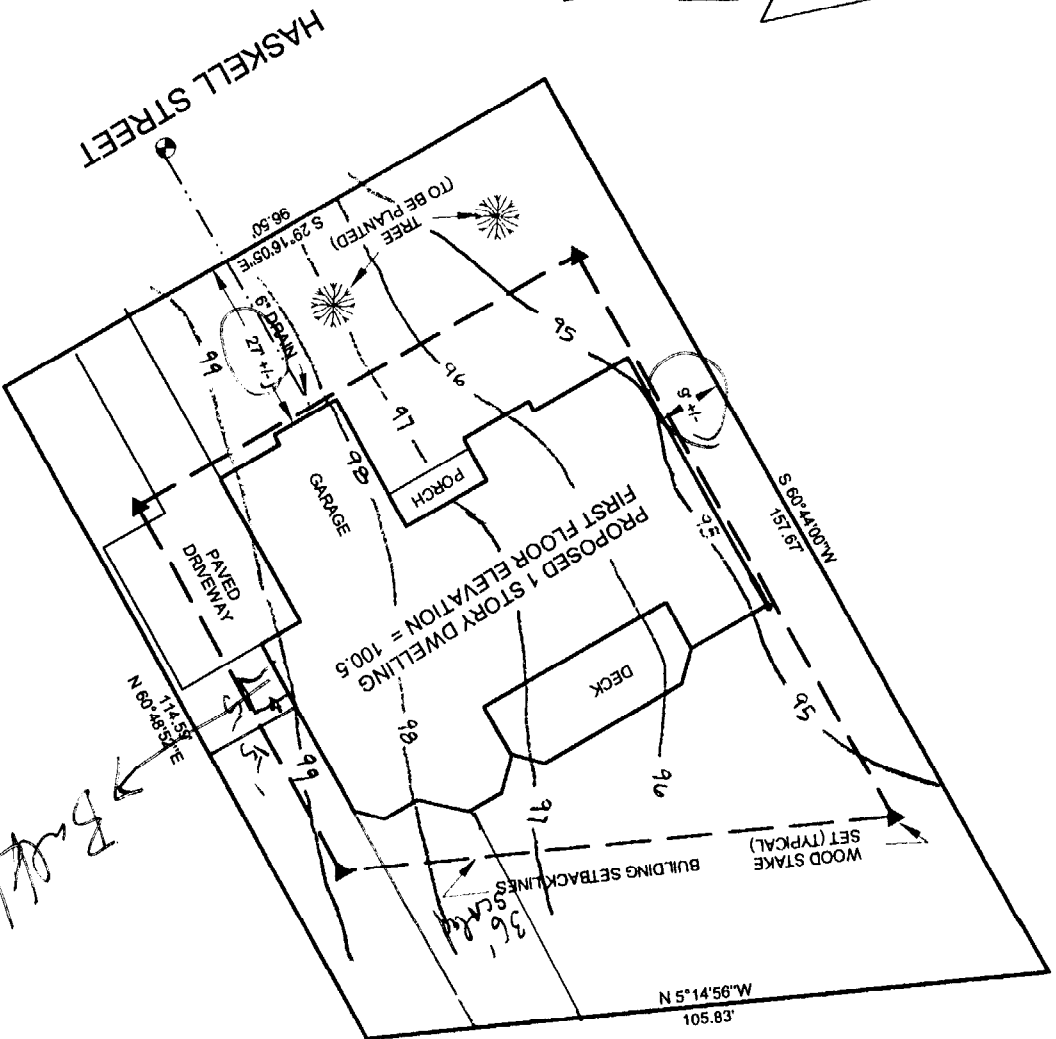
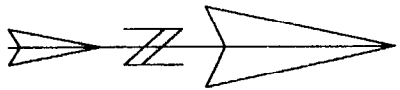
Presentment, notice of dishonor, and protest are hereby waived by all makers, sureties, guarantors and endorsers hereof. This Note shall be the joint and several obligation of all makers, sureties, guarantors and endorsers, and shall be binding upon them and their successors and assigns.

  
Robert P. Burkhardt

  
Mary Burkhardt

This note is secured by a mortgage on the real estate situated at Lots 268, 269, 270 and a portion of Lot 271, Haskell Street, Portland, Maine.



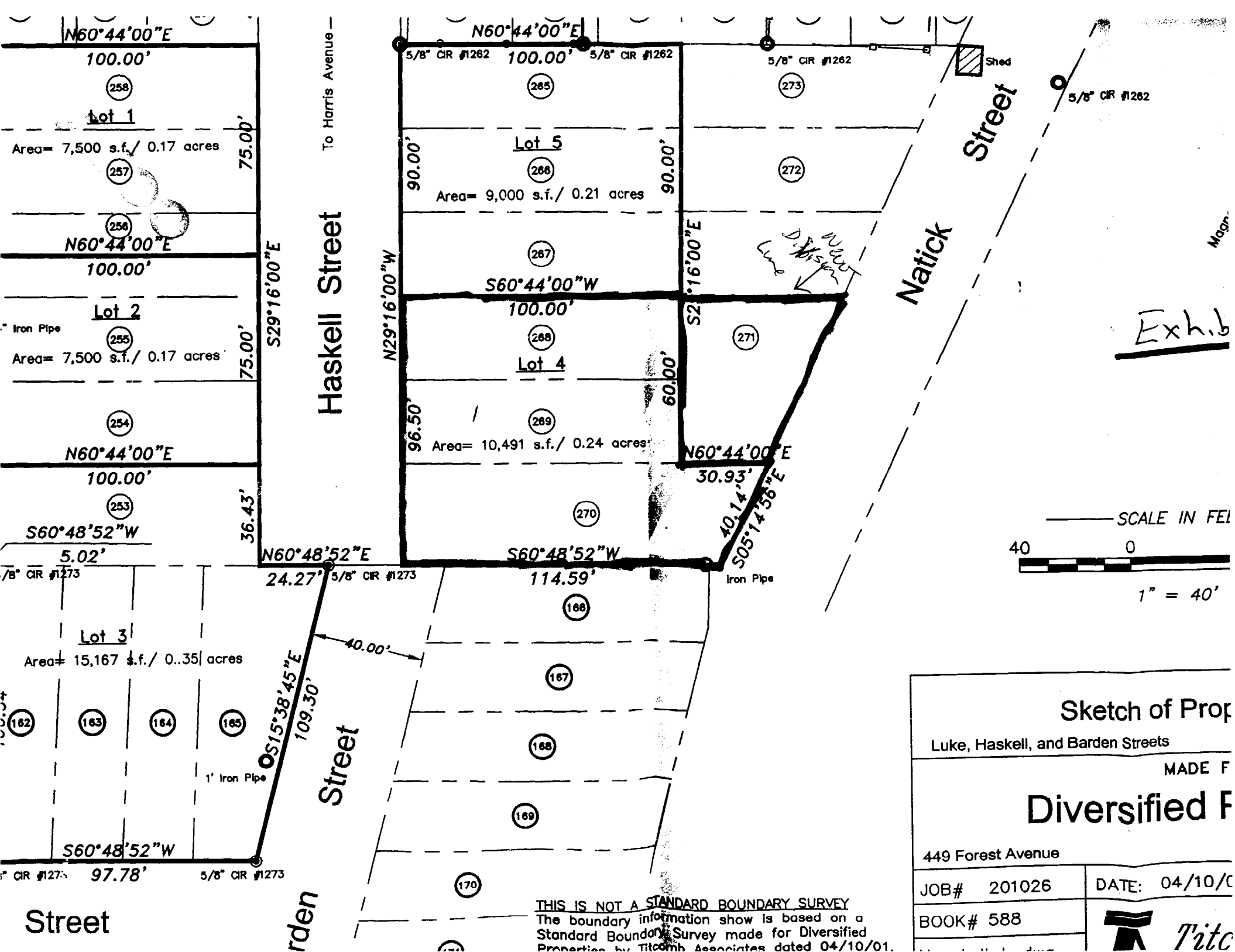


*Burkhardt  
with sketch*

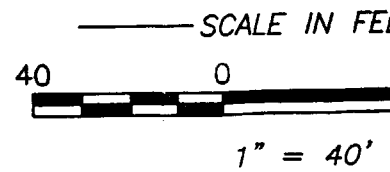
1) THIS IS NOT A STANDARD BOUNDARY SURVEY. THIS PLAN IS COMPILED FROM SURVEY PLANS SUPPLIED BY ROBERT P. BURKHARDT TO THIS SURVEYOR. THE WOOD STAKES SHOWN ON THIS PLAN WILL BE SET BY THIS SURVEYOR TO SHOW THE BUILDING SETBACK LINES.

PLAN SHOWING A  
PROPOSED BUILDING LOCATION  
MADE FOR  
**ROBERT P. BURKHARDT**  
OF LAND LOCATED AT  
HASKELL STREET, PORTLAND, MAINE  
SCALE: 1/4" INCH = 30 FEET, JUNE 1, 2002  
COMPILED BY:  
WILLIAM G. AUSTIN, PLS 2174  
82 ELDERBERRY LANE  
NEW GLOUCESTER, MAINE 04260  
(207) 632-2959

NATICK STREET



Exhibit



<b>Sketch of Property</b>	
Luke, Haskell, and Barden Streets	
MADE FOR	
<b>Diversified Fund</b>	
449 Forest Avenue	
JOB# 201026	DATE: 04/10/01
BOOK# 588	

THIS IS NOT A STANDARD BOUNDARY SURVEY  
 The boundary information shown is based on a Standard Boundary Survey made for Diversified Properties by Titcomb Associates dated 04/10/01.



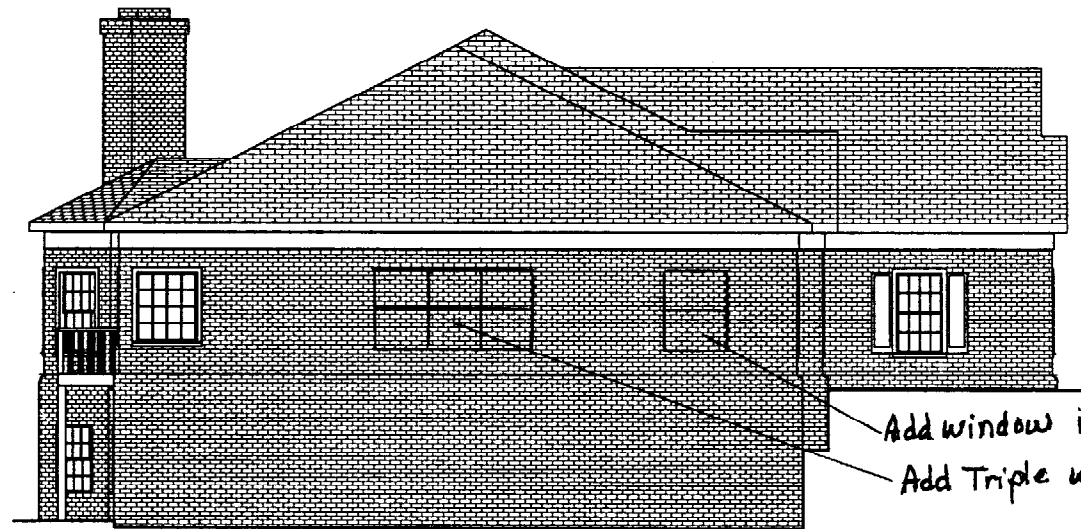
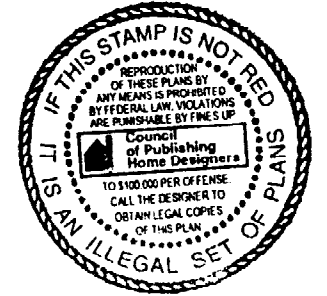


REAR ELEVATION

SCALE: 1/8"=1'

ONE 6' X 6' 8" EXTERIOR PHOTO DOOR

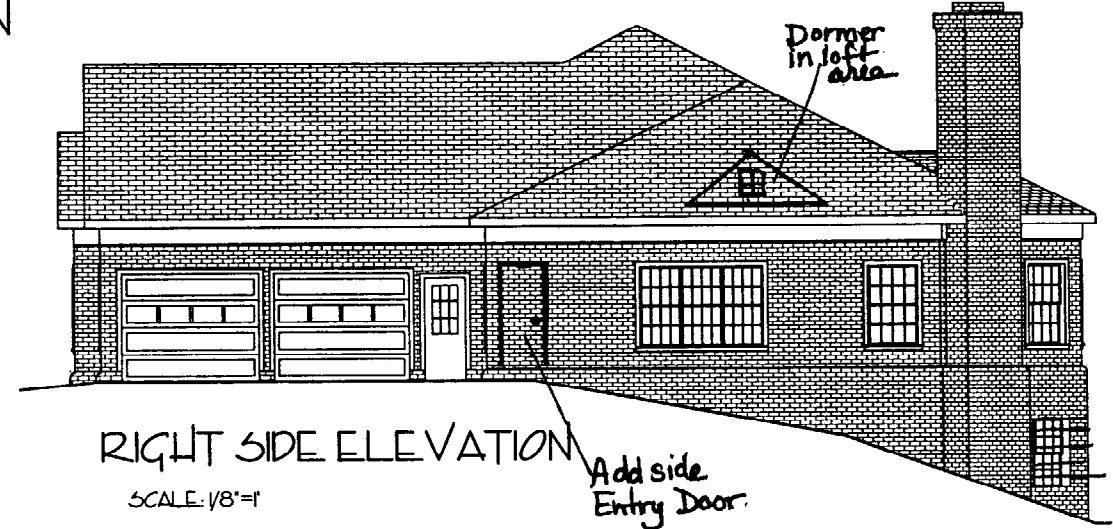
NO DAYLIGHT BASEMENT



LEFT SIDE ELEVATION

SCALE: 1/8"=1'

