

PERMIT ISSUED

NOV 30 2010

City of Portland

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 101347

This is to certify that BICKFORD MARK H & DENISE M MAHONEY/CEG Co
has permission to Remove garage Roof Re-orient to eliminate snow build-up
AT 12 HASKELL ST CE 335 G008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all
of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating
the construction, maintenance and use of buildings and structures, and of the application on file in
this department.

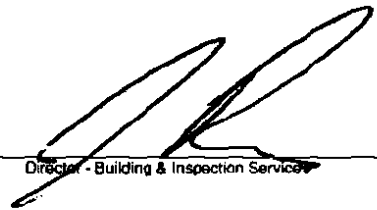
Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and written permission procured
before this building or part thereof is
lath or other work is used-in. 2
HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name



Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1347	Issue Date:	CBL: 335 G008001
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Location of Construction: 12 HASKELL ST	Owner Name: BICKFORD MARK H & DENISE	Owner Address: 12 HASKELL ST	Phone:
Business Name:	Contractor Name: C E G Contracting, Inc.	Contractor Address: 38 Sheba Lane Buxton	Phone: 2077276929
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Remove garage Roof Re-orientate to eliminate snow build-up <i>Adding and Addition on Rear</i>	Permit Fee: \$240.00	Cost of Work: \$22,000.00	CEO District: 5	15,958#
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R3 Type: SB <i>IRC, 2003</i>		

Proposed Project Description: Remove garage Roof Re-orientate to eliminate snow build-up	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: Idobson	Date Applied For: 10/26/2010	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p> <p style="font-size: 2em; font-weight: bold;">PERMIT ISSUED</p> <p>NOV 30</p> <p>City of Portland</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>sk with conditions</i> Date: <i>11/4/10</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: <i>11/4/10</i></p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1347	Date Applied For: 10/26/2010	CBL: 335 G008001
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Location of Construction: 12 HASKELL ST	Owner Name: BICKFORD MARK H & DENISE	Owner Address: 12 HASKELL ST	Phone:
Business Name:	Contractor Name: C E G Contracting, Inc.	Contractor Address: 38 Sheba Lane Buxton	Phone (207) 727-6929
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Remove garage Roof Re-orientate to eliminate snow build-up	Proposed Project Description: Remove garage Roof Re-orientate to eliminate snow build-up
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 11/04/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) It is understood that the area above the garage is only for storage at this time and will not be used for a living space. Future permits shall be required for any change from storage to a living space above the garage PRIOR to that work being done. 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 5) This permit is being approved on the basis of revised plans submitted on 11/4/10. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jonathan Rioux	Approval Date: 11/30/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) The door opening between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors. 2) The garage shall be separated from the residence by not less than 1/2 inch gypsum board applied to the garage side, and structure (walls) supporting the separation. 3) Fastener schedule per the IRC 2003 4) There must be a 2" clearance between the existing chimney and any combustible material, with draft stopping and clearances maintained per NFPA 211. 5) Frost protection must be maintained per the enclosed detail as discussed w/owner/contractor. 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 7) The proposed addition of the second floor room is for storage only, and was not approved or reviewed as habitable space. 8) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 			

PERMIT ISSUED

NOV 30 2010

Comments:
10/27/2010-mes: There is an area above the garage for which floor plans were not submitted. What is the City of Portland that area? Also the roof overhangs 8' toward the rear. Nothing is shown on the plot plan showing that 8' expansion. I left a message with someone at the

Location of Construction: 12 HASKELL ST	Owner Name: BICKFORD MARK H & DENISE	Owner Address: 12 HASKELL ST	Phone:
Business Name:	Contractor Name: C E G Contracting, Inc.	Contractor Address: 38 Sheba Lane Buxton	Phone (207) 727-6929
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

owner's house asking the owner to call me (she signed and paid for the permit). Permit is on hold until I can get info. I will also call the contractor.

11/1/2010-mes: Matt Egan of the construction Co. left a voice mail and I returned it and left a message of how I wanted floor plans of what the use was above the garage and a revised site plan showing the 8' outward expansion.

11/4/2010-mes: Met with Matt Egan who explained that there would only be storage above the garage even tho an egress window was being added along with a door from the main house - he also revised the plot plan showing the new "addition" over the rear ramp

11/22/2010-jrioux: Hold: need architectural plans.

11/30/2010-jrioux: Received revised plans.

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NOV 30 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

NOV 30 2010

City of Portland



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

10-26 2010

Received from Denise Maloney

Location of Work 12 Haskell St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 240

Building (I1) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 335-6-8

Check #: 1304

Total Collected \$ 240

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Haskell St, Portland, ME</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>15,958</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>335</u> Block# <u>G</u> Lot# <u>008-001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Denise Maheux</u> Address <u>12 Haskell St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-797-6111</u>
Lessee/DBA (If Applicable) <u>Remove garage Remove Re-orientate to allow eliminate snow Build-up</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>22,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>240</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>single family home for almost 7 years by Denise Maheux, Marc Bickford</u> Proposed Specific use: <u>to eliminate snow/water from entering house and add small gutters to eave</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>There have been ice dams accumulating due to poor design and water drains toward house at an intersection. We are outside removing snow at all hours of the night during storms in the winter. We want to change the roof design to eliminate problems</u>		
Contractor's name: <u>CEG Contracting</u>		
Address: <u>84 Shepardsriver Rd</u>		
City, State & Zip <u>Brownfield, ME 04010</u>		Telephone: _____
Who should we contact when the permit is ready: <u>CEG Contracting</u>		Telephone: <u>Home 935-4130</u>
Mailing address: <u>84 Shepardsriver Rd, Brownfield, ME 04010</u>		cell <u>553-0477</u>

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

Matt Egan

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
OCT 26 2010
Dept. of Building & Construction
City of Portland, ME

Signature: Denise Maheux Date: 10-26-10

This is not a permit; you may not commence ANY work until the permit is issued

Carol Gillis

From: Carol Gillis
Sent: Monday, November 29, 2010 7:55 PM
To: 'jtroux@portlandmaine.gov'
Cc: Denise Maheux (dmaheux@maine.rr.com)
Subject: Maheux Garage Renovation
Attachments: Maheux revised building section 11_29_10.pdf; Maheux Second Floor Plan 11_29_10 pdf

Jonathan,

Matt Eagan contacted me this afternoon to request some additional drawing information for the construction permit application for the Maheux Garage Renovations project. Attached are a revised wall section, issued previously, to which I have added future ceiling dimensions.

