

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

5-14-03

- 1. errant line on adjacent lot
- 2. Grading is too good
- 3. Storm Drain lateral 6" (use it)
- 4. Lower how does it match in to lot uphill

DRC Copy

2003-0092

Application I. D. Number

5/9/2003

Application Date

Lot #12 Haskell St.

Project Name/Description

Bickford Mark H &

Applicant

723 Riverside St # 114, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

12 - 12 Haskell St, Portland, Maine

Address of Proposed Site

335 G008001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify)

2499 s.f.

15,996

R-3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Called 5-16
e-mailed 5-21

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other

Fees Paid: Site Pla \$50.00 Subdivision Engineer Review \$250.00 Date 5/13/2003

DRC Approval Status:

Jay Reynolds

Reviewer

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date Approval Expiration Extension to Additional Sheets Attached

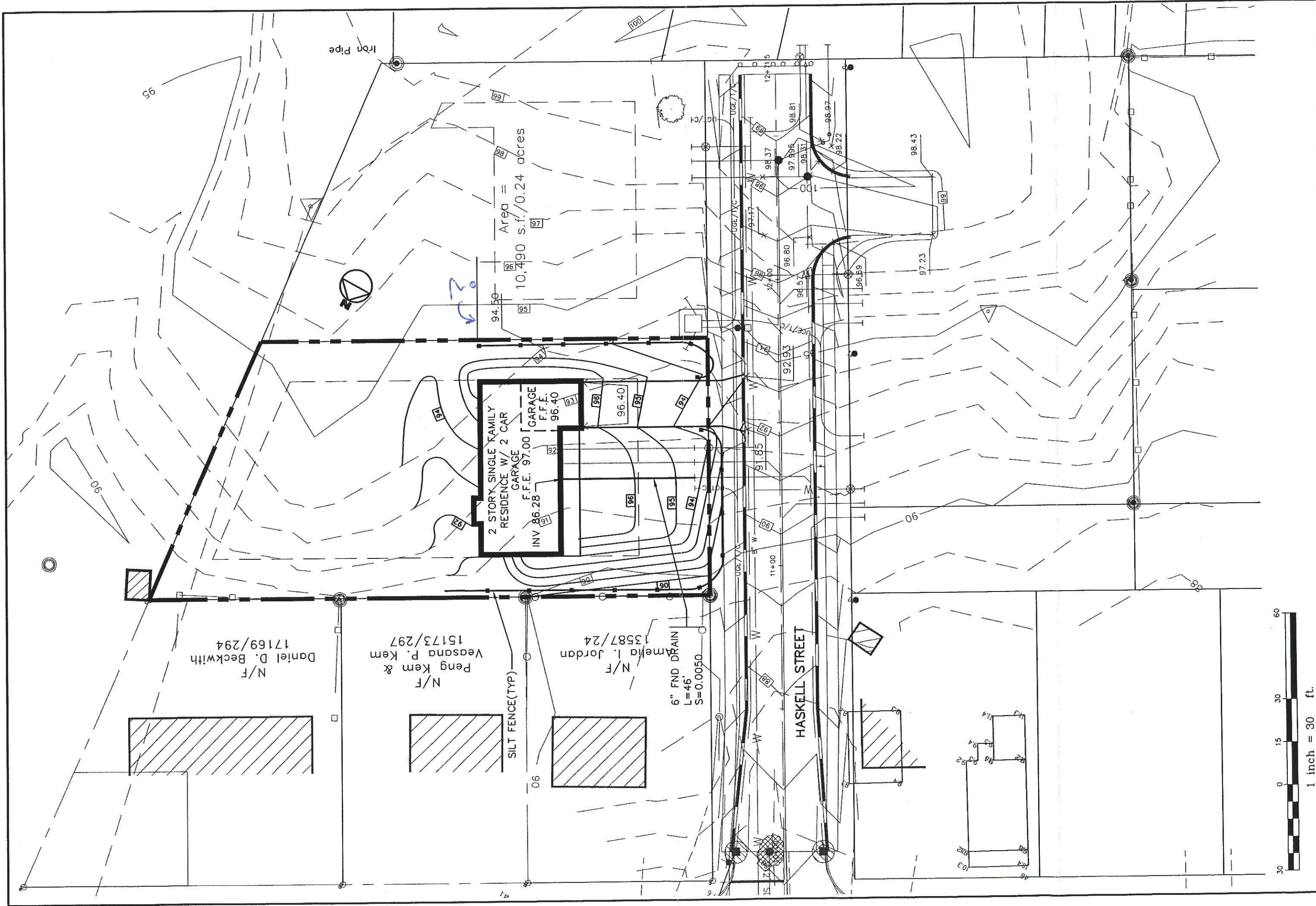
Condition Compliance signature date

Performance Guarantee

- Required*
- Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted date amount expiration date
- Inspection Fee Paid date amount
- Building Permit Issue date
- Performance Guarantee Reduced date remaining balance signature
- Temporary Certificate of Occupancy date Conditions (See Attached) expiration date
- Final Inspection date signature
- Certificate Of Occupancy date
- Performance Guarantee Released date signature
- Defect Guarantee Submitted submitted date amount expiration date
- Defect Guarantee Released date signature



N/F
Daniel D. Beckwith
17169/294

N/F
Peng Kem &
Veasana P. Kem
15173/297

N/F
Amelia L. Jordan
13587/24
6" FND DRAIN
L=46'
S=0.0050

Area =
10,490 s.f./0.24 acres

2 STORY SINGLE FAMILY
RESIDENCE W/ 2 CAR
GARAGE
F.F.E. 97.00
GARAGE
F.F.E. 96.40
INV 86.28

HASKELL STREET



1 inch = 30 ft.