Add window in Bedroom  
Add Triple window

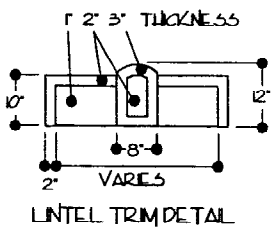


RIGHT SIDE ELEVATION

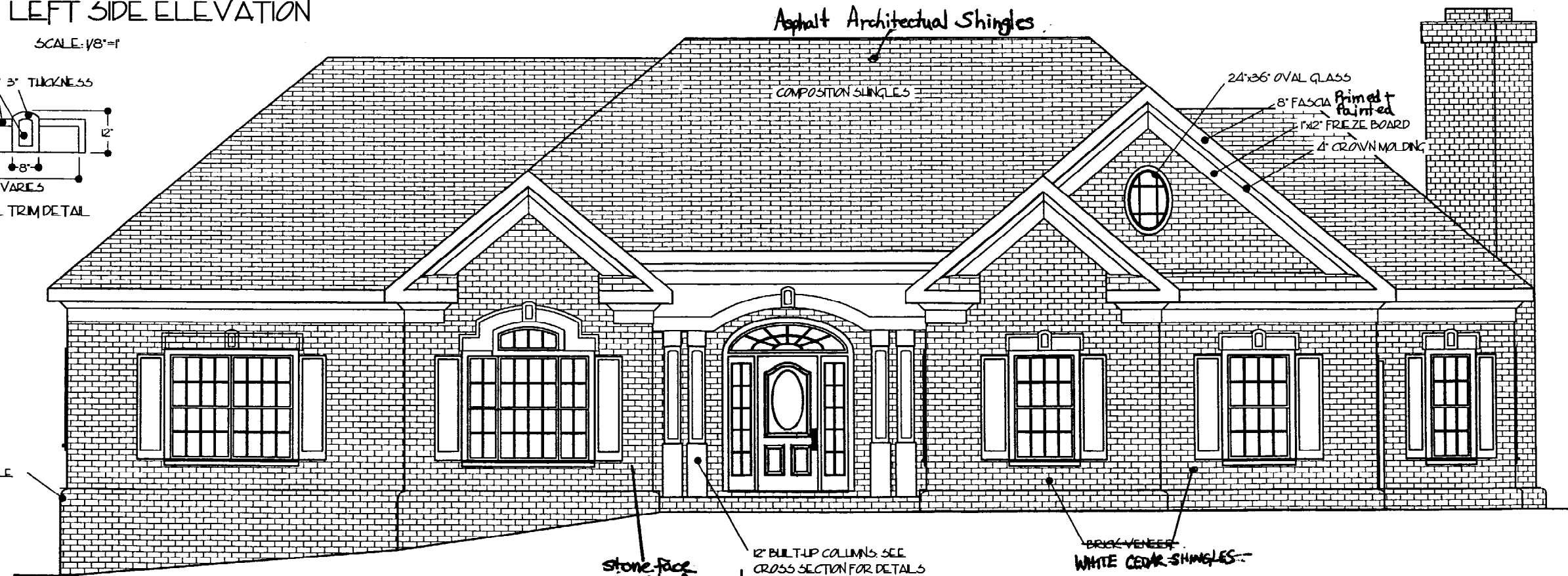
SCALE: 1/8"=1'

Add side Entry Door

Dormer in loft area



BULL NOSE WATER TABLE



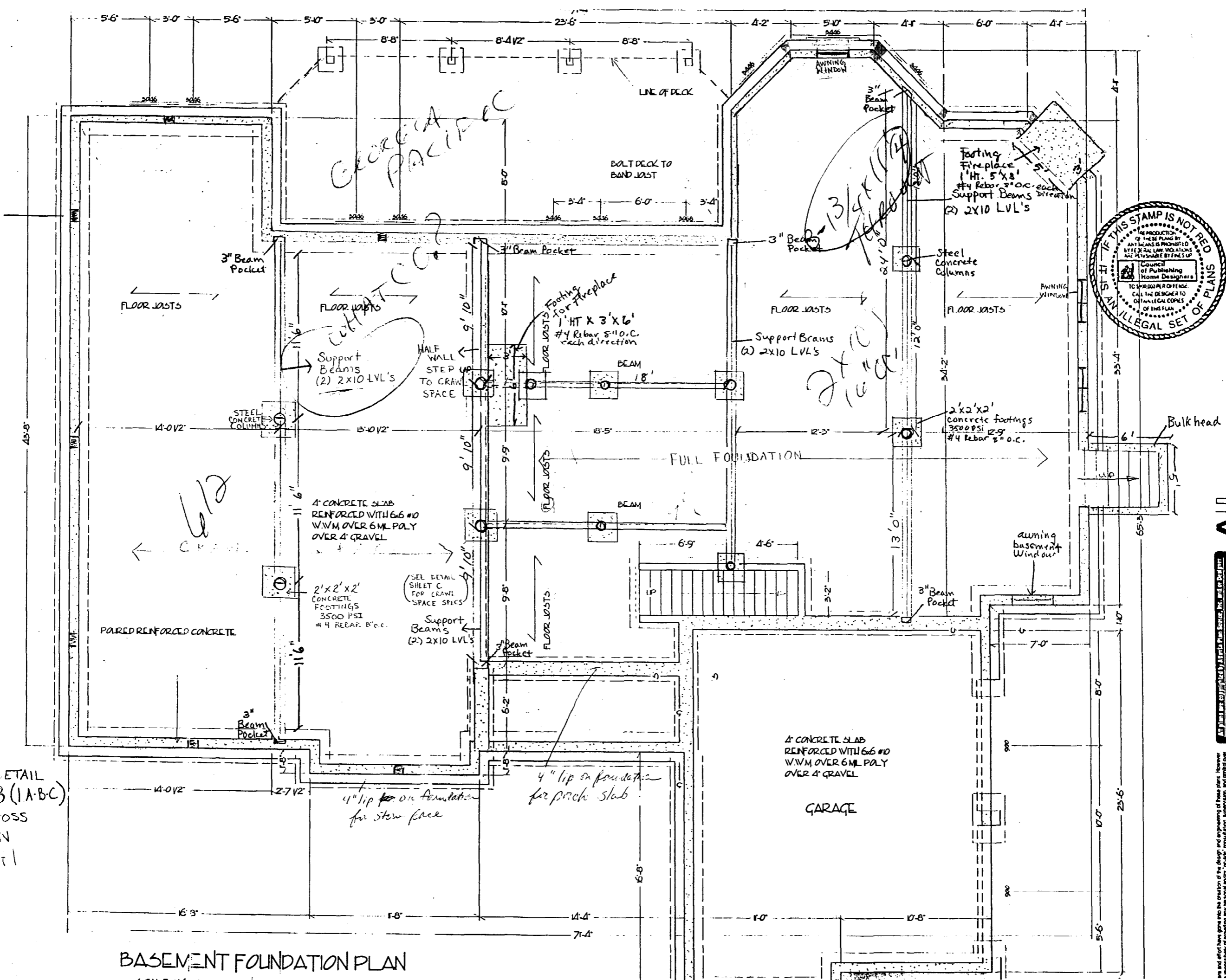
FRONT ELEVATION

**A/B/D.**

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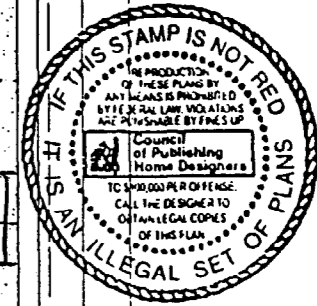
12' x 6" LVL'S



See DETAIL Sheet B(1A-BC) Cross Section Detail

### BASEMENT FOUNDATION PLAN

SCALE 1/4" = 1'



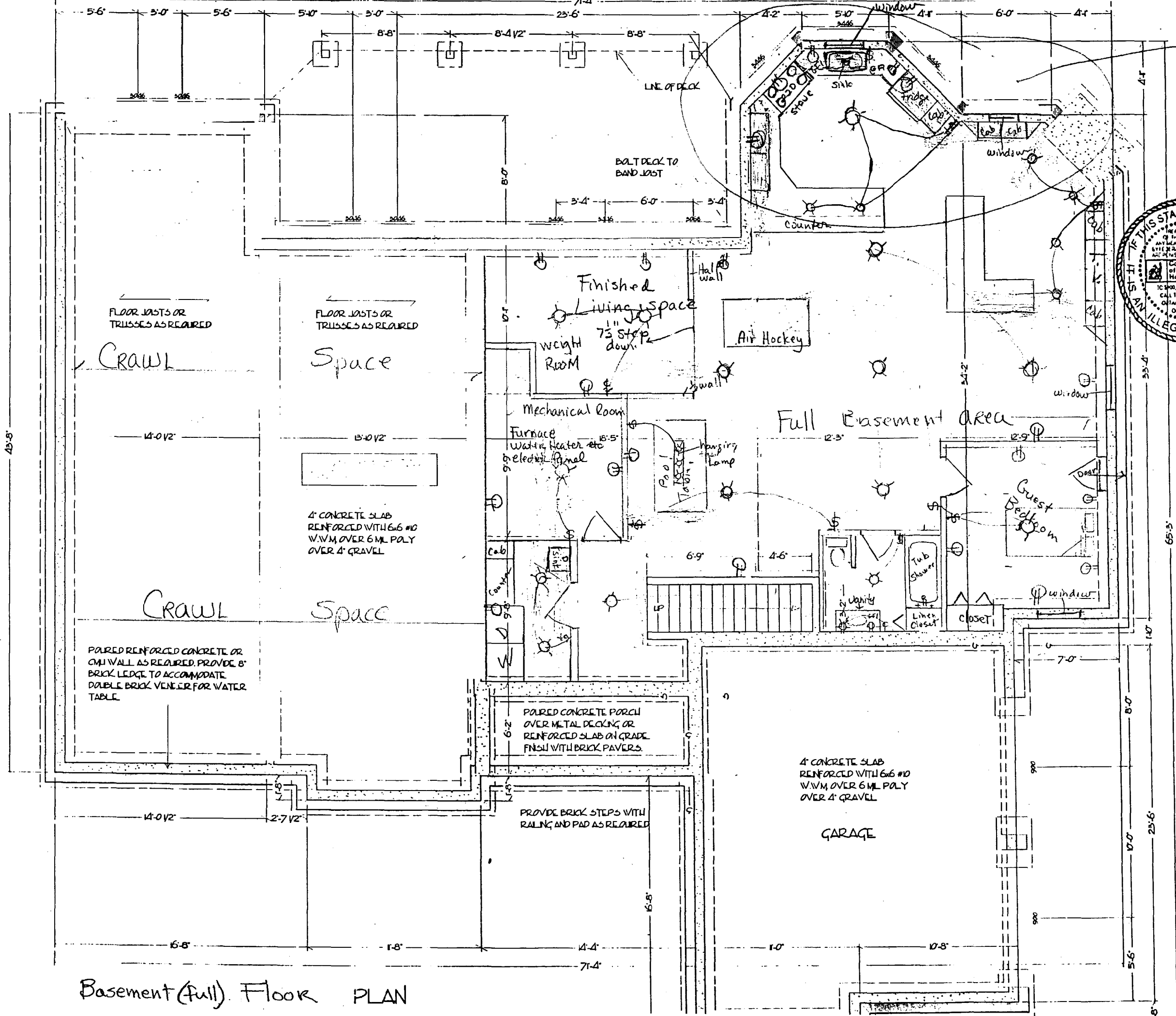
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# A | B.D.