Also attached is a second floor plan based on field measurements. I did not field locate the existing windows or closet/bathroom doors. Please let me know if you need any additional information.

Best regards,

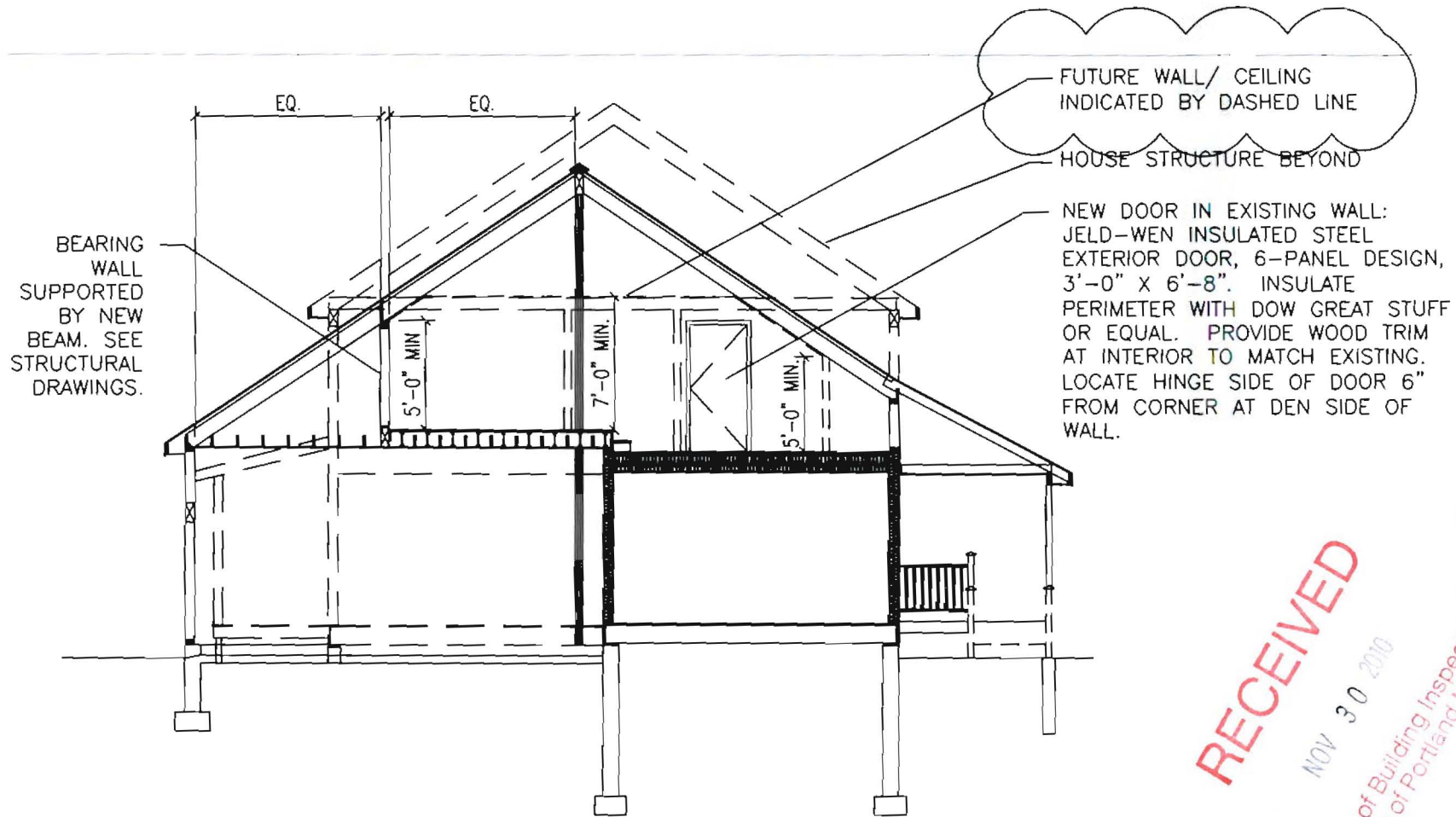
Carol F. Gillis, AIA, LEED AP
Maine Licensed Architect
Design Group Collaborative
22 Free Street, Suite 303
Portland, Maine 04101

Phone: (207) 699-3300
Fax: (207) 699-3310
Cell: (207) 266-8386
www.dgcarchitects.com