Design: DER	Date: APR 03
Draft: GJL	Job No.: 763
Checked: AMP	Scale: 1"=30'
File Name: 763-SP.dwg	

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Saker Road
Gro. W. 03039
207-657-6810
FAX: 207-657-6812
E-Mail: mail@gorrillpalmer.com

Drawing Name: Lot Grading & Drainage Plan

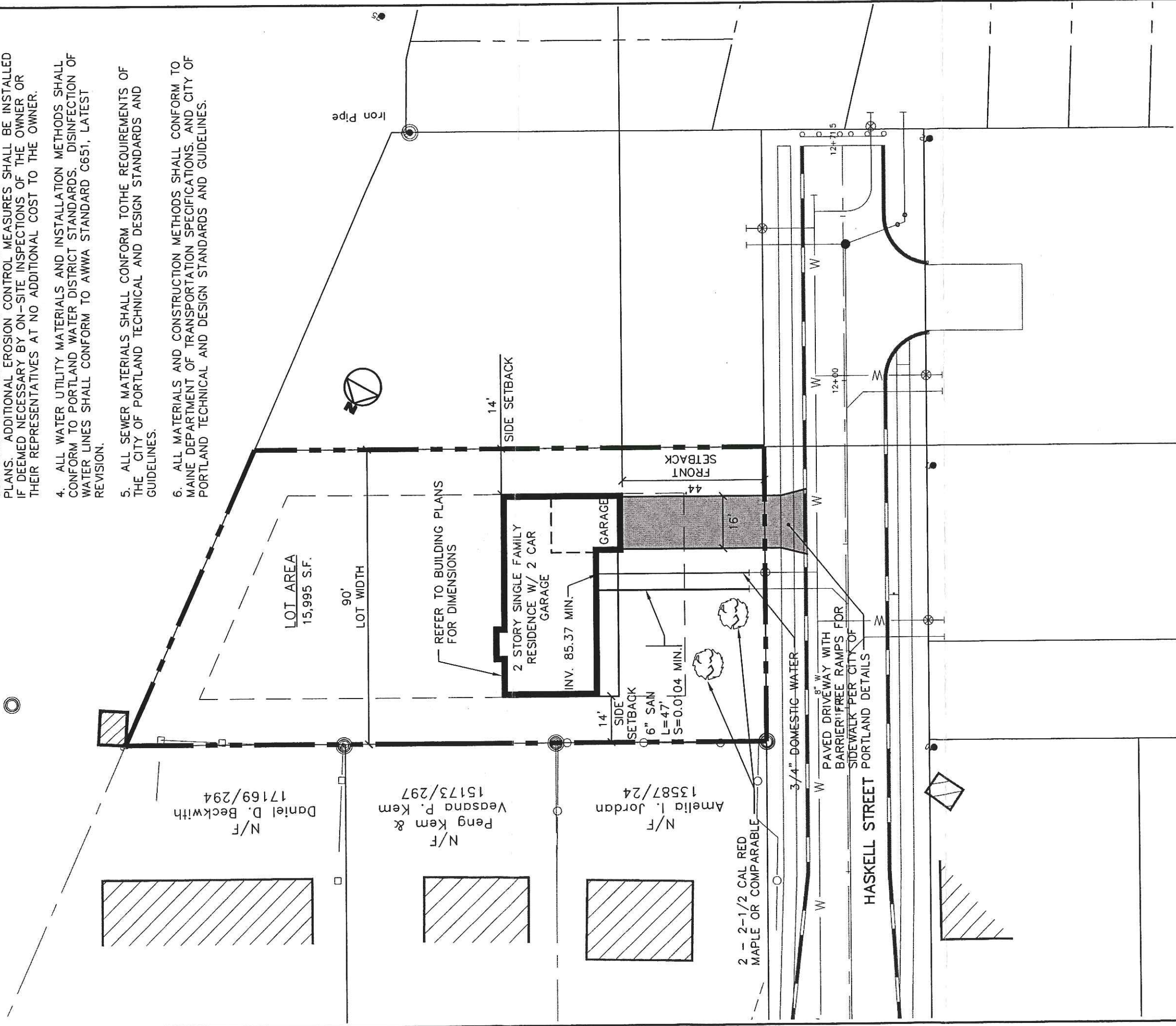
Project: HASKELL STREET

Figure No.

3

GENERAL NOTES

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



Design:	DER	Date:	APR 03
Draft:	GUL	Job No.:	763
Checked:	AMP	Scale:	1"=30'
File Name: 763-SP.dwg			

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
 PO Box 1237
 15 Siker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: melbo@gorrillpalmer.com

Drawing Name: **Lot Layout & Utilities Plan**
 Project: **HASKELL STREET**

SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE: 6,500 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 14 FT.


2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 75 FT.
OTHER USES:

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: MAY 2001
Draft: LAN	Job No.: 369
Checked: AMP	Scale: NTS
File Name: 369-SP.DWG	

 Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name:
Space & Bulk Requirements
Project:
HASKELL STREET, PORTLAND

Figure No.