773-8736



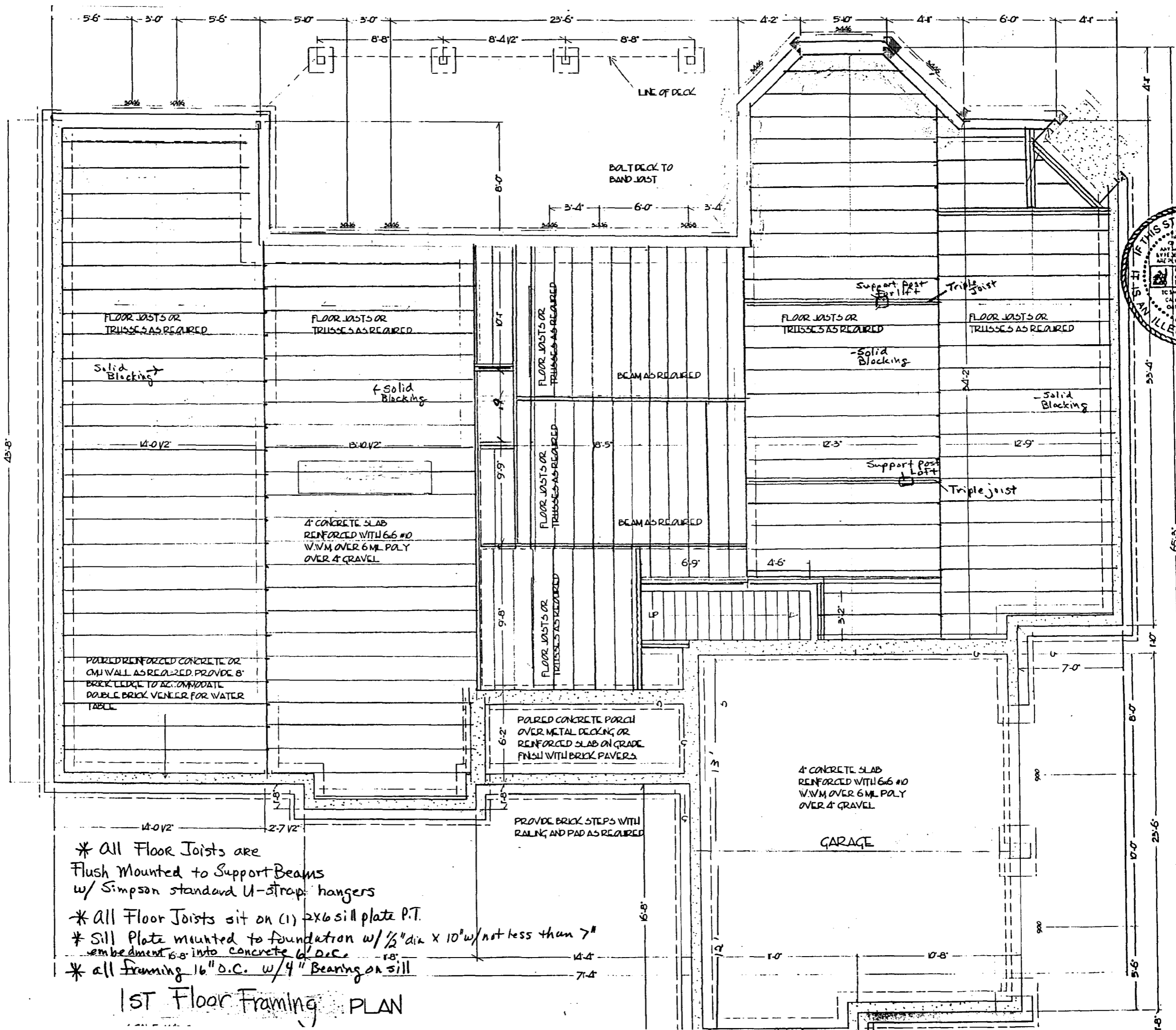
Basement (Full) Floor PLAN

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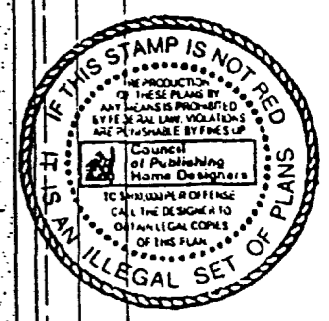
**A | D.**

Bob & Mary Burkhardt  
 20 Haskell Rd. Portland.  
 773-8736



- \* All Floor Joists are Flush Mounted to Support Beams w/ Simpson standard U-strap hangers
- \* All Floor Joists sit on (1) 2x6 sill plate P.T.
- \* Sill Plate mounted to foundation w/ 1/2" dia x 10" w/ not less than 7" embedment 6-8" into concrete 6' Dec.
- \* all framing 16" o.c. w/ 4" Bearing on sill

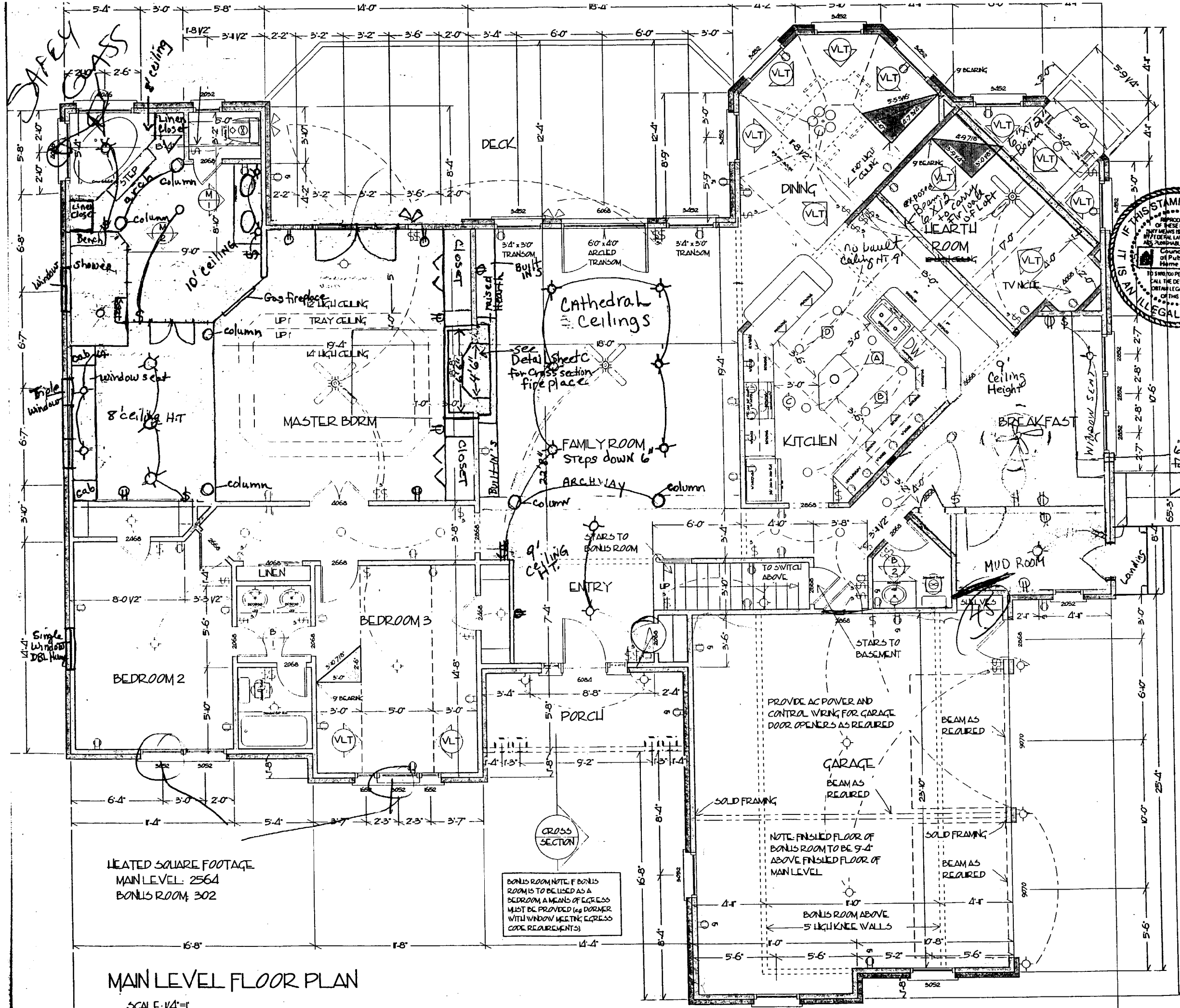
1st Floor Framing PLAN



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 10101 S.W. 11th St., Suite 100, Portland, OR 97219  
 P.O. Box 1169

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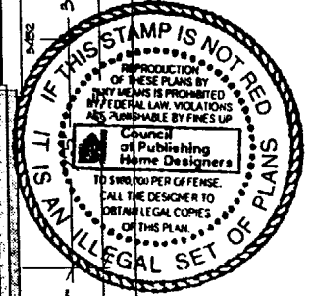


HEATED SQUARE FOOTAGE  
 MAIN LEVEL: 2564  
 BONUS ROOM: 302

**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4"=1'

**BONUS ROOM NOTE:** IF BONUS ROOM IS TO BE USED AS A BEDROOM A MEANS OF EGRESS MUST BE PROVIDED (eg DORMER WITH WINDOW MEETING EGRESS CODE REQUIREMENTS)



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Plan #2520 Basement

*Handwritten notes:*  
 6x4 Lam Post for loft  
 Bulkhead  
 House  
 EGRESS  
 Purpos



A

B

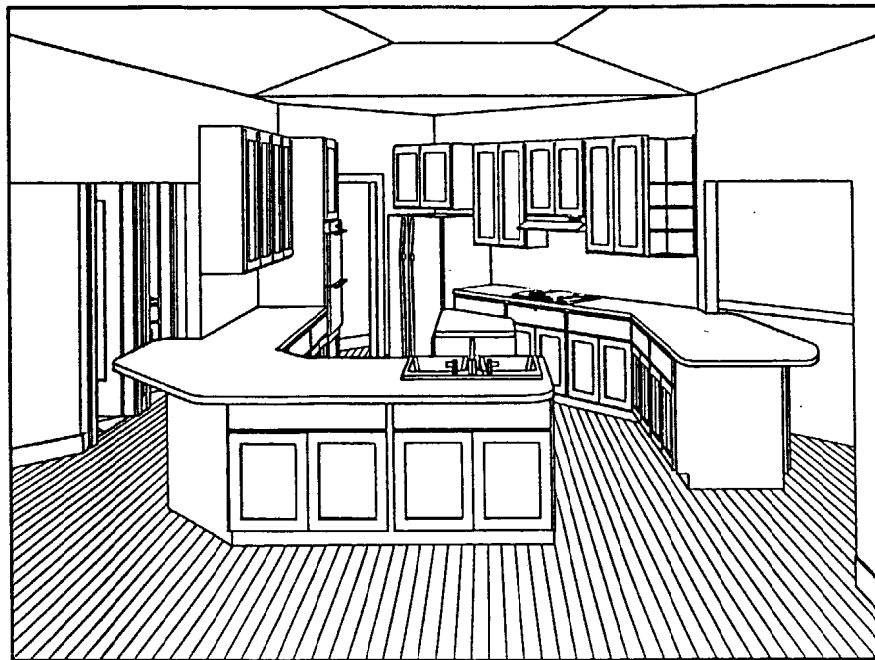


C

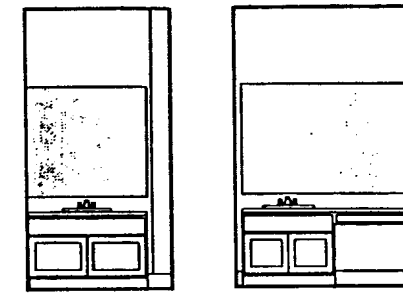
D

KITCHEN CABINET ELEVATIONS

SCALE: 1/4"=1'

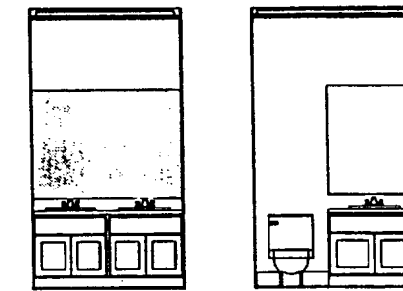


3D KITCHEN VIEW



M1

M2

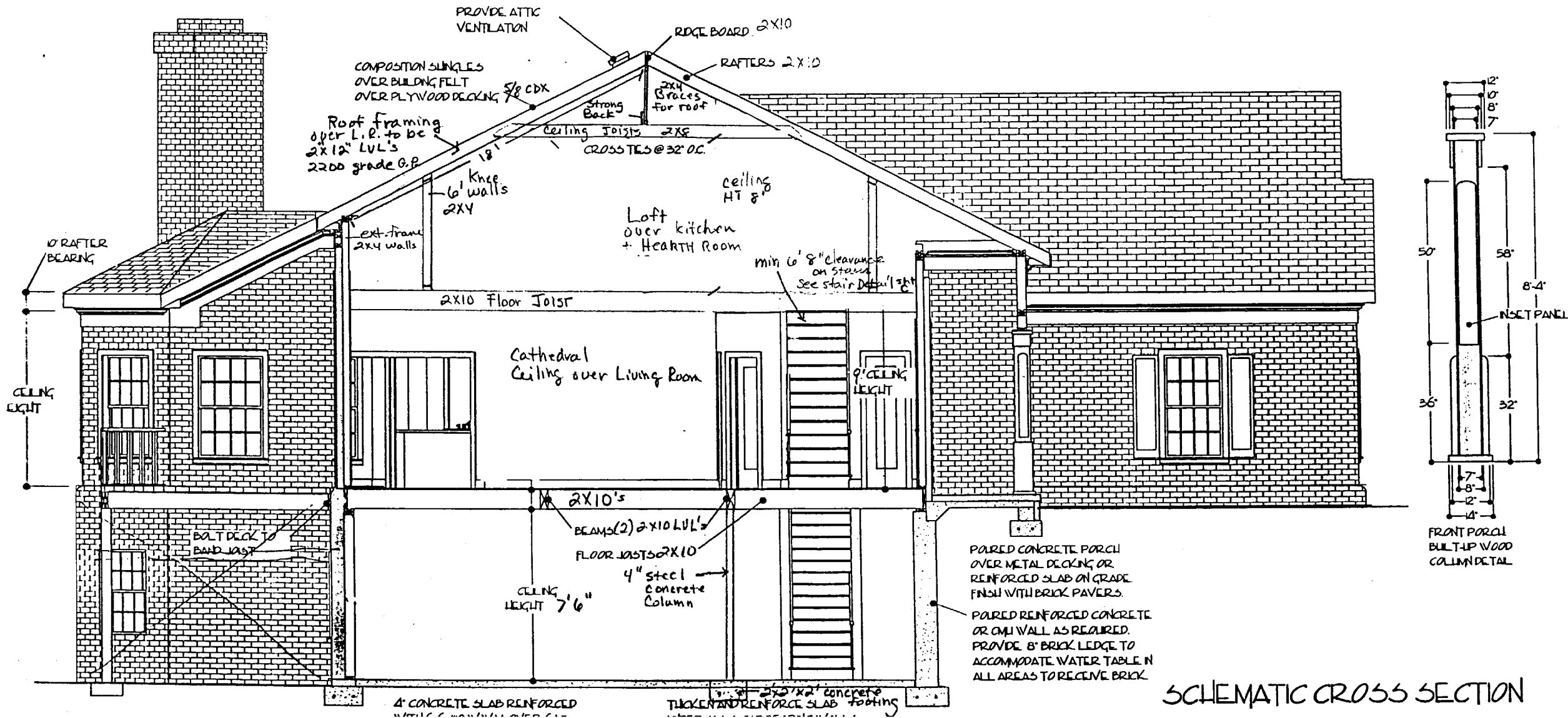
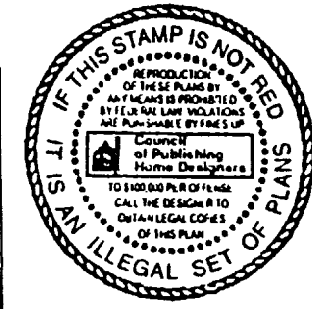