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NOV 30 2010

ing Inspections
Maine



REVISED BUILDING SECTION 4/A2.1
 MODIFIED TO SHOW NEW BEARING WALL

RECEIVED
 NOV 30 2010
 Dept. of Building Inspection
 City of Portland, ME



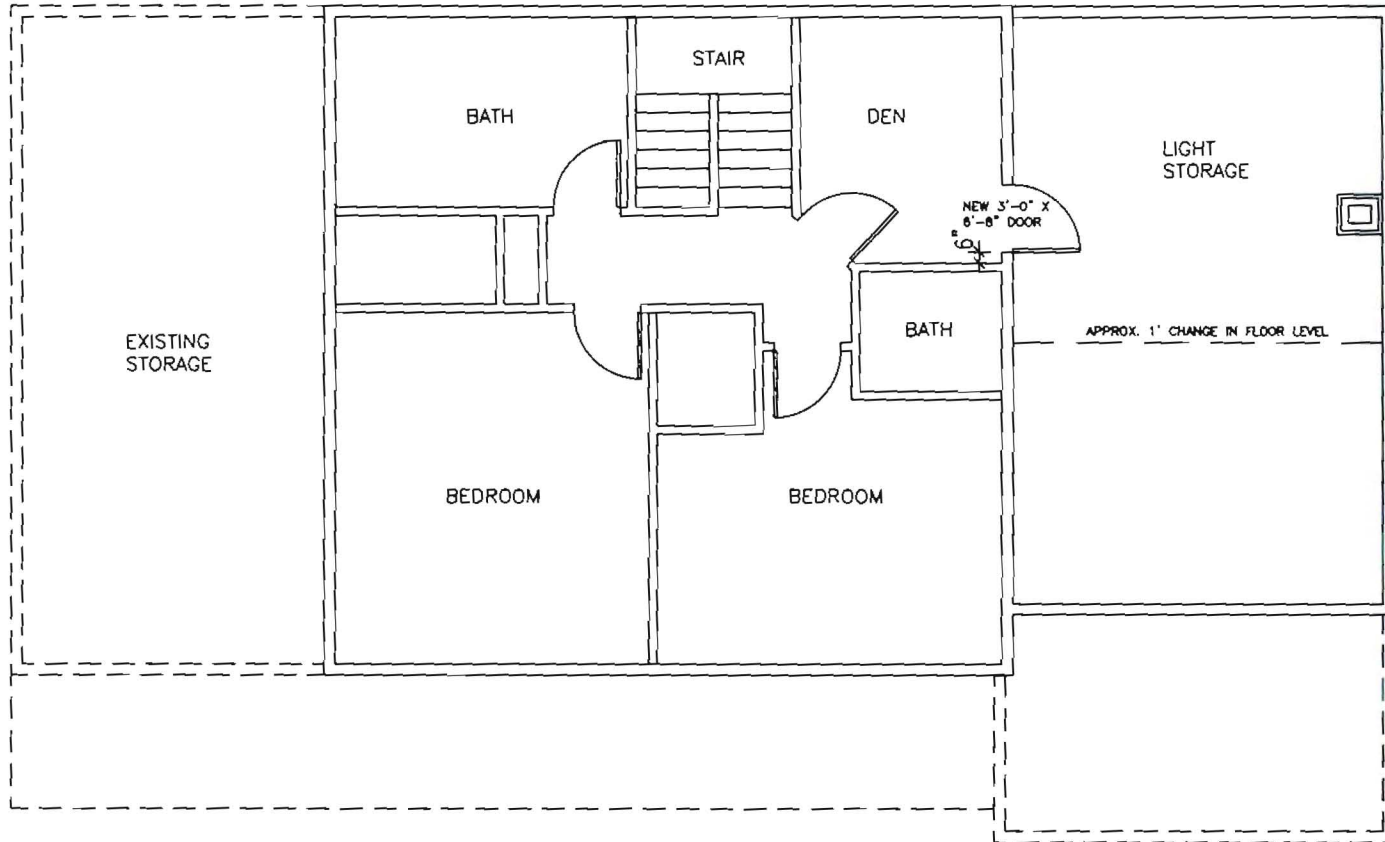
DESIGN GROUP
 COLLABORATIVE

ARCHITECTURE
 DESIGN + PLANNING

22 FREE STREET
 PORTLAND, MAINE 04101
 (207) 699-3300

REVISED BUILDING SECTION 4/A2.1

Maheaux Residence Garage Renovation
 N.T.S. 11/29/10



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Dept. of Building Inspection
City of Portland



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(207) 699-3300

SECOND FLOOR PLAN

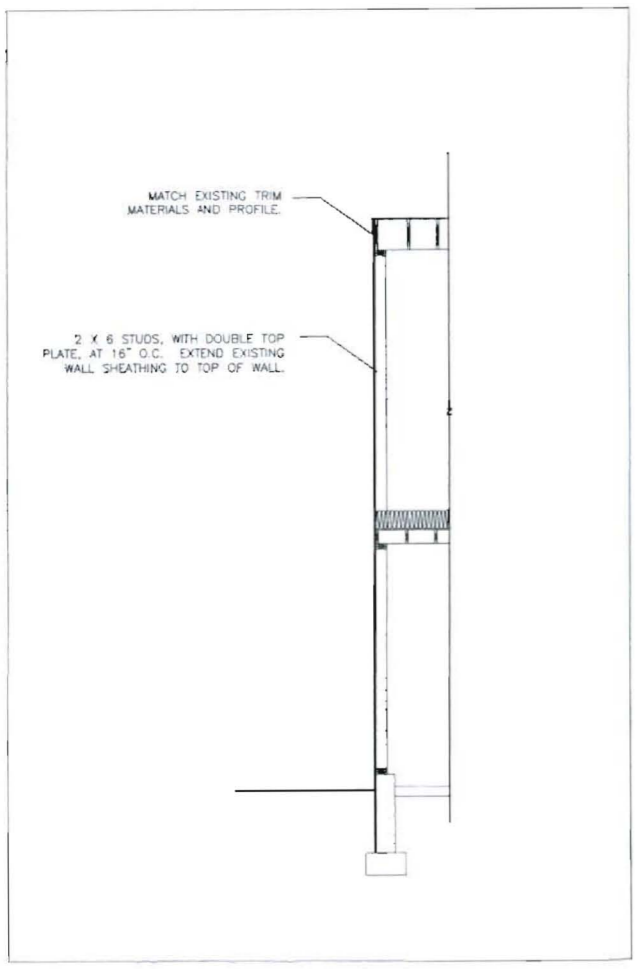
Maheaux Residence Garage Renovation
N.T.S. 11/29/10