1

From: Jay Reynolds
To: Doug Reynolds
Date: Wed, May 21, 2003 3:24 PM
Subject: 12 Haskell

Review Comments:

1. There is an errant line on the Adjacent lot. ??
2. Grading and Drainage:

The neighbor on Harris Ave. is concerned about drainage, as am I. The site plan shows a steep drop off in grade, matching in at the property line, pitching towards this property. It appears that the rear of the lot is graded to pitch drainage toward this property also. Like the other side of the street, Mr. Wolf installed a 6" SD lateral to the Property line for drainage purposes. I would like to see this pipe be used, by tying on to it and using it to collect drainage along that side boundary line. (very important).

Call/e-mail if you have any questions or comments. Thanks.

Jay

Jay Reynolds
Development Review Coordinator
City of Portland
Planning and Development
(207) 874-8632

SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT.

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.

MINIMUM LOT WIDTH: 80 FT.
OTHER USES:

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A (1) ONE STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Create New Inlet
w/ 4" or 6" PVC in R.O.W

Design: DER	Date: JAN 2003
Draft: SGB	Job No.: 763
Checked: AMP	Scale: NTS
File Name: 763-SP.dwg	

GP Traffic and Civil Engineering Services
PO Box 1237, 15 Shoker Road
Gray, ME 04039
207-657-6910

Drawing Name: Space & Bulk Requirements
Project: HASKELL STREET

Figure No.

1

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1 inch = 30 ft.

Design:	DER	Date:	APR 03
Draft:	GJL	Job No.:	763
Checked:	AMP	Scale:	1"=30'
File Name: 763-SP.dwg			



Corrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1337
 5 State St
 Gresham, OR 97030
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mhubert@corrillpalmer.com

Drawing Name:

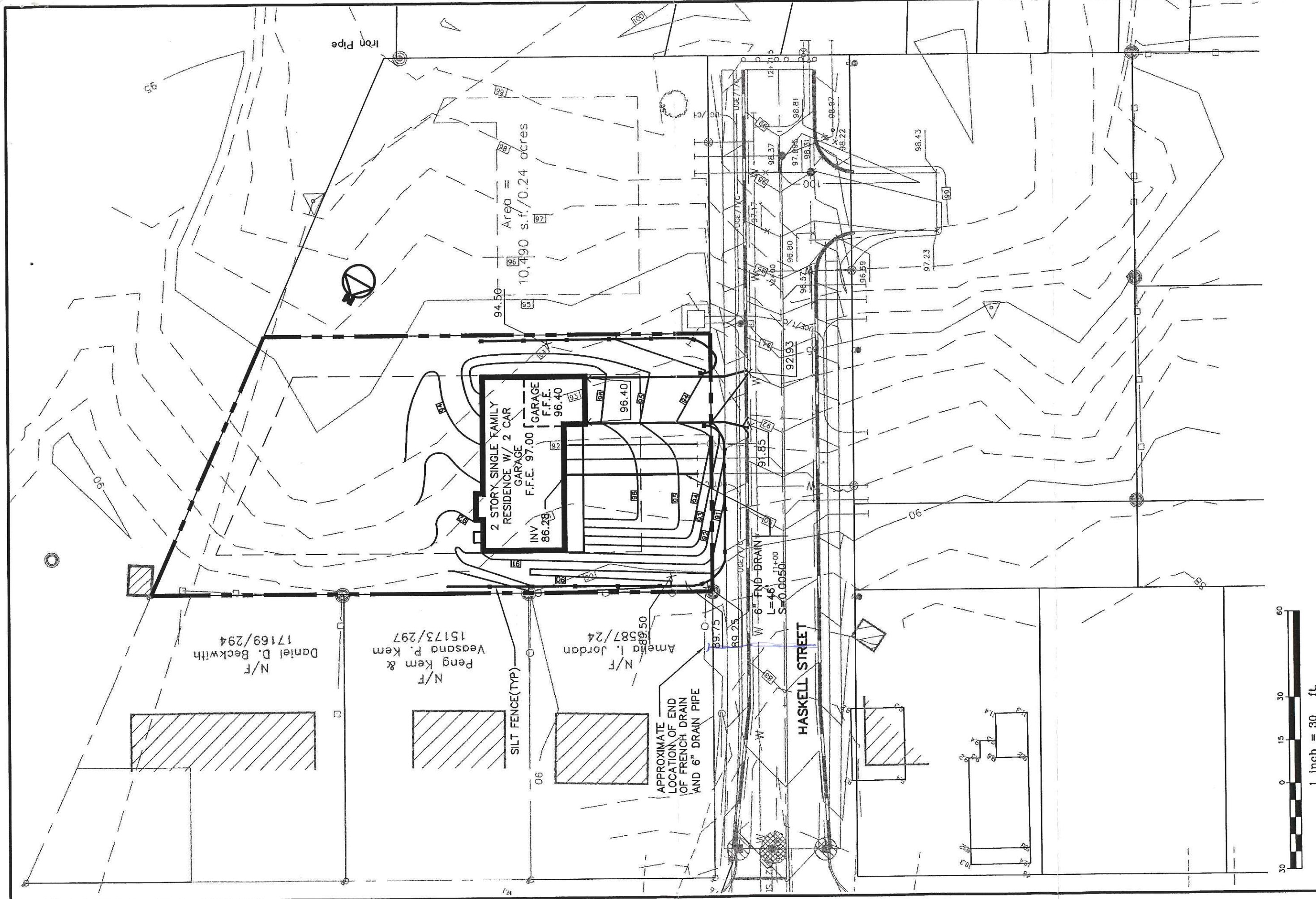
Lot Layout & Utilities Plan

Project:

HASKELL STREET

Figure No.