B1

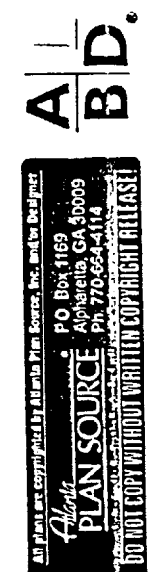
B2

BATH CABINET ELEVATIONS

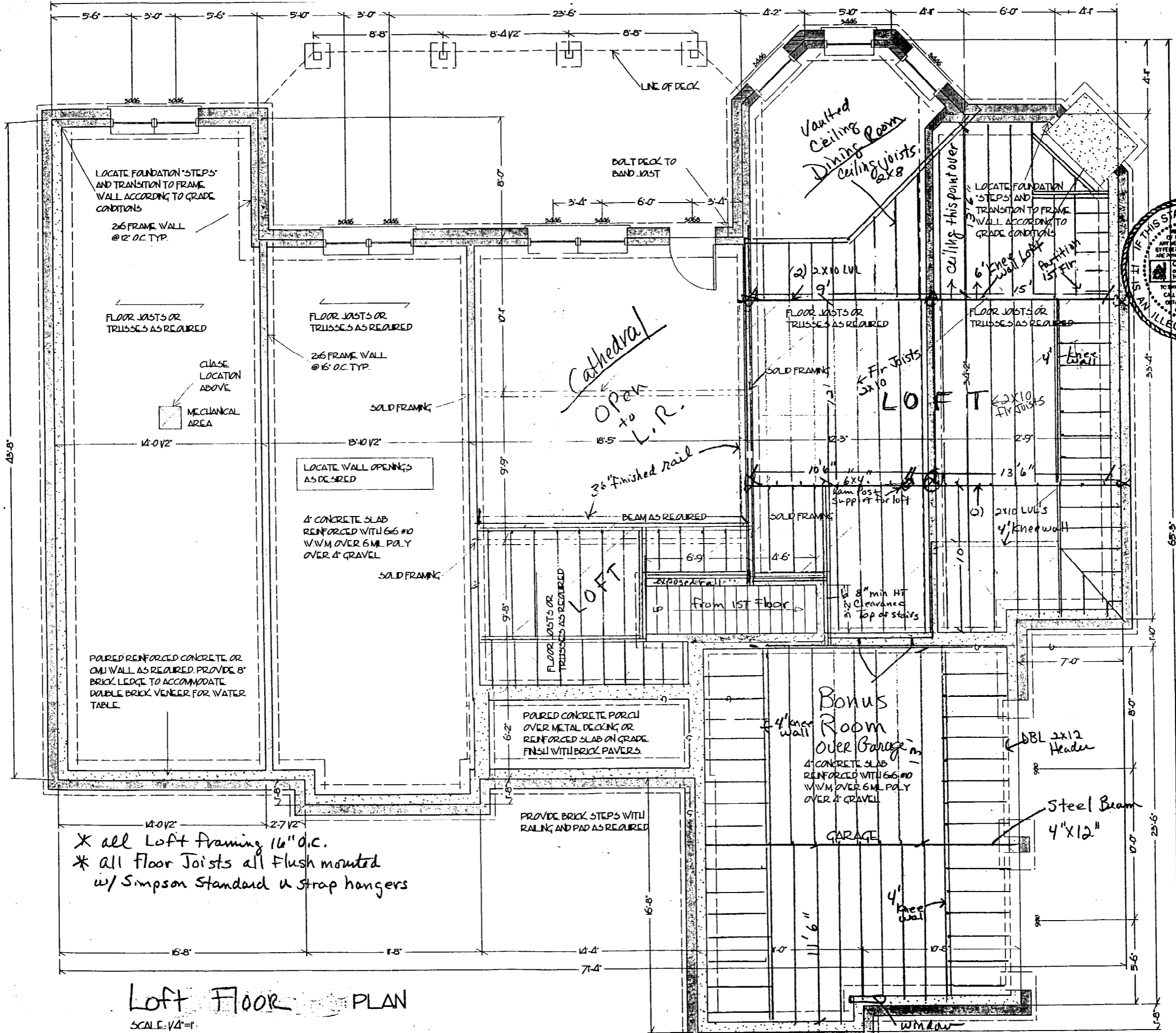
SCALE: 1/4"=1'



SCHEMATIC CROSS SECTION

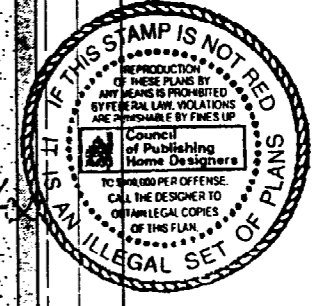


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\* all Loft framing 16" o.c.  
 \* all floor Joists all flush mounted  
 w/ Simpson Standard U Strap hangers

**Loft Floor PLAN**  
 SCALE: 1/4" = 1'



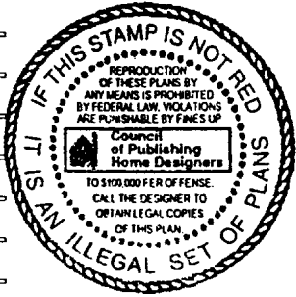
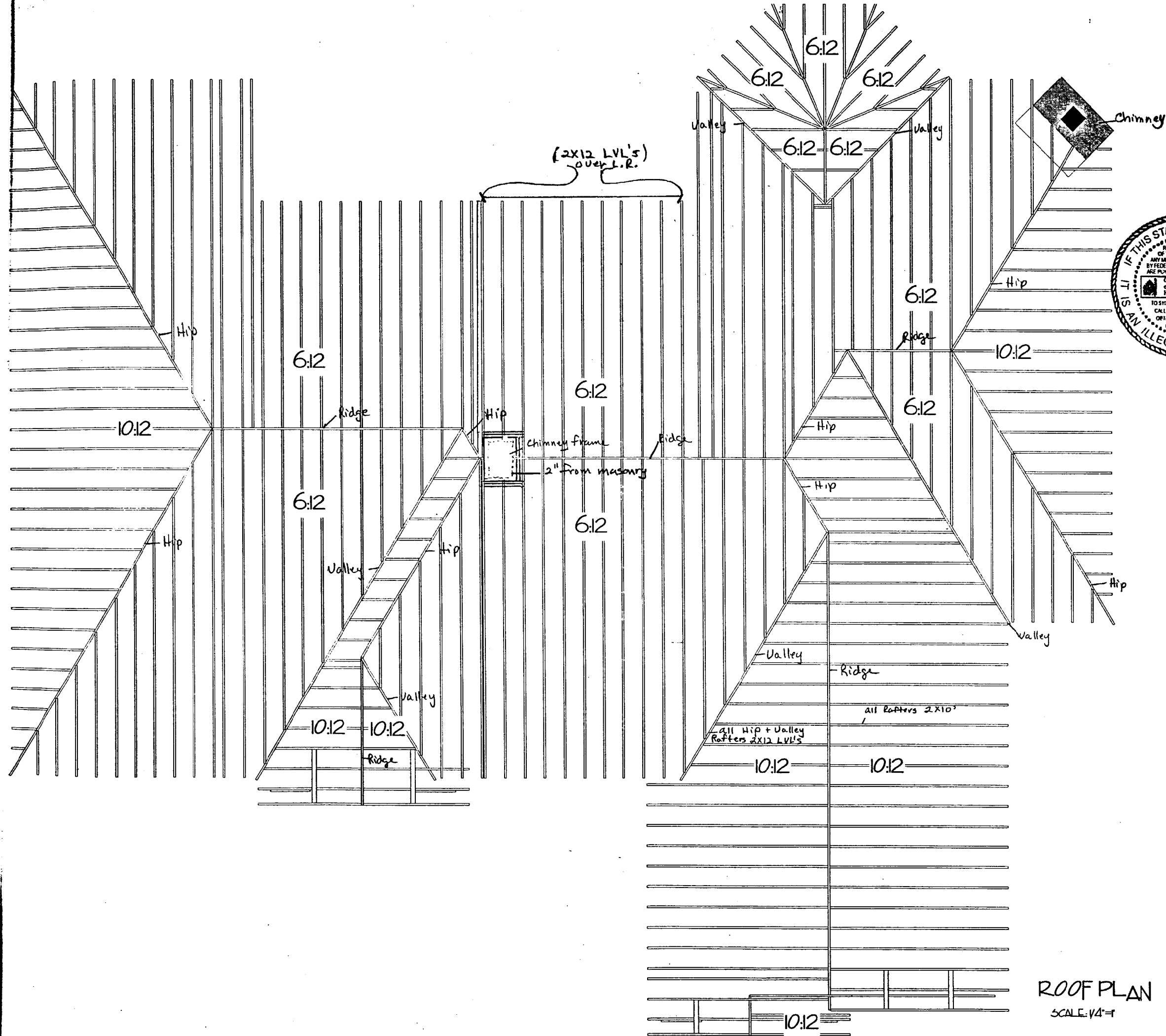
**ALL B.D.**

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**ROOF PLAN**  
SCALE: 1/4"=1'

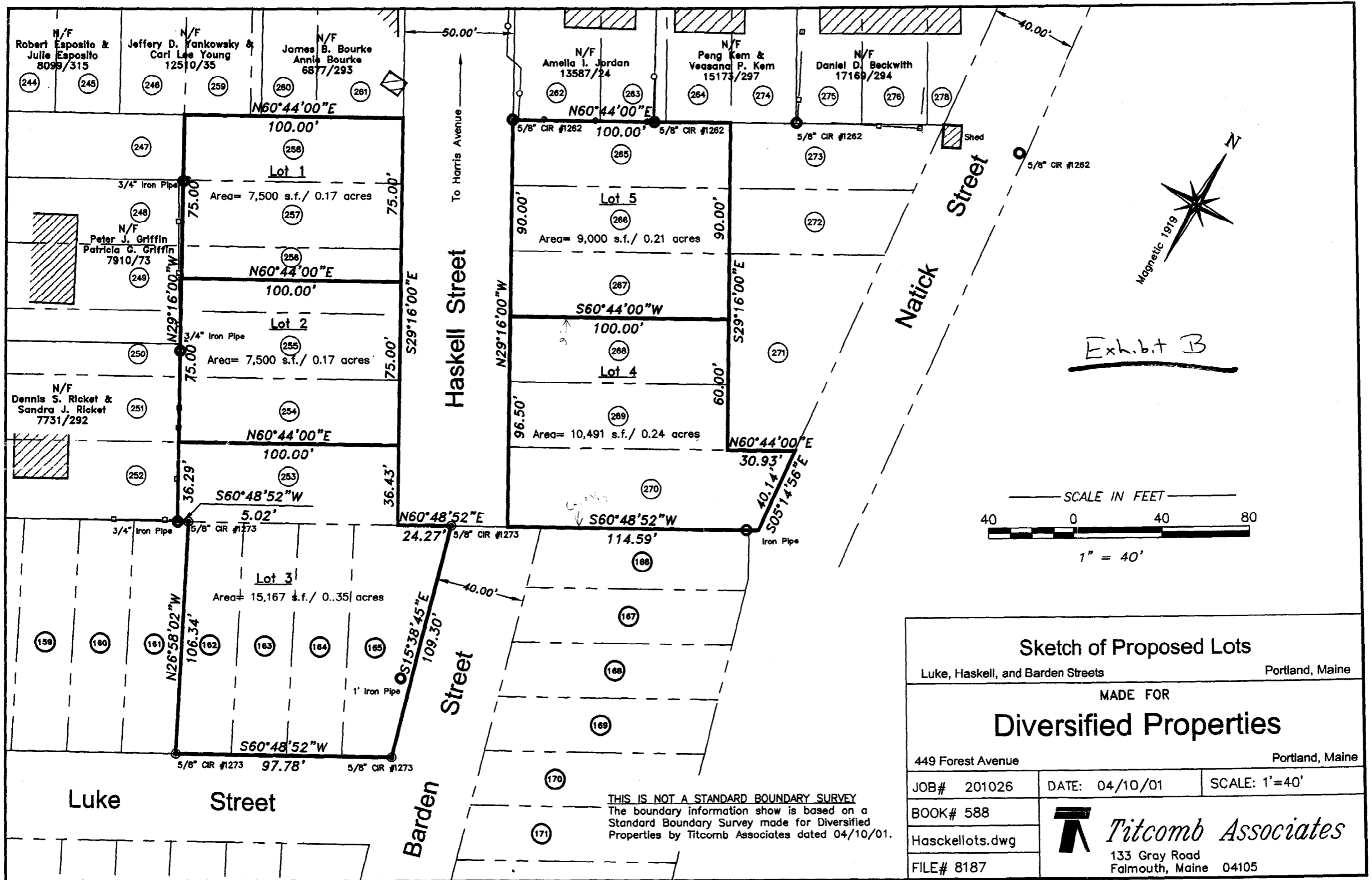
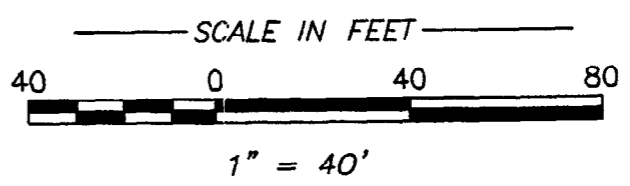



Exhibit B



<b>Sketch of Proposed Lots</b>		
Luke, Haskell, and Barden Streets		Portland, Maine
MADE FOR		
<b>Diversified Properties</b>		Portland, Maine
449 Forest Avenue		Portland, Maine
JOB# 201026	DATE: 04/10/01	SCALE: 1"=40'
BOOK# 588	 <b>Titcomb Associates</b> 133 Gray Road Falmouth, Maine 04105	
Hasckellots.dwg		
FILE# 8187		

THIS IS NOT A STANDARD BOUNDARY SURVEY  
 The boundary information show is based on a  
 Standard Boundary Survey made for Diversified  
 Properties by Titcomb Associates dated 04/10/01.