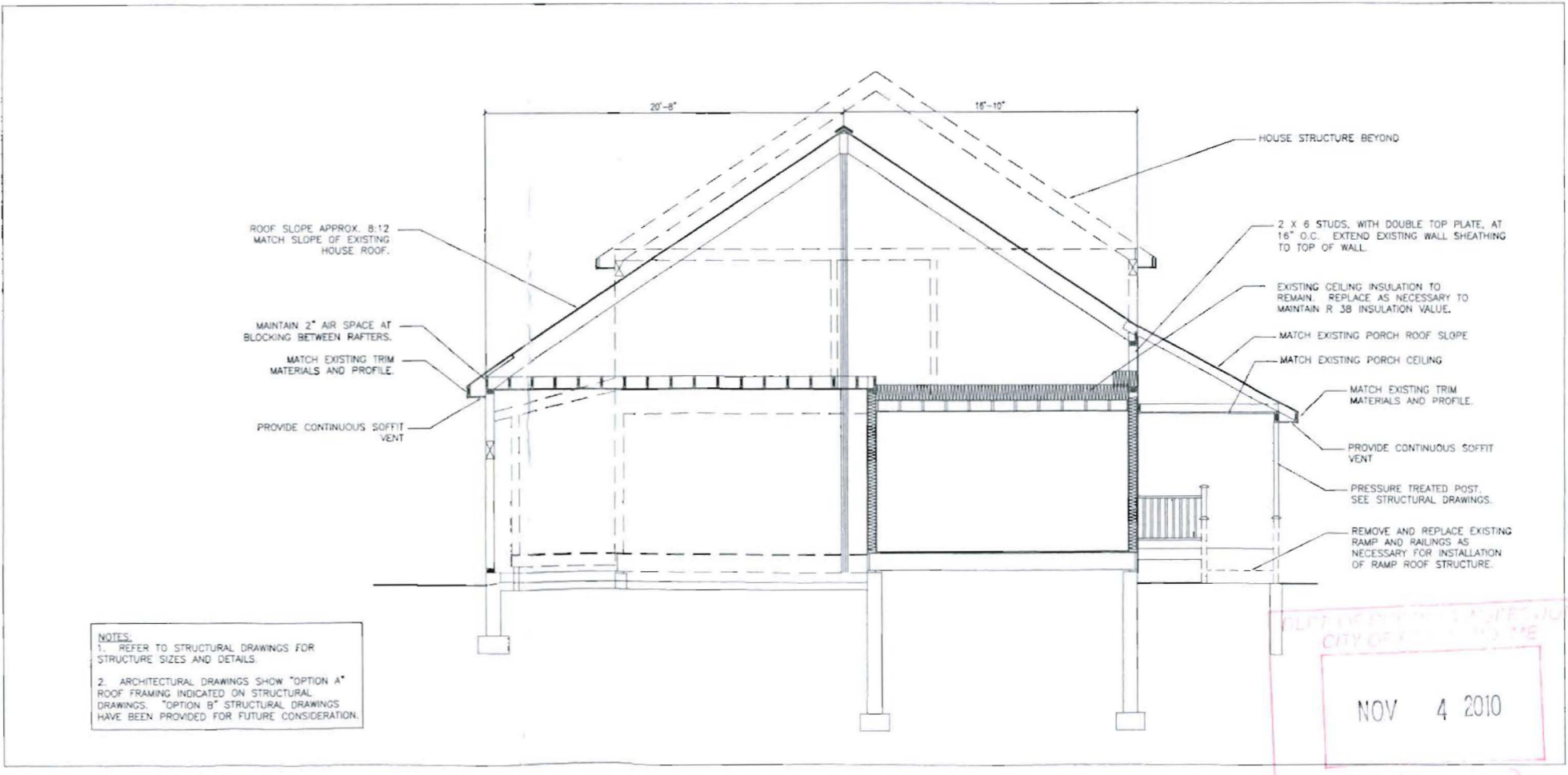
1 SOUTH ELEVATION
A2.1 Scale: 1/4" = 1'-0"



2 EAST ELEVATION
A2.1 Scale: 1/4" = 1'-0"



3 WALL SECTION
A2.1 Scale: 1/4" = 1'-0"



NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURE SIZES AND DETAILS.
2. ARCHITECTURAL DRAWINGS SHOW "OPTION A" ROOF FRAMING INDICATED ON STRUCTURAL DRAWINGS. "OPTION B" STRUCTURAL DRAWINGS HAVE BEEN PROVIDED FOR FUTURE CONSIDERATION.

4 BUILDING SECTION AT GARAGE
A2.1 Scale: 1/4" = 1'-0"



DESIGN GROUP COLLABORATIVE
ARCHITECTURE DESIGN | PLANNING
48 FREE STREET SUITE 303
PORTLAND, MAINE 04101
104 MAIN STREET
ELLSWORTH, MAINE 04905
T (807) 969-0560
C (807) 969-8366
F (807) 969-5310

Project:
Maheux Residence
Garage Renovation
PORTLAND, MAINE

Date	Scale	As Indicated
12/18/09		
Drawn By	CFG	
Revisions	Rev. 0 Issued for Construction	