2



N/F
 Daniel D. Beckwith
 17169/294

N/F
 Peng Kem &
 Yeasand P. Kem
 15173/297

N/F
 Armeta
 587/24
 89.50

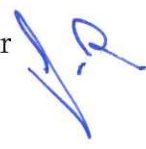
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Draft:	CJL	Job No.:	763
Checked:	AMP	Scale:	1"=30'
File Name:	763-SP.dwg		

GP
 Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1217
 Cary, NC 27513
 207-457-6910
 E-Mail: mhaber@palmer.com

Drawing Name: **Lot Grading & Drainage Plan**
 Project: **HASKELL STREET**

Figure No. **3**

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: June 1, 2004
RE: C. of O. for #12 Haskell Street
(CBL 335G008) (ID 2003-0092)



After visiting the site, I have the following comments:


Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\haskell12b.doc

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator 
DATE: December 16, 2003
RE: C. of O. for #12 Haskell Street
(CBL 335G008) (ID 2003-0092)

After visiting the site, I have the following comments:

Site work incomplete:

1. Loam and Seed.
2. Landscaping.
3. Unable to verify completion of storm drainage improvements.

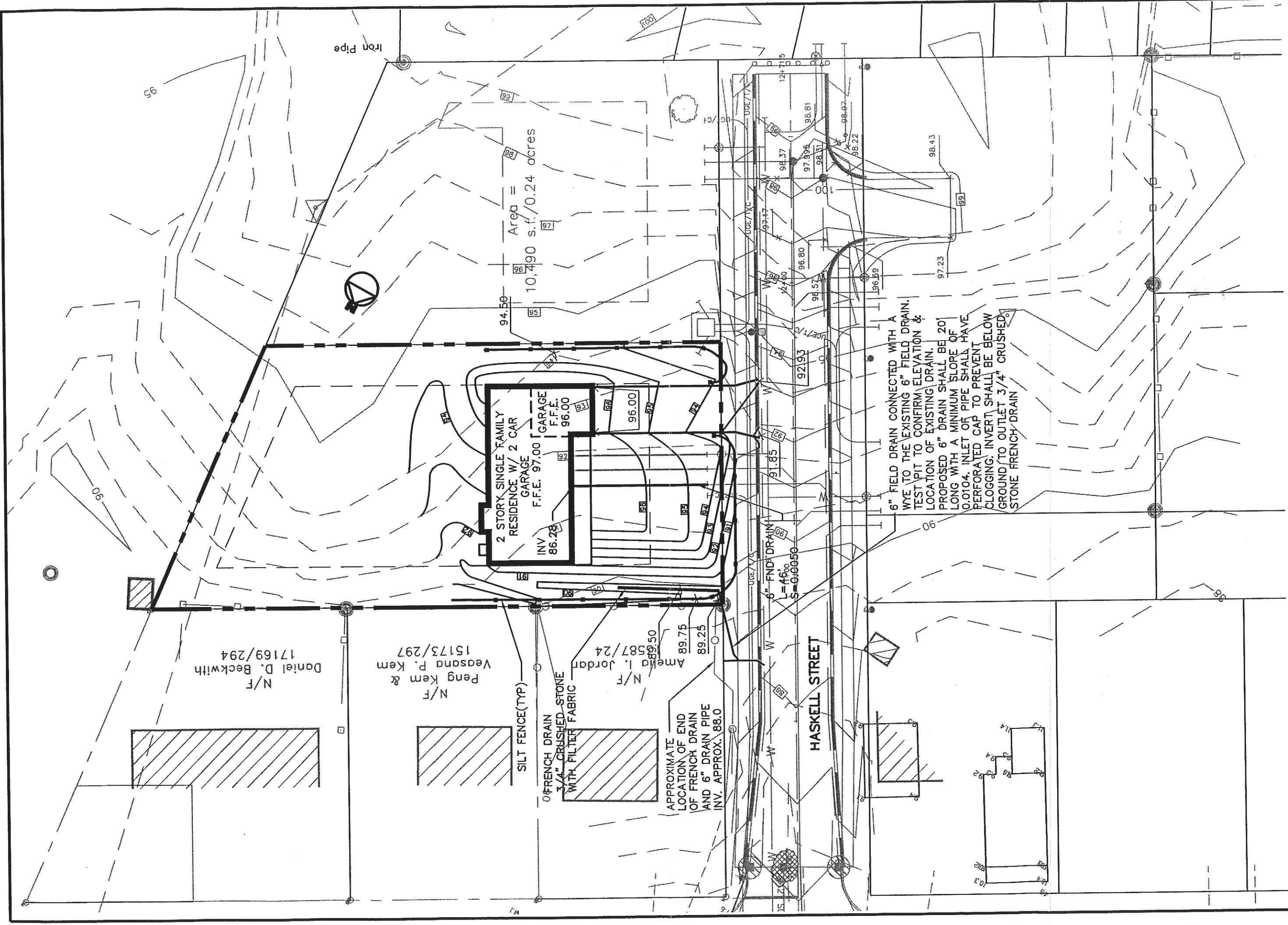
I anticipate this work can be completed by **June 1, 2004**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\haskell12a.doc