Bob + Mary Burkhardt  
773-8736

# GENERAL SPECIFICATIONS FOR CONTRACTOR

Please Note: These specifications are provided as a service to Atlanta Plan Source, Inc. customers. The information is prepared by an outside firm according to UBC guidelines and is not warranted by Atlanta Plan Source, Inc. The specifications may have to be amended due to variations in local codes and geological conditions. It is the responsibility of the Contractor to make the necessary modifications to ensure code compliance and structural integrity. It is recommended that you consult a local architect or engineer of your choice and check with local building officials prior to the start of actual construction. Special engineering may require that these specifications be changed to comply with seismic, wind, or other special conditions as required by local codes.

## GENERAL REQUIREMENTS:

1. General Contractor shall be responsible for verifying all dimensions and conditions including openings with the architectural and electrical plans.
2. This structure shall be adequately braced for wind loads until the roof, floor and walls have been permanently attached together.
3. Any discrepancy in plans is to be brought to the attention of the designer prior to proceeding with work. Do not scale plans.
4. Contractor shall fully comply with the current edition of the CABO One and Two Family Dwelling Code Book and all additional state and local code requirements. Any work knowingly performed by the contractor contrary to such laws, ordinances, or regulations shall assume full responsibility of such work.
5. Contractor shall perform coordination with all utilities and services with state and local authorities and utilities.

## DESIGN LOADS:

The contractor shall be responsible for complying with Chapter 4 of the current CABO for all framing execution and for verification of all local design loads.

Roof	Live Load = 30 PSF
Floor	Live Load = 40 PSF
Decks	Live Load = 60 PSF
Garage	Live Load 50 PSF (2000 lb pl. load 1' from support)
Stairs	Live Load = 100 PSF
Soil Bearing Capacity	2000 PSF (assumed)
Wind	90 MPH basic wind speed exposure C
Seismic	Consult current seismic map to determine zone of construction site

## SITE WORK:

### Earthwork:

1. Footings to bear on undisturbed soil with min depth below final grade of 1' 6" for 1 & 2 story and 2'-0" for 3 story, unless noted otherwise.
2. Do not excavate closer than 1 1/2 = 2 slope below footings.
3. Backfill shall not be placed against basement retaining walls until:
  - A. Concrete or masonry grout has reached it's 28 day strength.
  - B. And structural floor framing (including plywood subfloor) required to stabilize walls is completed and fully nailed and anchored.
4. Backfill shall consist of non-expansive, free-draining, predominately granular material, free of debris and organic material.

### Drainage:

1. Provide crawl space drain per sect 291.0 current UBC or R-309.4 current CABO.

## CONCRETE:

### Accessories:

1. Foundation vents 16" X 8" with 8-mesh corr. resist screen (closable)- post closable vent notice on electrical panel door.
2. Cover entire ground area of crawl space with 6 mil. black visqueen and extend up to mud sill.
3. Foundation wall to have 1/2" airspace @ sides and ends of beams @ girders.
4. Foundation thicknesses indicated are minimum.
5. All concrete shall develop a min. 28 day strength per sec. R-302.2 CABO.
6. Use air-entraining admixture in all concrete, providing not less than 4% nor more than 8% entraining air for concrete exposed to freezing and thawing, and from 2% to 4% for other concrete.
7. Concrete when placed shall have a temperature between 50 degrees F and 70 degrees F. Temperature of concrete during mixing or transporting shall never be lower than 40 degrees F nor higher than 90 degrees F.
  - A. During cold weather (ambient temperature below 40 deg. F) builder shall maintain concrete at a minimum temp. of 50 deg. F for 3 days and above 32 deg. F for 14 days following ACI 306R recommendations for cold weather concreting.
  - B. During hot weather (ambient tem. above 80 deg. F.) builder shall follow recommendations for hot weather concreting as described in ACI 305R as required to minimize temperature and shrinkage cracking of concrete.

## REINFORCEMENT:

1. Reinforcement bars to be deformed bars conforming to current ASTM A615 Grade 40. All reinforcement steel shall be detailed, fabricated and placed in accordance with ACI Detailing Manual 315-80.
2. All welded wire fabric shall conform to current ACTM A185 specs.
3. Garage floor to have 6X6X6/6 WWM centered in slab.
4. Reinforcement shall be accurately placed and adequately supported by concrete, metal or other approved chairs, spacers, or ties and secured against displacement during concrete or grout placement. Tack welding not allowed.

## STRUCTURAL STEEL:

1. All structural steel shall be ASTM A-36 detailed, fabricated and erected in accordance with AISC Manual Eight Edition.
2. All welding to be done by certified welders in accordance with minimum AWS specifications.
3. All anchor bolts to be ASTM 307.

## STEEL ACCESSORIES:

- \* 1. Foundation bolts to be 1/2" dia X 10" with not less than 7" embedment into concrete.
2. Holddown at foundation and steel connectors to be Simpson Mfg. or approved equal.

## MASONRY:

1. Concrete masonry units ASTM C90-70 grade N type I 1000 PSI ASTM C331 and C33 moisture content 30% maximum of total absorption. Linear shrinkage not to exceed 0.065%-1 5/8 face shells.
2. A. All mortar for reinforced masonry walls shall be UBC type "B".  
B. All mortar shall be mixed by mechanical means and proportioned by accurate measurement.  
Shovel measurements shall not be allowed.
3. A. All grout for grouted voids shall comply with all provisions for 3000 PSI concrete with a maximum aggregate size of 3/8".  
B. All voids containing reinforcement bars shall be reinforced with 1-#5 vertical bars, placed accurately at centerline of grout cores at 4'-0" lifts over 4'-0" may be made if cleanouts are provided.
4. Provide 2'-0" x 2'-0" corner bars equal in size and number to horizontal reinforcing at all intersections and corners of brick walls.

## MASONRY or STONE VENEER:

1. All veneer shall be anchored to structural elements using corrosion resistance anchor ties. The ties shall be minimum 22 ga. x 1" with maximum vertical and horizontal spacing of 16" O.C..

## WOOD:

### Framing Lumber:

1. All sawn lumber shall be Douglas Fir-Larch Lumber erected as required by CABO nailing schedule, plane & details and in specifications.
2. Grading shall be in accordance with current WWPA standard grading rules.
  - A. Grade No. 1 Post and Beams  
Floor and ceiling joist, rafters.
  - B. Grade No 2 Sills, Plates, blocking and studs
3. Solid interior beams visually exposed to be clear grade FIHC. All exterior and interior bearing wall openings shall have 4 X 12 No 1 DF headers unless otherwise shown.
4. All members 2x and less in least dimension shall be kiln dried.
5. All members 4x and greater in least dimension shall be free-of-heart center.

### Sheathing Materials:

1. Plywood Wall sheathing 1/2" thick C-D interior with exterior glue index 32/16 nailed
2. Plywood Floor Sheathing 3/4" thick C-D interior with exterior glue index 32/16 glued & nailed.
3. Plywood Roof Sheathing 3/4" thick C-D interior with exterior glue index 32/16 nailed
4. Particle Board Underlayment 1/2" thick CS-236-66 mat formed type 1-B-2.
5. Water Resistant Particle Board Underlayment 1/2" thick phenolic resin treated type 2-B-2. Installed at kitchen and bathroom.

### Interior Decking:

1. 2 X 8 T&G #3 D.F. Subfloor over post & beam.

### Exterior Decking:

1. Open decking and weather exposed material to be pressure treated.

### Glue Laminated Members:

- \* 1. All glue laminated members shall be #2200 grade, detailed, fabricated and erected in accordance with current WWPA standards specifications for glue laminated Douglas Fir Timber.
2. All glue laminated members shall be fabricated with waterproof glue.
- \* 3. Connect all joists, purlins, to beams with Simpson standard U-straps hangers to develop full total load reactions unless otherwise shown.

### Pre-Engineered Roof Trusses:

1. Trusses shall conform to all provisions of the current edition of CABO or UBC for standards for design and materials.

### Pressure Treated Lumber:

1. All wood in permanent contact with concrete to be pressure treated or decay resistant.

## CONSTRUCTION ACCESSORIES:

1. Building Paper—"Tyvek" Housewrap
2. Provide hurricane ties at eaves per current edition CABO or UBC
3. Provide earthquake ties as necessary as per earthquake zone requirements.

## NAILING SCHEDULE:

1. Provide nailing per CABO sec R-402.3e-1 and R-503.6 or UBC tables 25-0 and 25-Q.

## THERMAL and MOISTURE PROTECTION:

### Dampproofing:

1. Apply standard Dry Wall Products, Inc. "Thorseal Foundation Coating" foundation waterproofing on all backfill faces of walls below grade where interior face wall is toward an occupied space. Provide "Thorglazed" dampproofing coating on all exposed surfaces of concrete walls above earth grade and flatwork not covered by finish materials all in strict conformance with MFG printed instructions.

### Insulation: Prescriptive Path One

1. Roof Vaulted R-30 with vapor barrier on warm side (winter).  
Roof Flat R-38 with vapor barrier on warm side (winter).
2. Wall (ext) R-21 with vapor barrier on warm side (winter).
3. Floors over unheated spaces R-25 with vapor on warm side (winter).
4. Basement wall (if any) R-21 to floor slab.
5. Basement floor slab on grade R-15 in 24" at perimeter.
6. Furnace ducts in unheated spaces R-8.

### Flashings:

1. Provide 26 ga. metal at roof counter-flashing, penetration flashing and base flashing.
2. Gutters and downspouts to be 25 ga. pre-finish metal.

### Caulking and Sealants:

1. Caulk and/or seal all exposed interior and exterior joints above and below grade and all those interior and exterior joints and appendages concealed by other building materials, flashing, etc. with caulking and/or sealant material abutting natural or painted finishes.

## WINDOWS and DOORS:

1. All windows to be U40 insulated glass or better. Provide tempered glass at sliding doors, windows within 12" of any door and windows less than 18" above finish floor.
2. All skylites to be U50 insulated, tempered glass.
3. All exterior wood doors to be solid core wood as selected by owner, or prefinished steel doors with wood frames. Main entry doors to be U54, all other exterior doors to be U20. All interior doors to be hollow core, wood frame.
- \* 4. Each bedroom to have at least one window with min. clear opening of 5.7 Sq. Ft., min., height opening of 24", min., width opening of 20" and max. 44" sill height above finish floor.

## FINISHES:

### Gypsum Wallboard:

1. Provide gypsum wallboard of type and thickness as required. Gypsum board work and materials shall meet requirements on ANSI No. 97-1 for the "Application and Finish of Wallboard". Joint compound system mixed, applied and finished in compliance with MFG printed directions, to be invisible after finish, including all metal corner beads and trim.
2. Provide 1/2" thick gypsum wallboard at all interior walls, except at tub and shower recess, walls to have 1/2" waterproof gypsum wallboard with hard moisture resistant surface up min. 6'-0". Walls between garage and residence to have 1/2" gypsum wallboard to roof or on all walls and ceiling and as indicated by drawings or local codes.

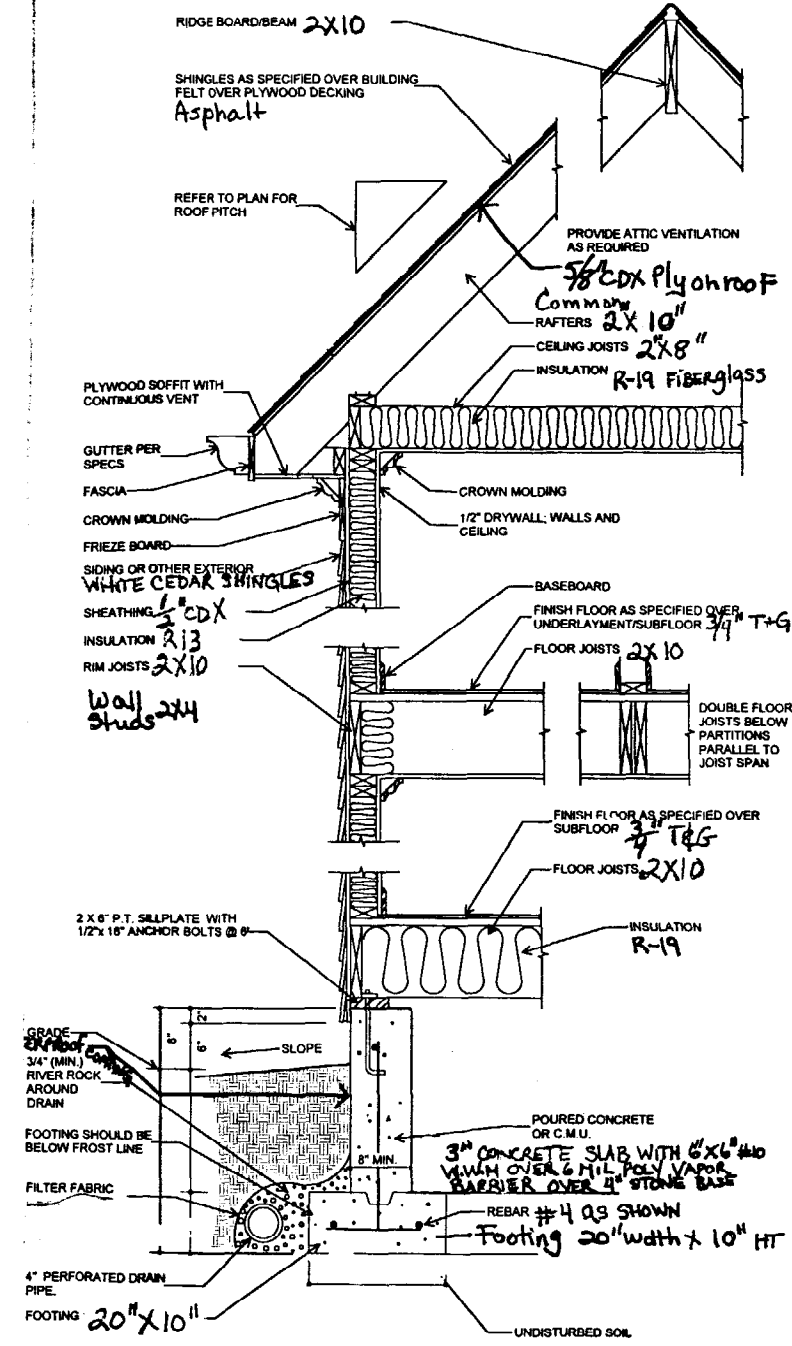
## MECHANICAL:

1. General plumbing: Per current plumbing code. Use ABS/PVC plastic waste and vent piping. Use copper water supply piping.
2. Exhaust fans, range hood and clothes dryer to vent outside.
3. Provide combustion air inlet for fireplaces and stoves per sec. R-906

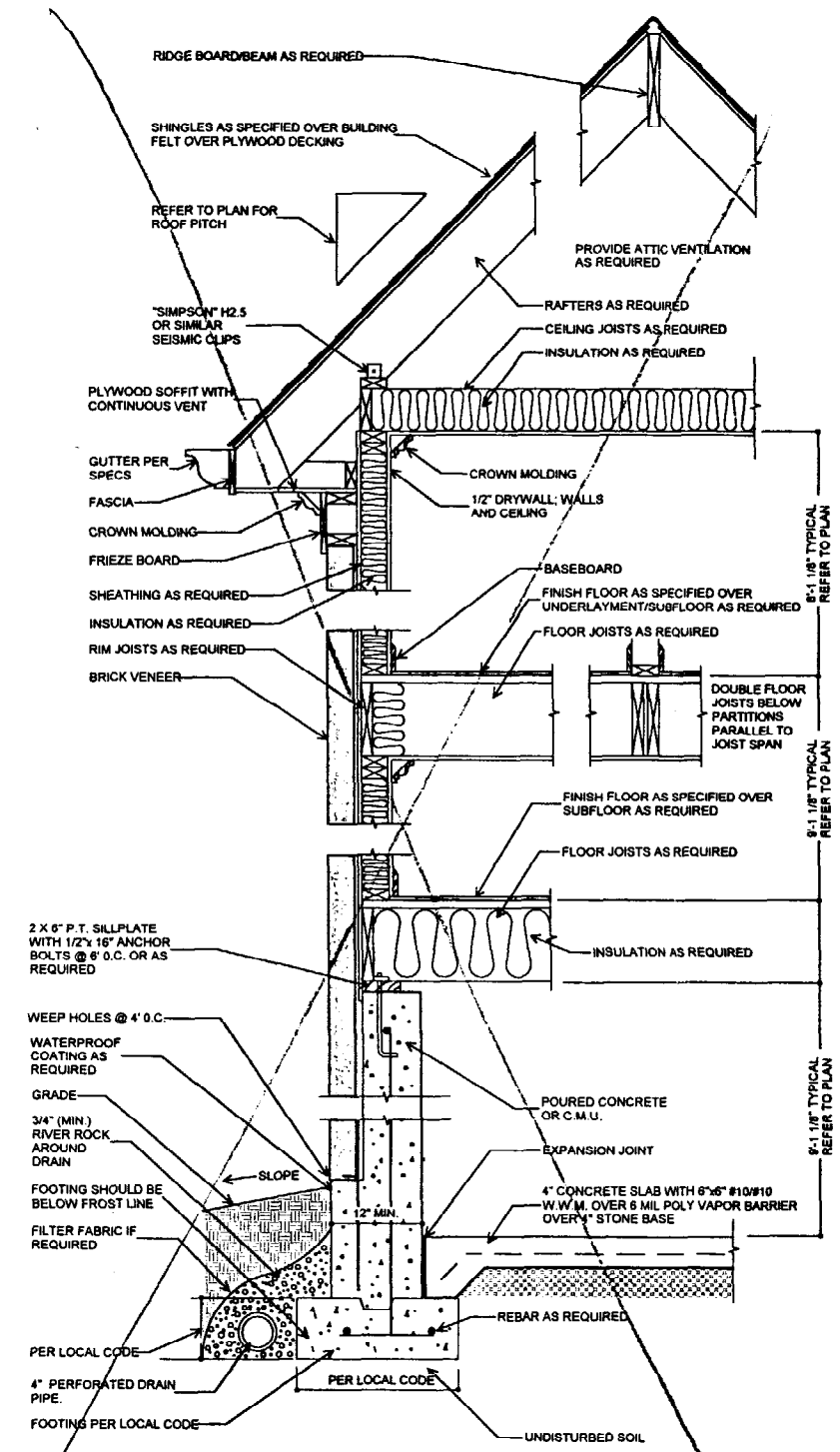
## ELECTRICAL:

1. General Electrical: Per current electrical code and as notes on drawings.
2. Smoke detectors shall be connected to house power and interconnected floor to floor.

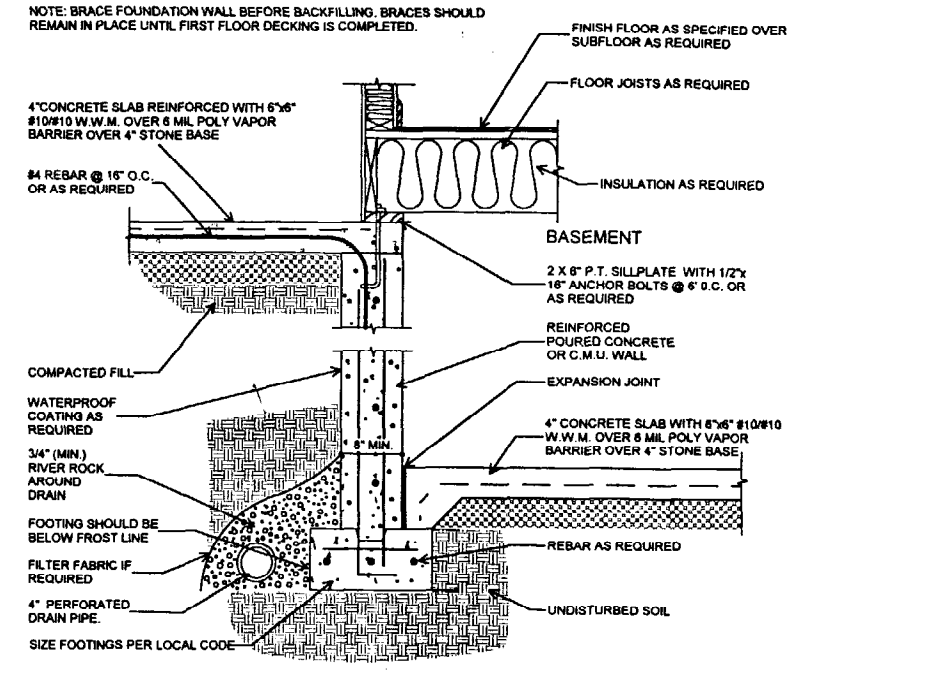




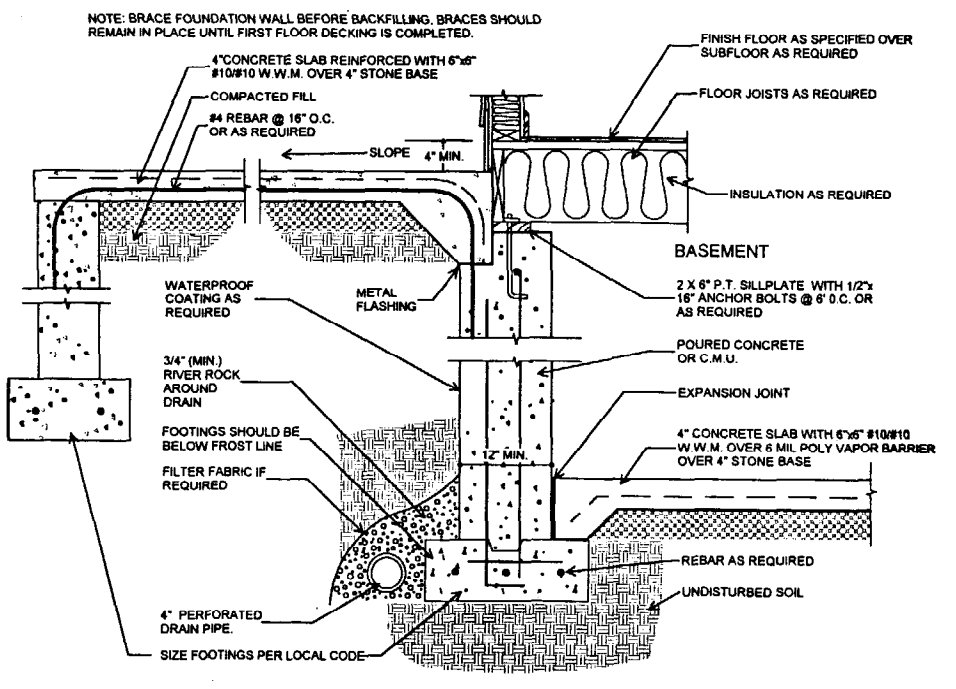
**TYPICAL WALL SECTION (1A)**  
(3/4"=1') SIDING OR SIMILAR EXTERIOR FINISH TWO STORY ON CRAWL SPACE



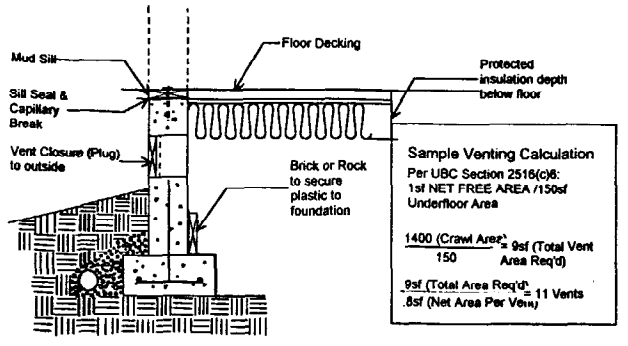
**TYPICAL WALL SECTION (1B)**  
(3/4"=1') BRICK TWO STORY ON BASEMENT



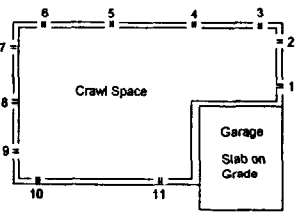
**GARAGE WALL SECTION (1B)**  
(3/4"=1')



**PORCH/STOOP WALL SECTION (1C)**  
(3/4"=1')



**CRAWL SPACE VENTILATION**



Sample Venting Calculation  
Per UBC Section 2518(c)(8):  
1st NET FREE AREA / 150sf  
Underfloor Area

1400 (Crawl Area) ÷ 9sf (Total Vent Area Req'd)

9sf (Total Area Req'd) ÷ 11 Vents

8sf (Net Area Per Vent)

**FRAMING NOTES**

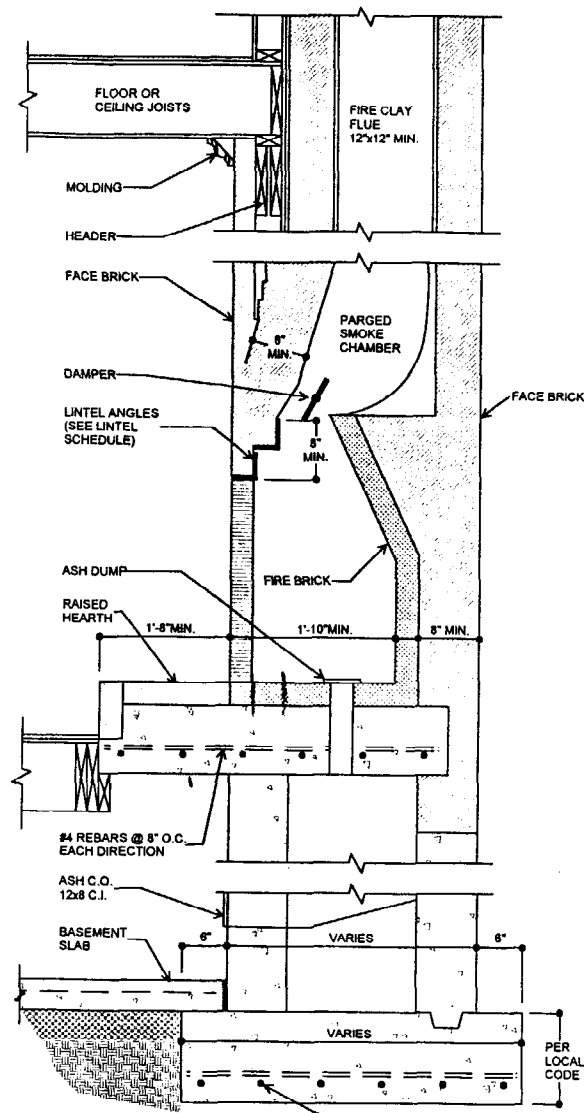
- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4x12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:
  - A. POST, BEAMS, HEADERS, JOISTS & RAFTERS. NO 2 DOUGLAS FIR.
  - B. SILLS, PLATES, BLOCKING, BRIDGING ETC. NO. 3 DOUGLAS FIR. STUD GRADE D.F.
  - C. STUDS. UTILITY GRADE D.F.
  - D. POST & BEAM DECKING. 1" CDX PLYWOOD, 3218
  - E. PLYWOOD SHEATHING. Fb-240, DRY ADH.
  - F. GLU-LAM BEAMS.