EXTERIOR ELEVATIONS AND
BUILDING SECTION

PLT DEPT OF CONSTRUCTION
CITY OF PORTLAND, ME
NOV 4 2010

06/08/2003 21:52 FAX 2077718975
06/09/2003 07:45 FAX 2076576912

WEXONLINE
GORRILL PALMER

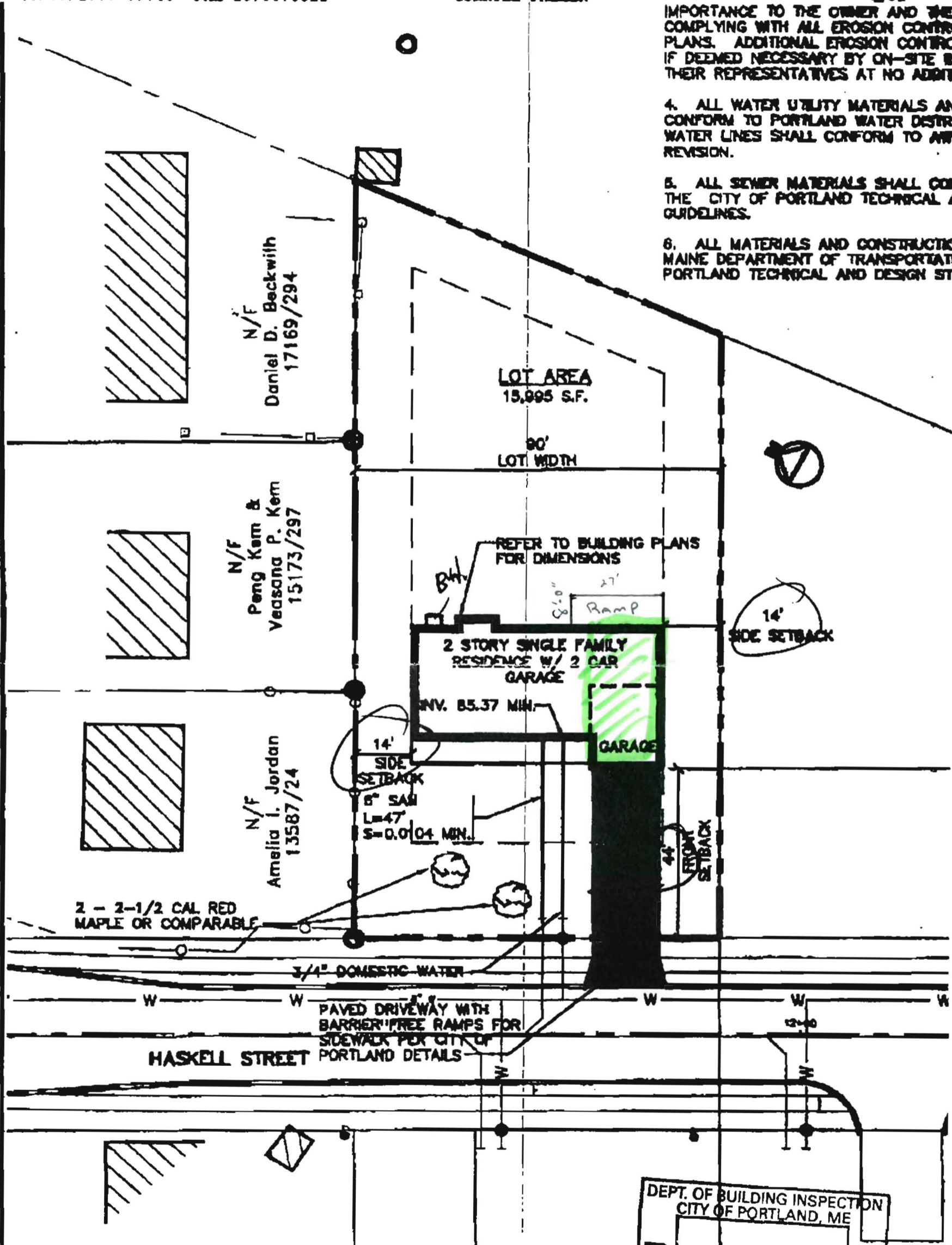
002 002

IMPORTANCE TO THE OWNER AND THE
COMPLYING WITH ALL EROSION CONTROL
PLANS. ADDITIONAL EROSION CONTROL
IF DEEMED NECESSARY BY ON-SITE BY
THEIR REPRESENTATIVES AT NO ADDIT