N/F
Daniel D. Beckwith
17169/294

N/F
Peng Kem &
Yeasana P. Kem
15173/297

N/F
Ameld I. Jordan
15187/24

2 STORY SINGLE FAMILY
RESIDENCE W/ 2 CAR
GARAGE
F.F.E. 97.00

GARAGE
F.F.E. 96.00

INV. 86.28

Area =
10,490 s.f./0.24 acres

SILT FENCE(TYP)

6" FRENCH DRAIN
3/4" CRUSHED STONE
WITH FILTER FABRIC

APPROXIMATE
LOCATION OF END
OF FRENCH DRAIN
AND 6" DRAIN PIPE
INV. APPROX. 88.0

6" FND DRAIN
L=46'
S=0.0050

HASKELL STREET

6" FIELD DRAIN CONNECTED WITH A
WYE TO THE EXISTING 6" FIELD DRAIN.
TEST PIT TO CONFIRM ELEVATION &
LOCATION OF EXISTING DRAIN.
PROPOSED 6" DRAIN SHALL BE 20'
LONG WITH A MINIMUM SLOPE OF
0.0104. INLET OF PIPE SHALL HAVE
PERFORATED CAP TO PREVENT
CLOGGING. INVERT SHALL BE BELOW
GROUND/T/O OUTLET 3/4" CRUSHED
STONE FRENCH DRAIN



Design:	DER	Date:	APR 03
Draft:	CJL	Job No.:	763
Checked:	AMP	Scale:	1"=30'
File Name:	763-SP.dwg		

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1217
15 Sinar Road
Greenville, NC 27603
207-657-6910
207-657-6512
E-Mail: mabob@gorrillpalmer.com

Drawing Name: **Lot Grading & Drainage Plan**
Project: **HASKELL STREET**

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0092
Application I. D. Number

05/09/2003
Application Date

Lot #12 Haskell St.
Project Name/Description

Bickford Mark H &
Applicant

723 Riverside St # 114, Portland , ME 04103
Applicant's Mailing Address

12 - 12 Haskell St , Portland, Maine
Address of Proposed Site

335 G008001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2499 s.f. 15,995 R-3
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review

Flood Hazard Shoreland Historic Preservation DEP Local Certification

Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 05/13/2003

DRC Approval Status:

Reviewer Jay Reynolds

Approved Approved w/Conditions See Attached Denied

Approval Date 07/02/2003 Approval Expiration 07/02/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 07/02/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0092

Application I. D. Number

05/09/2003

Application Date

Lot #12 Haskell St.

Project Name/Description

Bickford Mark H &

Applicant

723 Riverside St # 114, Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

12 - 12 Haskell St , Portland, Maine

Address of Proposed Site

335 G008001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #12 HASKELL STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-20-03