**5. NAIL SCHEDULE:**

JOIST TO SILL OR GIRDER BRIDGING TO JOIST	3-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-8d	TOE NAIL
SOLE PLATE TO JOIST	2-18d	BLIND NAIL
TOP PLATE TO STUDS	16d @ 16"	FACE NAIL
STUD TO SOLE PLATE	2-18d	END NAIL
	4-8d	TOE NAIL OR
	2-15d	END NAIL
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PLATE	16d @ 16"	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16"	FACE NAIL
CLG. JST TO PL.	3-8d	EDGE NAIL
CLG. JST LAP OVER PL.	16d @ 16"	FACE NAIL
CLG. JST TO RAFTER	16d @ 16"	FACE NAIL
RAFTER TO TOP PL.	3-8d	TOE NAIL
BUILD-UP CORNER STUDS	16d @ 24"	FACE NAIL
PLYWOOD SUBFLOOR	8d @ 5"	EDGE NAIL
	8d @ 10"	INTERIOR
	8d @ 8"	EDGE NAIL
	8d @ 12"	INTERIOR
	2-18d	FACE NAIL
	16d @ 15"	FACE NAIL
	1"-BOLTS WITH WASHERS	STAGGER NAIL
	EA. SIDE @ 24" O.C.	
	2-8d	FACE NAIL
PLYWOOD & ROOF SHEATHING		
TOP PL. AT INTERSECTIONS		
MULTIPLE JOISTS (UP TO 3)		
MULTIPLE JOISTS (OVER 3)		
1X8 SPACED SHEATHING		

Please Note: These Construction Details are provided as a service to Atlanta Plan Source, Inc. customers. The information shown is based on The Standard Building Code, Uniform Building Code, and CABO One and Two Family Dwelling Code, and represents typical construction practices in Atlanta, Georgia USA. Special engineering may require that these plans be changed to comply with seismic, wind, or other special conditions as required by local codes. It is recommended that you consult a local architect or engineer of your choice and that you check with local building officials prior to the start of actual construction. It is the responsibility of the Contractor to make the necessary modifications to ensure code compliance and structural integrity. In any instance, the maximum liability of Atlanta Plan Source, Inc. shall be a refund of the purchase price of the home plans. COPYRIGHT ©1998 BY ATLANTA PLAN SOURCE, INC.

**DETAIL SHEET B**

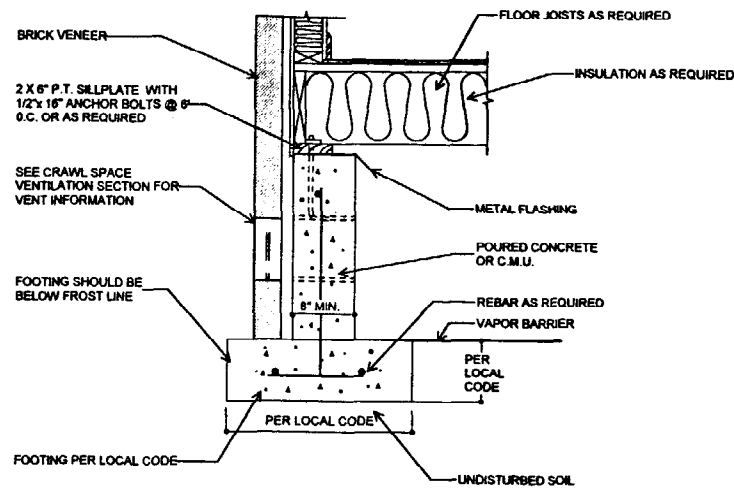


Min of 2" clearance from any masonry

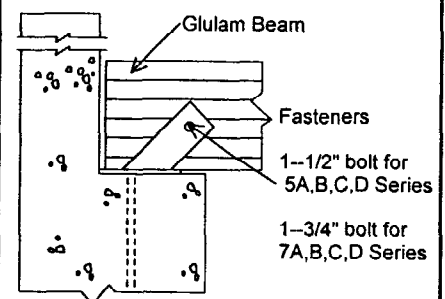
TYPICAL FIREPLACE SECTION  
(3/4"=1')

STEEL LINTELS FOR MASONRY

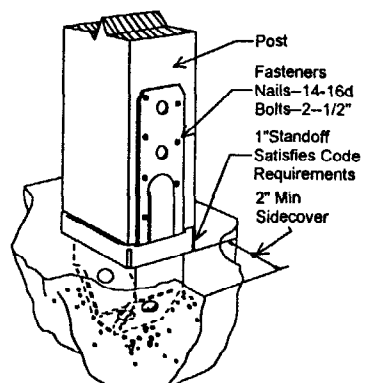
CLEAR SPAN	NO FLOOR LOADS	
	4" BRICK VENEER	6" STONE VENEER
4' OR <	3 1/2 x 3 1/2 x 5/16	3 1/2 x 5 x 5/16
5'	3 1/2 x 3 1/2 x 5/16	3 1/2 x 5 x 5/16
6'	4 x 3 1/2 x 5/16	5 x 5 x 5/16
7'	4 x 3 1/2 x 5/16	5 x 5 x 5/16
8'	5 x 3 1/2 x 5/16	5 x 5 x 5/16
9'	5 x 3 1/2 x 3/8	5 x 5 x 3/8
10'	6 x 3 1/2 x 3/8	5 x 5 x 1/2



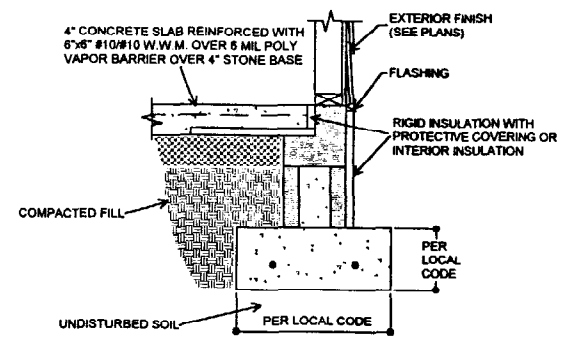
CRAWL SPACE DETAIL



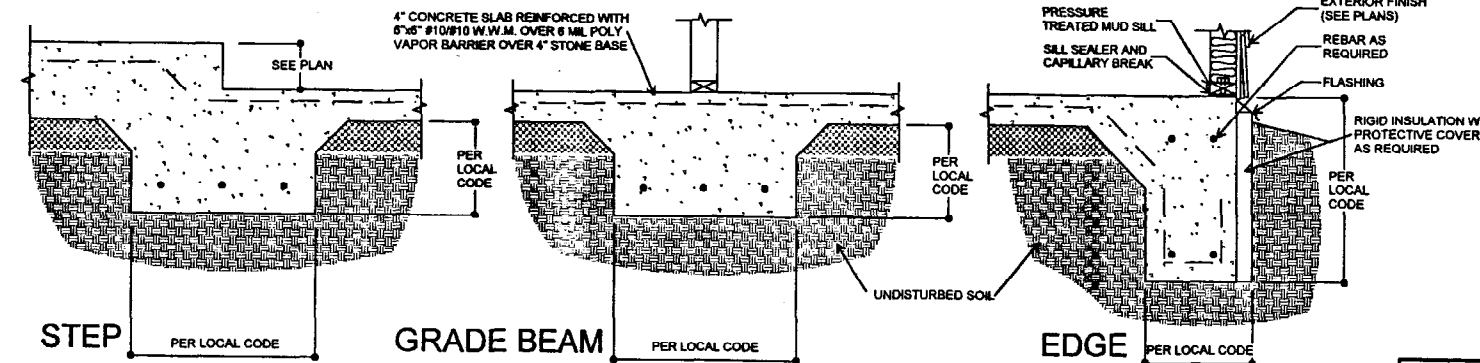
TYPICAL BEAM SEAT  
SIMPSON GLB



POST BASE  
SIMPSON PBS44



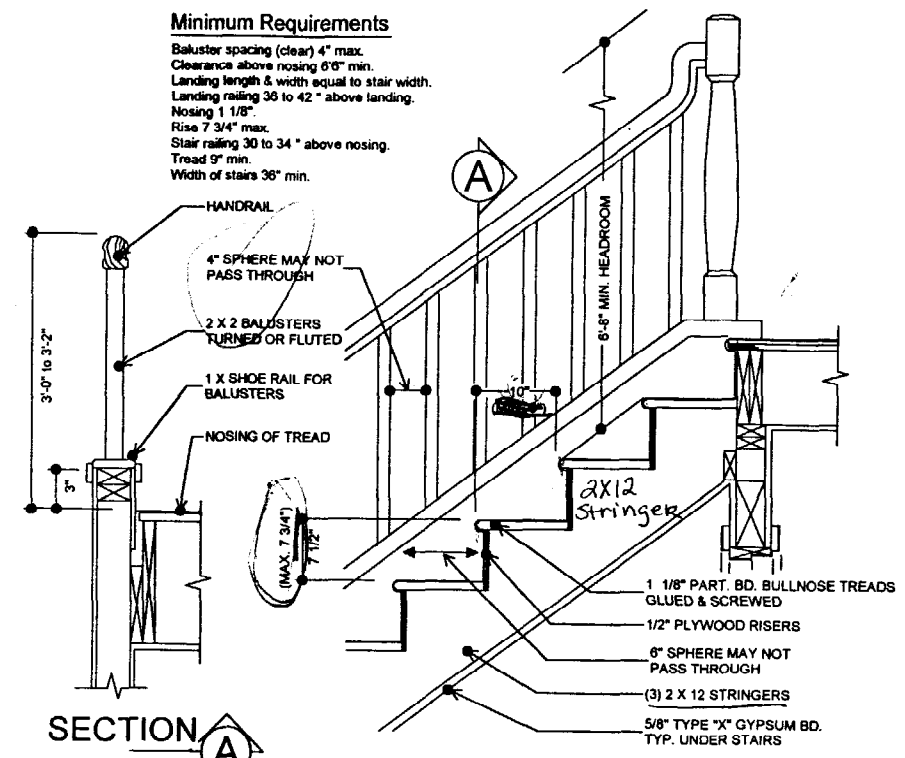
SLAB FOUNDATION DETAIL



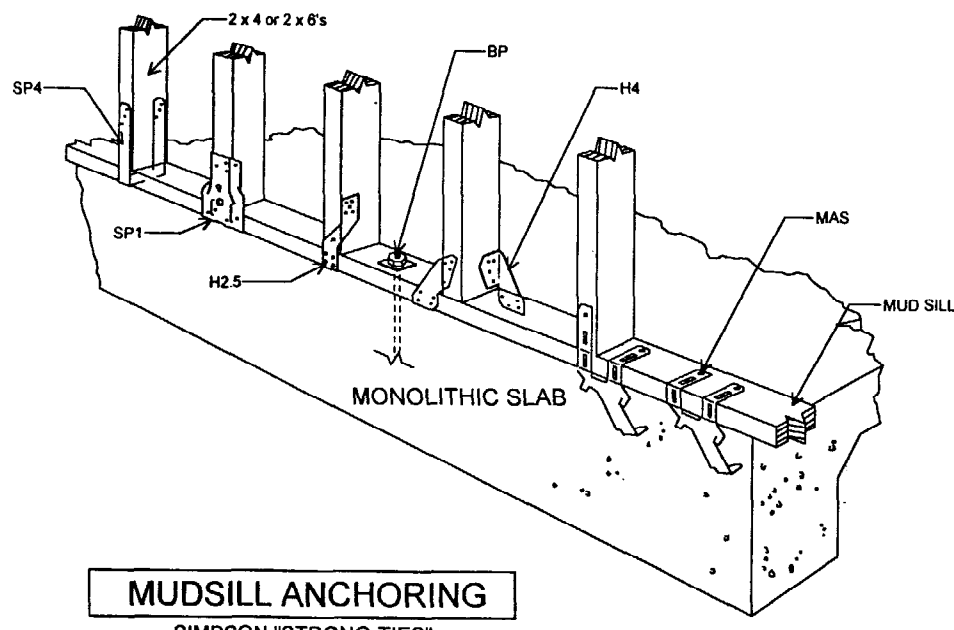
MONOLITHIC SLAB ON GRADE DETAIL

Minimum Requirements

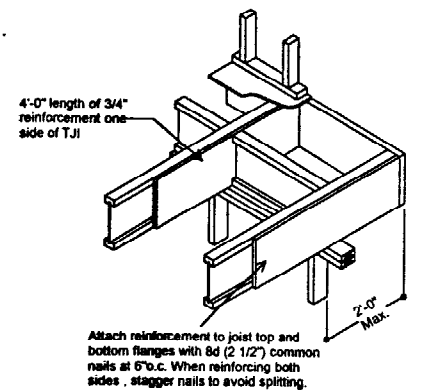
Baluster spacing (clear) 4" max.  
Clearance above nosing 6" min.  
Landing length & width equal to stair width.  
Landing railing 36 to 42" above landing.  
Nosing 1 1/8"  
Rise 7 3/4" max.  
Stair railing 30 to 34" above nosing.  
Tread 9" min.  
Width of stairs 36" min.