4. ALL WATER UTILITY MATERIALS AN
CONFORM TO PORTLAND WATER DISTRICT
WATER LINES SHALL CONFORM TO ANY
REVISION.

5. ALL SEWER MATERIALS SHALL CON
THE CITY OF PORTLAND TECHNICAL /
GUIDELINES.

6. ALL MATERIALS AND CONSTRUCTION
MAINE DEPARTMENT OF TRANSPORTATION
PORTLAND TECHNICAL AND DESIGN ST



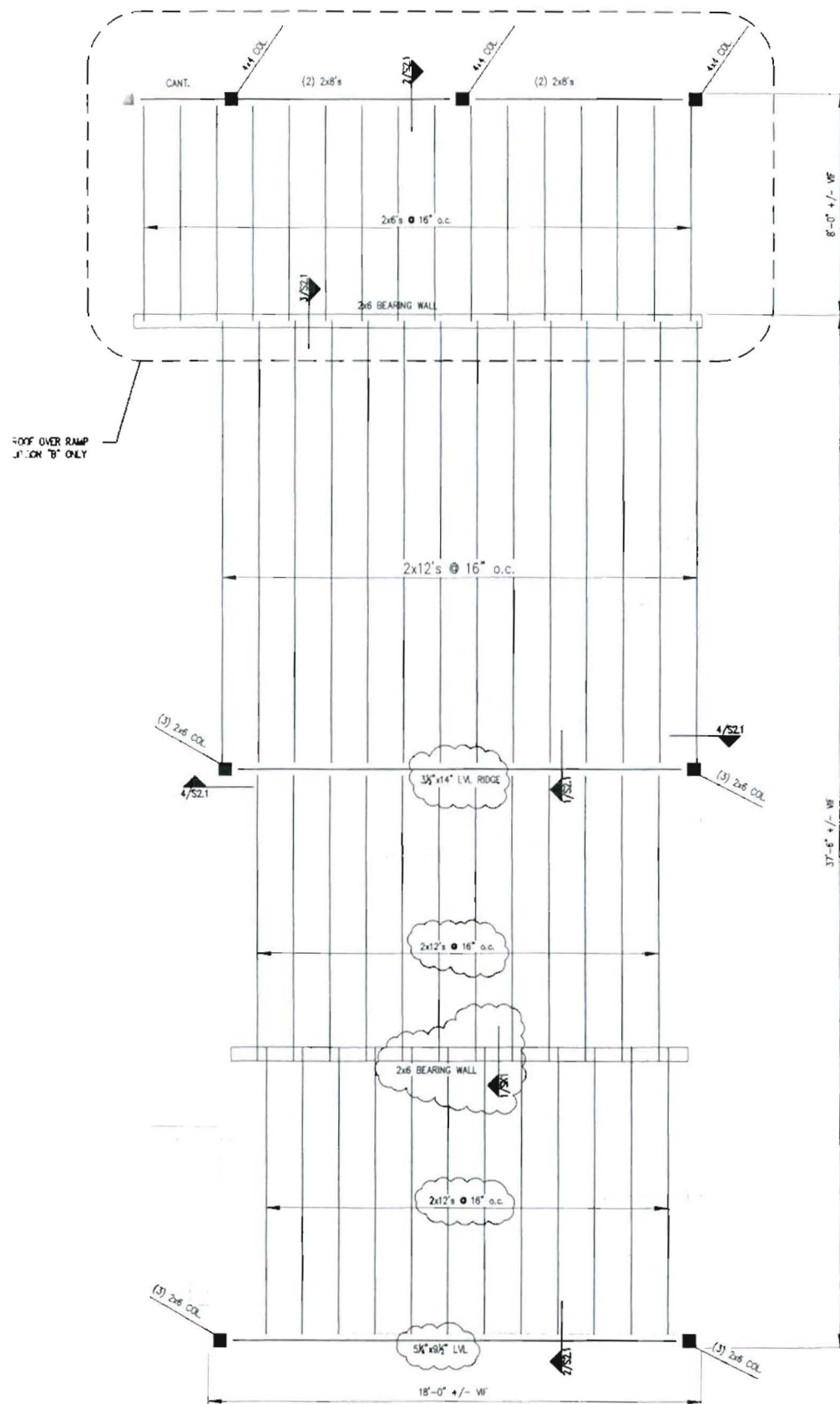
N/F
Daniel D. Beckwith
17169/294

N/F
Peng Kam &
Veasna P. Kem
15173/297

N/F
Amelia I. Jordan
13587/24

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN - 9 2003
RECEIVED

Oct 18, 2010

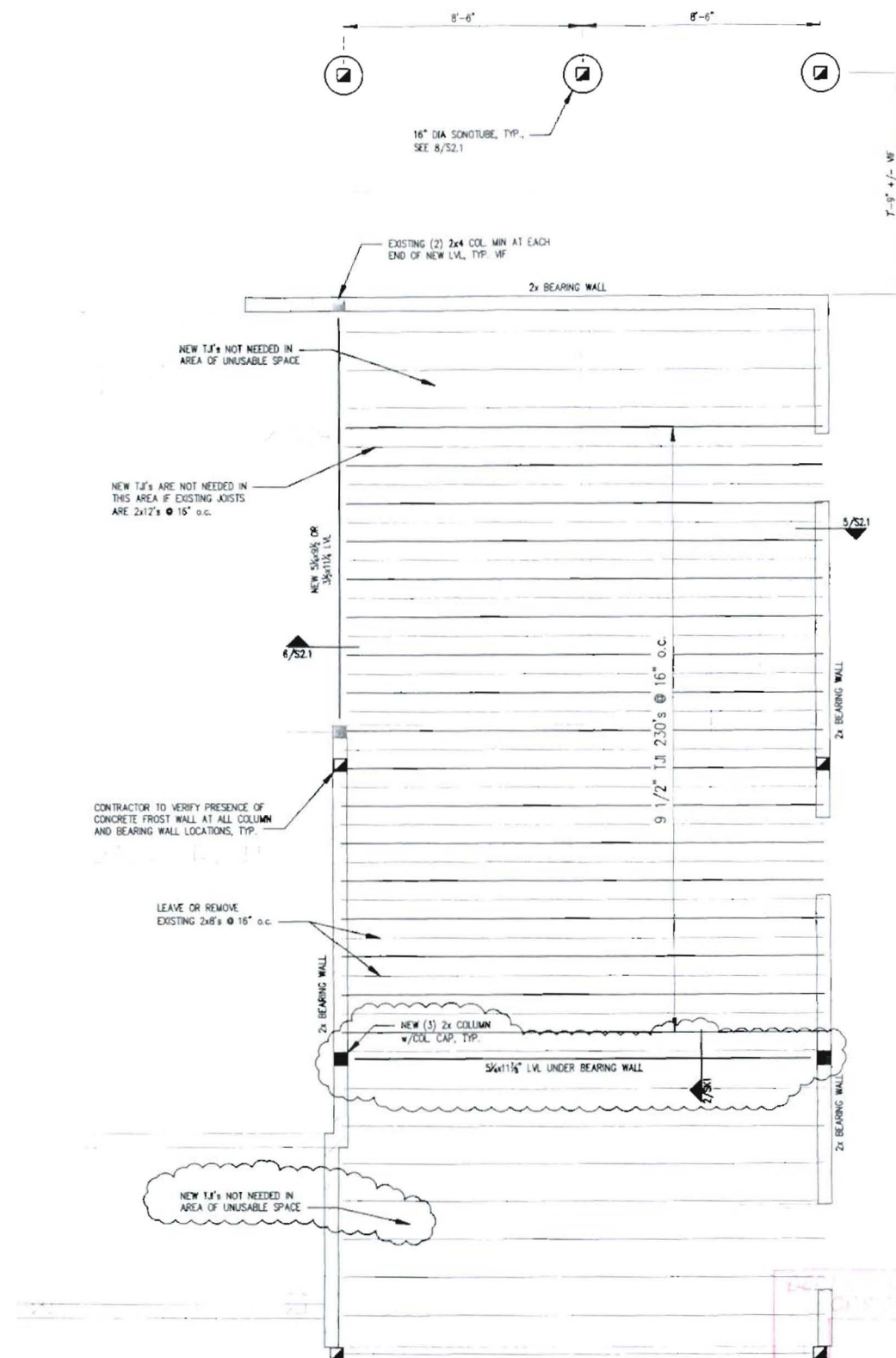


- NOTES:
1. PROVIDE RAFTER HANGERS OR HOLD-DOWNS AT ALL RAFTER ENDS, TYP.
 2. USE SHEATHING CLIPS BETWEEN SHEETS ON ROOF WHEN BLOCKING IS NOT REQUIRED.
 3. PROVIDE SIMPSON COLUMN CAPS OR BASES AT COLUMN ENDS, TYP.
 4. SEE 7/SZ1 FOR TYPICAL FLOOR/ROOF SHEATHING DETAIL.

ROOF FRAMING PLAN - OPTION "A" AND "B"

SCALE: 3/8"=1'-0"

1



- NOTES:
1. PROVIDE SIMPSON HANGERS OR HOLD-DOWNS AT ALL JOIST ENDS, TYP.
 2. PROVIDE SIMPSON COLUMN CAPS OR BASES AT COLUMN ENDS, TYP.
 3. SEE 7/SZ1 FOR TYPICAL FLOOR/ROOF SHEATHING DETAIL.
 4. USE GRACE VYCOR DECK PROTECTOR SELF-ADHERED FLASHING FOR CORROSION RESISTANCE OF GALVANIZED CONNECTORS PER MANUFACTURERS RECOMMENDATIONS.