GENERAL NOTES
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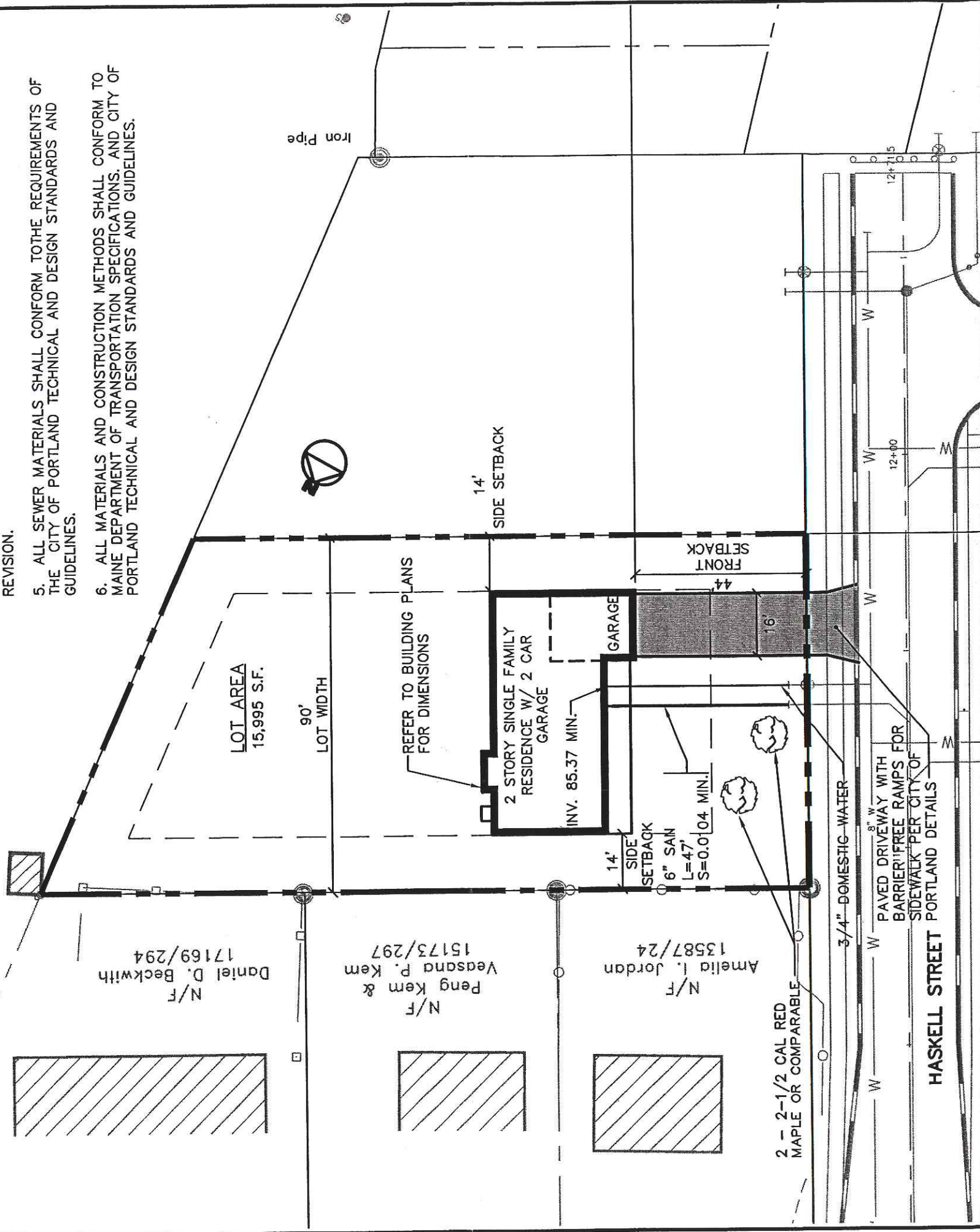
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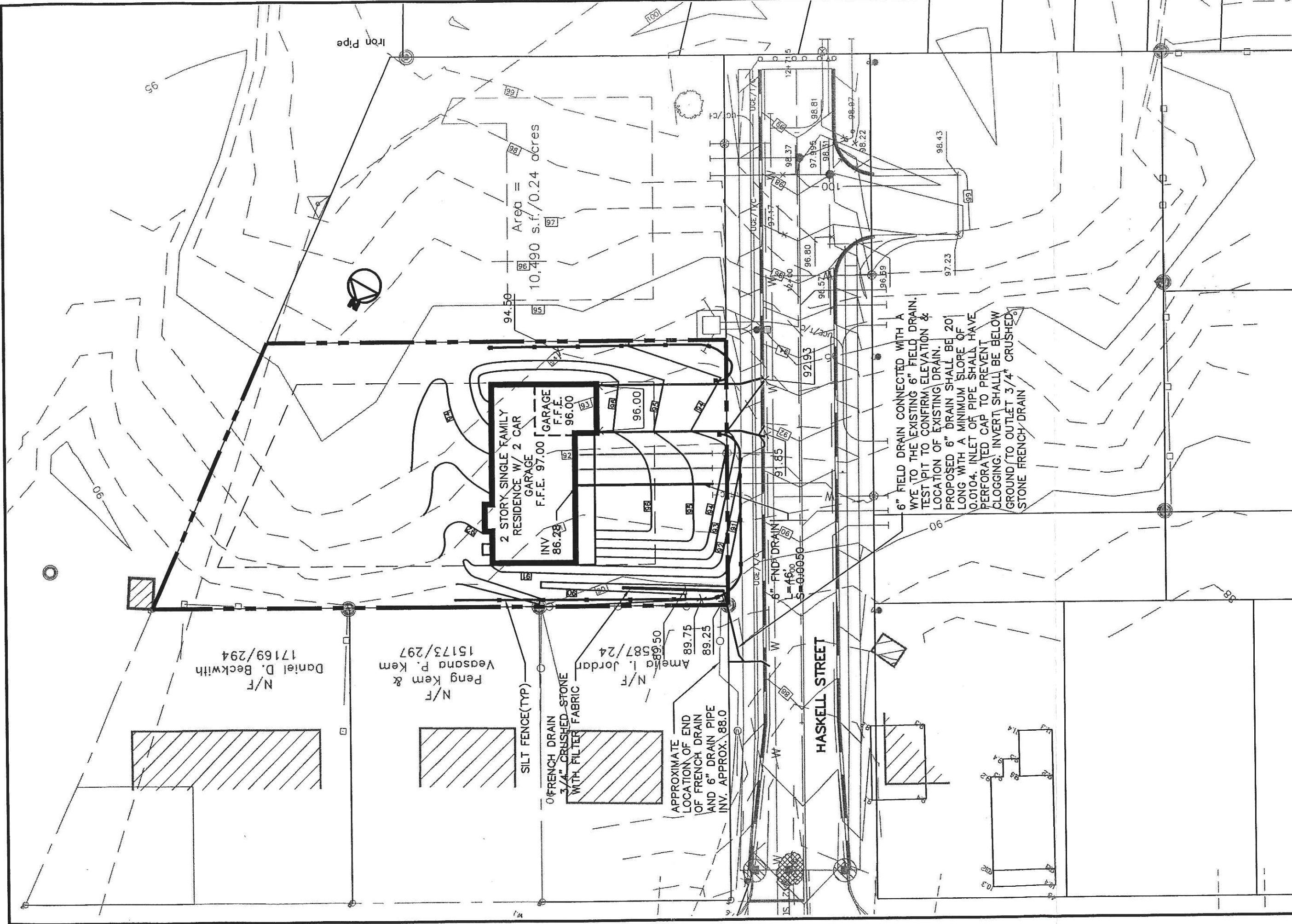
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Area = 10,490 s.f./0.24 acres