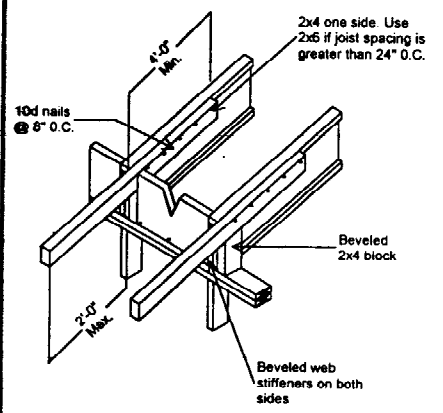
STAIR DETAIL



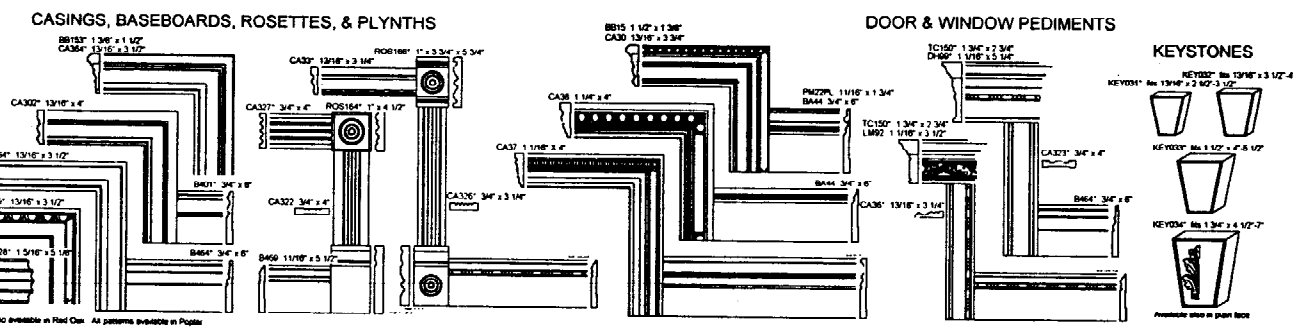
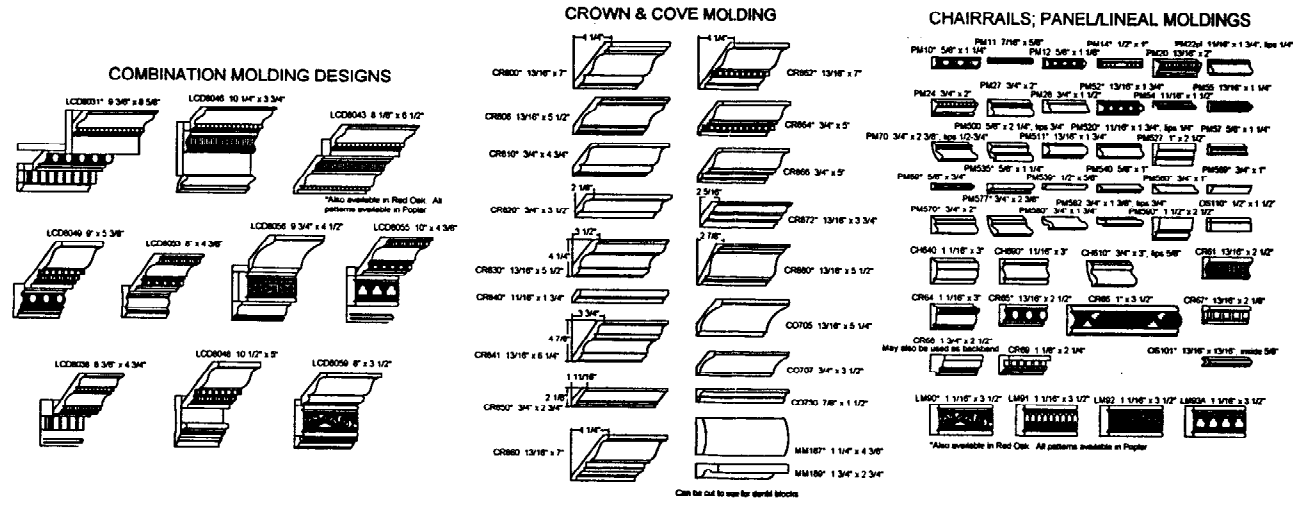
MUDSILL ANCHORING  
SIMPSON "STRONG-TIES"



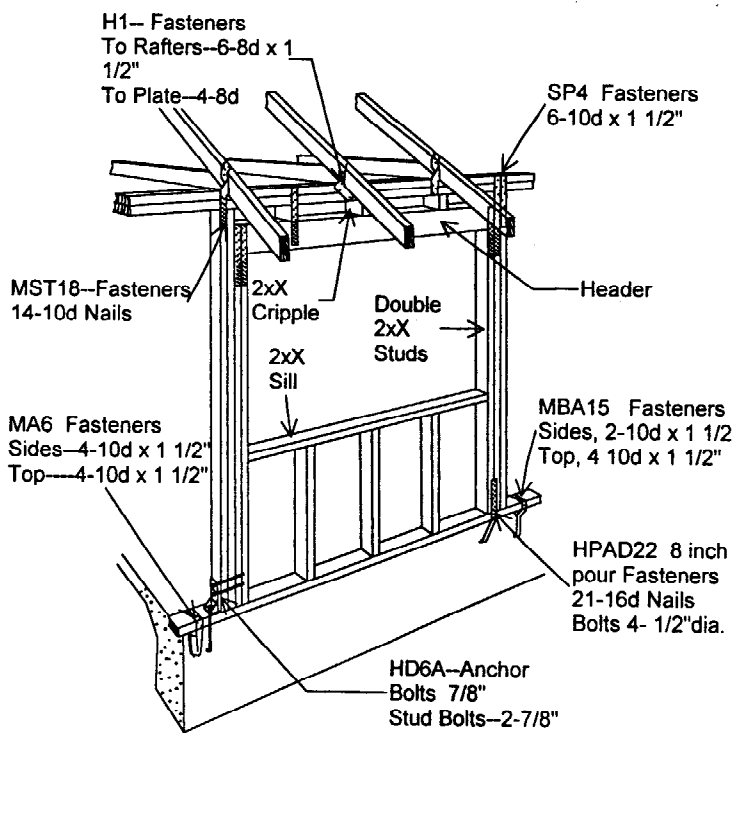
**TJI CANTILEVER DETAILS**



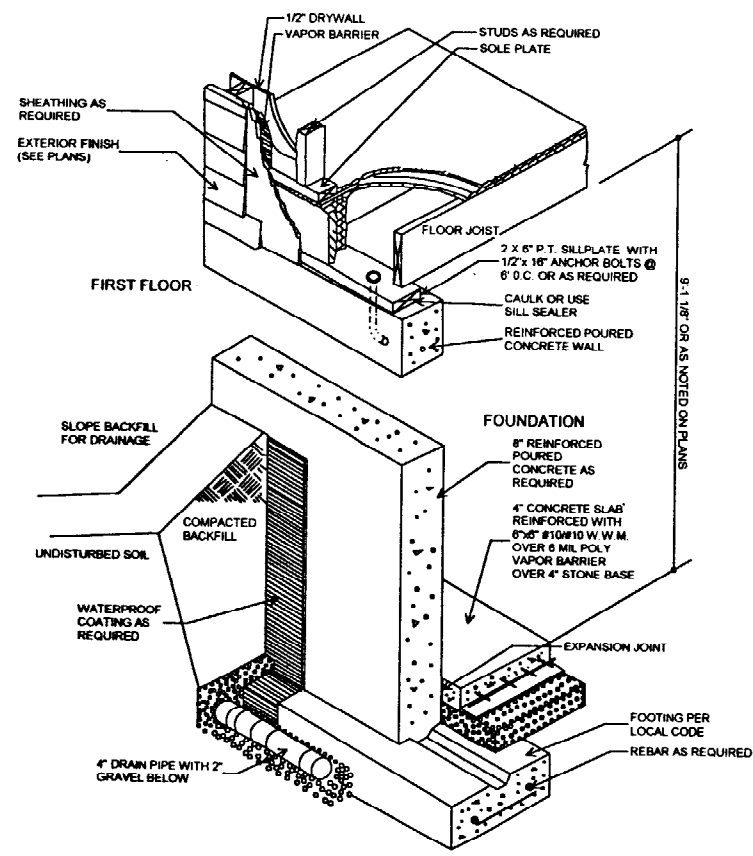
**TJI RAFTER DETAILS**



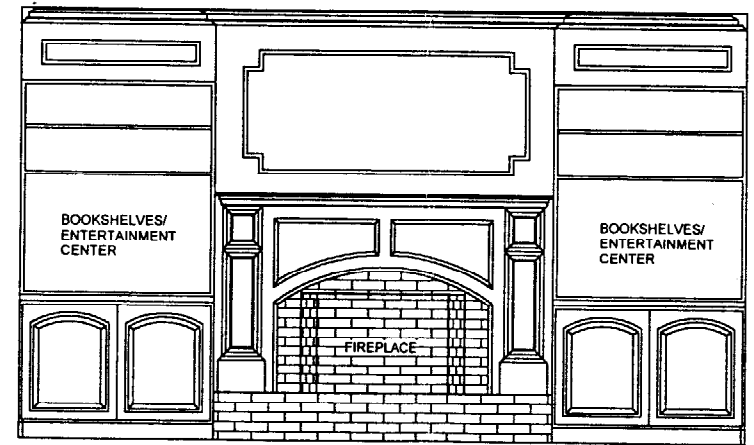
**MOLDINGS**  
WHITE RIVER HARDWOODS



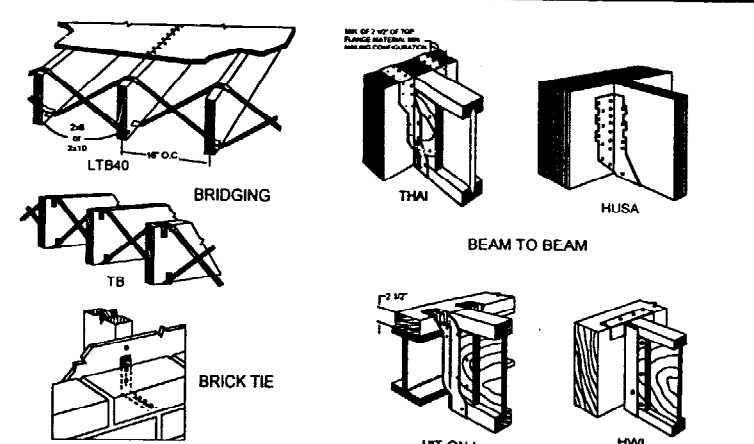
**HEADER & RAFTER TIES**  
SIMPSON "STRONG-TIES"



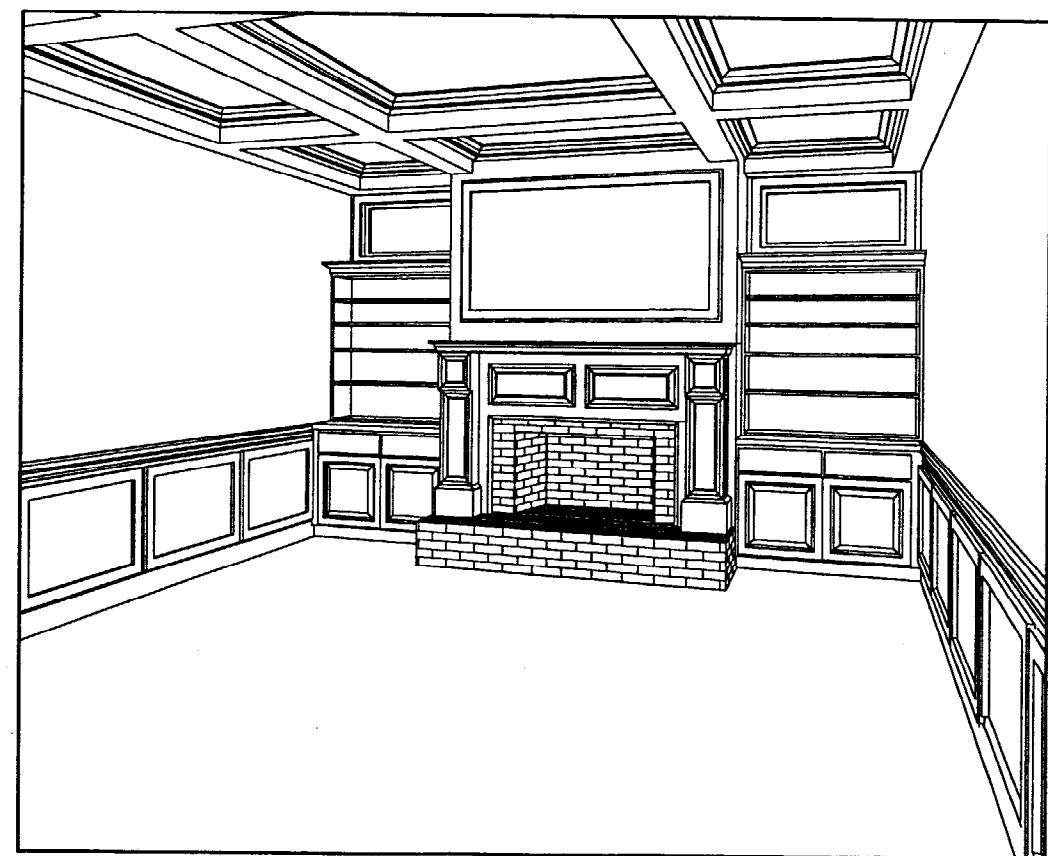
**TYPICAL FRAME WALL SECTION**



**TYPICAL INTERIOR ELEVATION**



**TYPICAL FASTENERS**  
SIMPSON "STRONG-TIES"



**TYPICAL INTERIOR VIEW**