PLAN LEGEND

	BEARING WALL
	BEAM
	COLUMN BELOW
	COLUMN ABOVE AND BELOW

SECOND FLOOR FRAMING PLAN - OPTION "B" ONLY

SCALE: 3/8"=1'-0"

2

CASCO BAY ENGINEERING
 424 Fore Street
 Portland, ME 04101
 Phone 207.842.2800
 Fax 207.842.2828
 www.cascobayengineering.com

CLIENT:
 DESIGN GROUP COLLABORATIVE
 22 FREE STREET
 PORTLAND, ME 04101

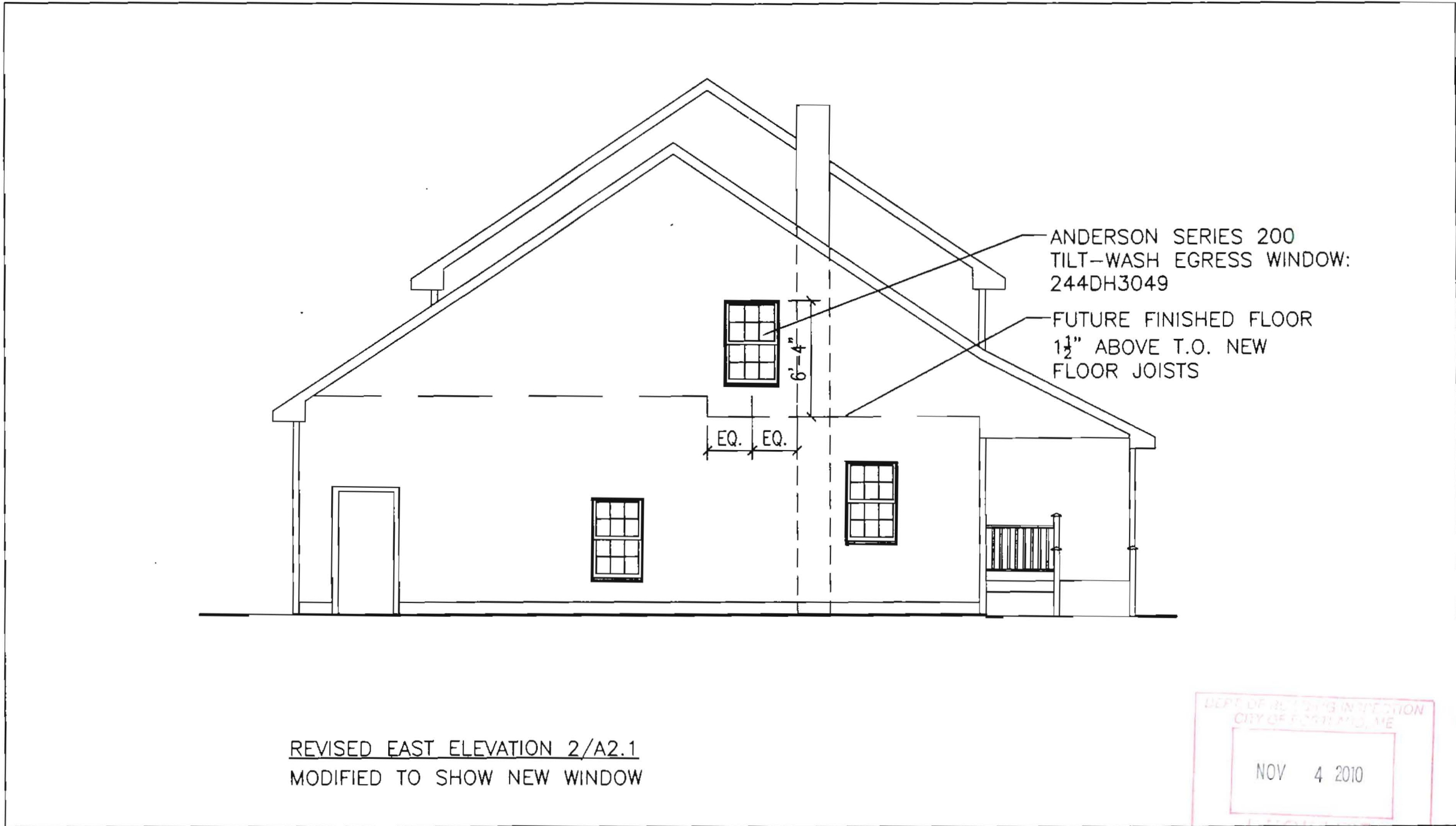


MAHEUX RESIDENCE
 12 HASSELL ST
 PORTLAND, ME
 GARAGE RENOVATION

NO.	DATE	ISSUE
1	10-18-10	FOR CONSTRUCTION
1	10-18-10	ADDRESSUM PT

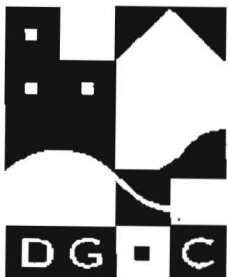
SHEET TITLE:
GARAGE FRAMING PLAN
 DESIGNED: TD
 DRAWN: TD
 DATE: 04-02-09
 CADD FILE: 9019-51.dwg
 PROJECT NUMBER: 9019