2 STORY SINGLE FAMILY RESIDENCE W/ 2 CAR GARAGE
F.F.E. 97.00 GARAGE F.F.E. 96.00

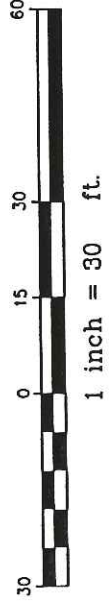
0 FRENCH DRAIN 3/4" CRUSHED STONE WITH FILTER FABRIC

APPROXIMATE LOCATION OF END OF FRENCH DRAIN AND 6" DRAIN PIPE INV. APPROX. 88.0

6" FND DRAIN L=46.0 S=0.00050

HASKELL STREET

6" FIELD DRAIN CONNECTED WITH A WYE TO THE EXISTING 6" FIELD DRAIN. TEST PIT TO CONFIRM ELEVATION & LOCATION OF EXISTING DRAIN. PROPOSED 6" DRAIN SHALL BE 20' LONG WITH A MINIMUM SLOPE OF 0.0104. INLET OF PIPE SHALL HAVE PERFORATED CAP TO PREVENT CLOGGING. INVERT SHALL BE BELOW GROUND TO OUTLET 3/4" CRUSHED STONE FRENCH DRAIN



Design:	DER	Date:	APR 03
Draft:	GJL	Job No.:	763
Checked:	AMP	Scale:	1"=30'
File Name:	763-SP.dwg		

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Traffic and Civil Engineering Services
PO Box 1237
15 Saker Road
Greenville, NE 68303
207-657-8910
FAX: 207-657-8912
E-Mail: mhaber@gorrillpalmer.com

Drawing Name: **Lot Grading & Drainage Plan**
Project: **HASKELL STREET**

Figure No. **3**

SPACE AND BULK REQUIREMENTS – R-2 ZONE

MINIMUM LOT SIZE: 10,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS:

FRONT YARD 25 FT.

REAR YARD 25 FT

SIDE YARD*

1 STORY 12 FT.

1 1/2 STORY 12 FT.

2 STORY 14 FT.

2 1/2 STORY 16 FT.


MINIMUM LOT WIDTH:

OTHER USES: 80 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET IN WIDTH.

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Design:	DER	Date:	JAN 2003
Draft:	SGB	Job No.:	763
Checked:	AMP	Scale:	NTS
File Name:	763-SP.dwg		

 <i>Traffic and Civil Engineering Services</i>

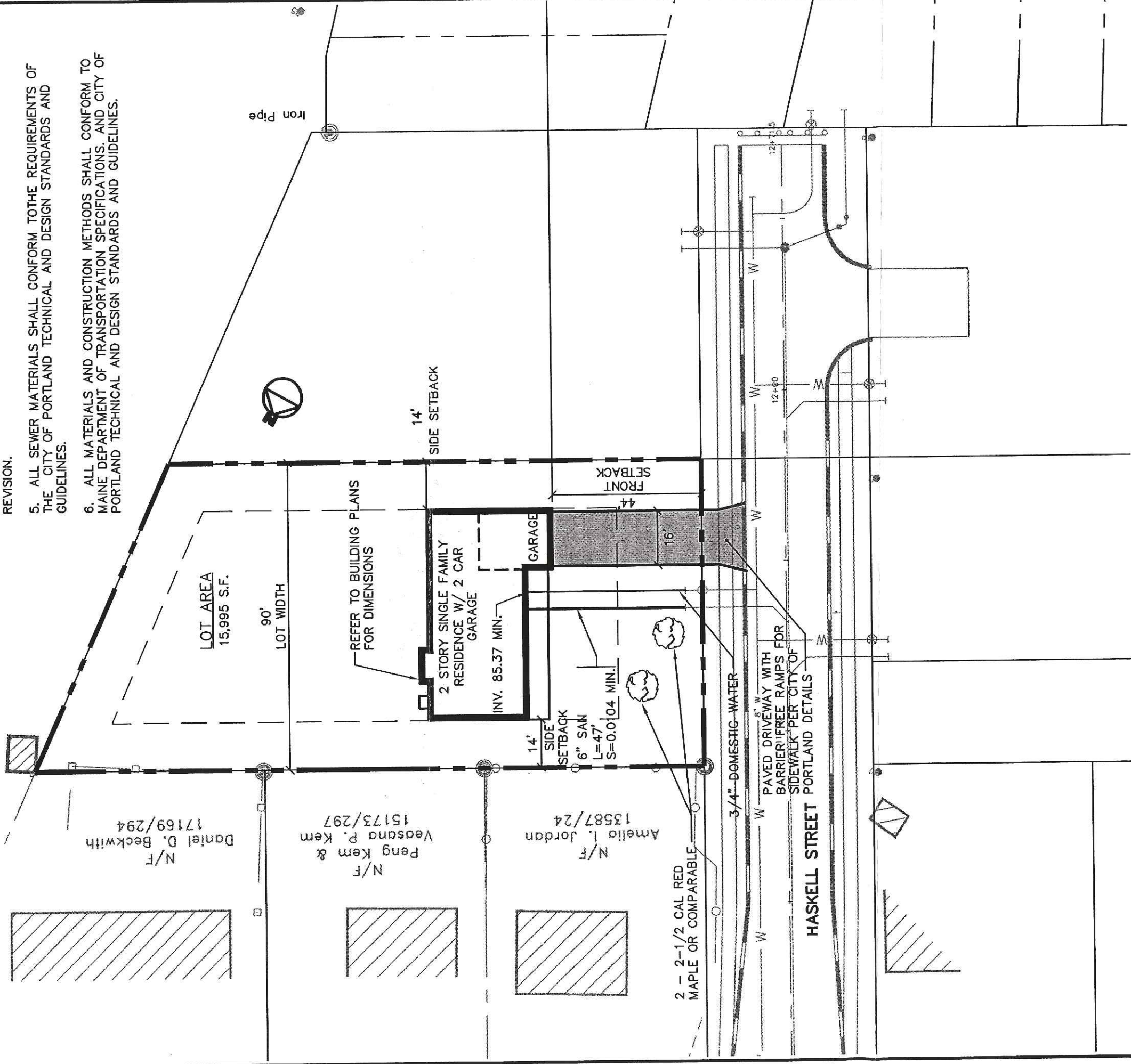
Drawing Name:	Space & Bulk Requirements
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Figure No.

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4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.



Design:	DER	Date:	APR 03
Draft:	GJL	Job No.:	763
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File Name:	763-SP.dwg		

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Drawing Name: **Lot Layout & Utilities Plan**
 Project: **HASKELL STREET**

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 7-20-03

GENERAL NOTES
1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2001.

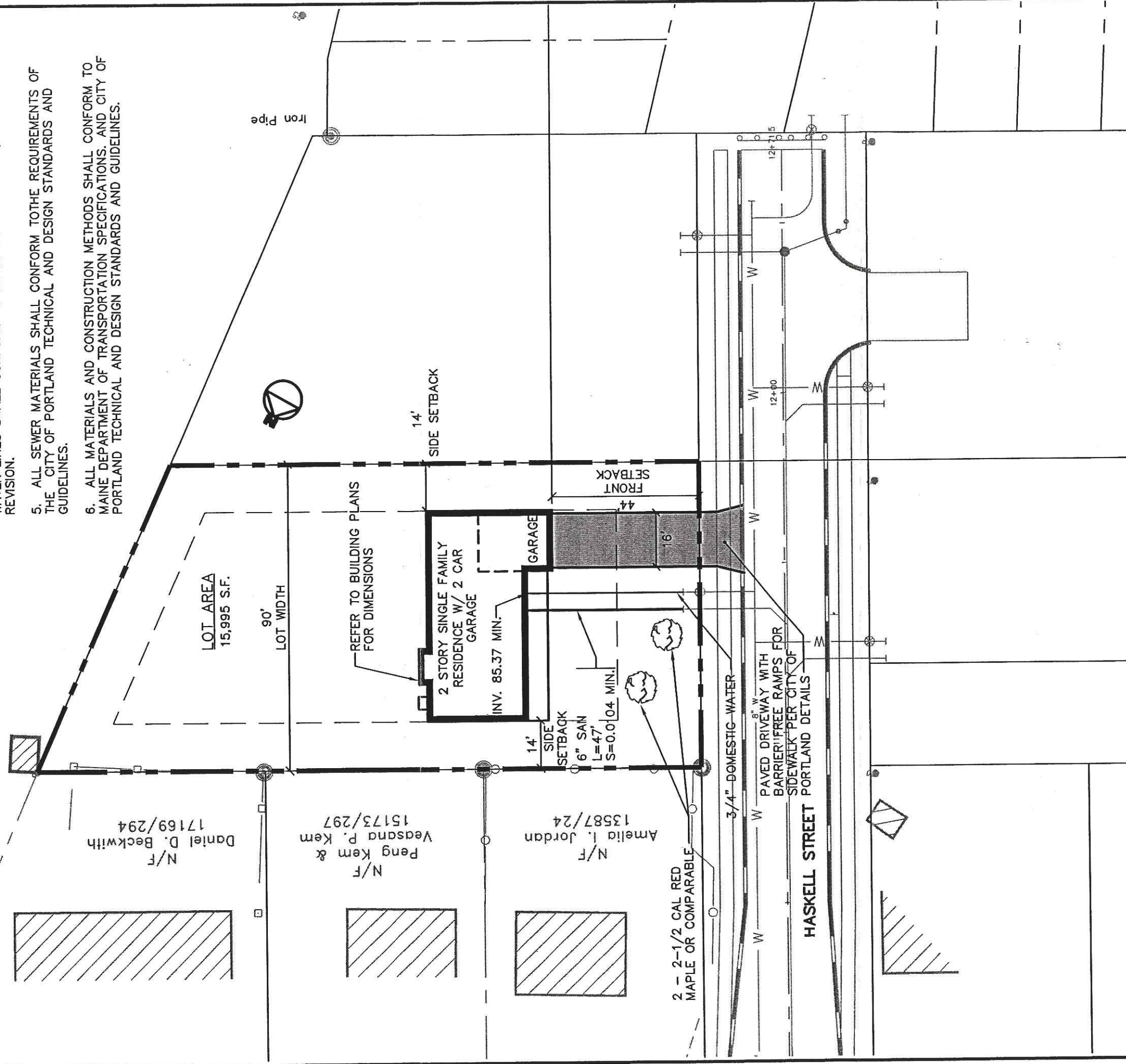
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.

4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.

5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.

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Figure No. **2**