S1.1



REVISED EAST ELEVATION 2/A2.1
 MODIFIED TO SHOW NEW WINDOW

DEPT OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 NOV 4 2010
 RECEIVED



**DESIGN GROUP
 COLLABORATIVE**
 ARCHITECTURE
 DESIGN + PLANNING
 22 FREE STREET
 PORTLAND, MAINE 04101
 (207) 699-3300

ALTERNATE 2: ATTIC WINDOW
Maheaux Residence Garage Renovation
N.T.S. 5/5/10

ISSUED FOR CONSTRUCTION

12/18/09

Maheaux Residence Garage Renovation

PORTLAND, MAINE

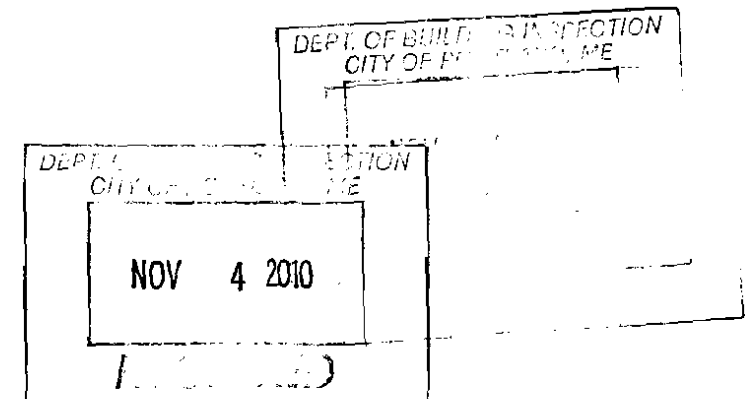
DRAWING INDEX

<u>ARCHITECTURAL</u>	
G 0.1 COVER SHEET	
A 1.1 PARTIAL ROOF PLAN AND REMOVALS PLAN	
A 2.1 EXTERIOR ELEVATIONS AND BUILDING SECTION	
<u>STRUCTURAL</u>	
S 1.1 GARAGE FRAMING PLAN	
S 2.1 STRUCTURAL NOTES AND DETAILS	

DESIGN GROUP COLLABORATIVE ARCHITECTURE | DESIGN | PLANNING

104 MAIN STREET
ELLSWORTH, MAINE 04605
T (207) 664-0560
C (207) 669-2104
F (207) 664-0569

22 Free Street Suite 303
PORTLAND, MAINE 04101
T (207) 699-3300
C (207) 266-8386
F (207) 669-3310



DESIGN GROUP COLLABORATIVE
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22 FREE STREET SUITE 303
PORTLAND, MAINE 04101
T (207) 699-3300
C (207) 266-8386
F (207) 669-3310

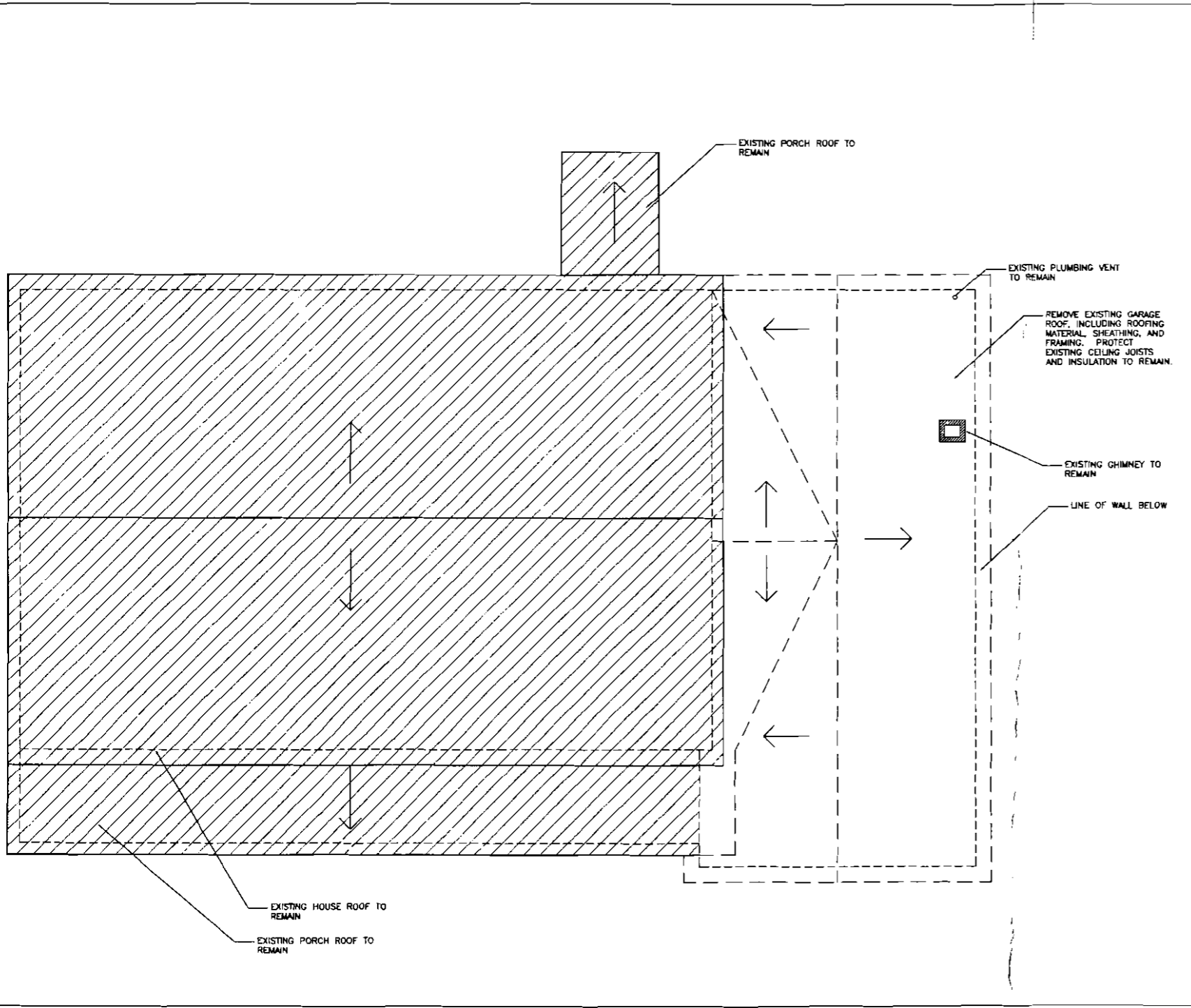
Maheaux Residence
Garage Renovation
PORTLAND, MAINE

Project:

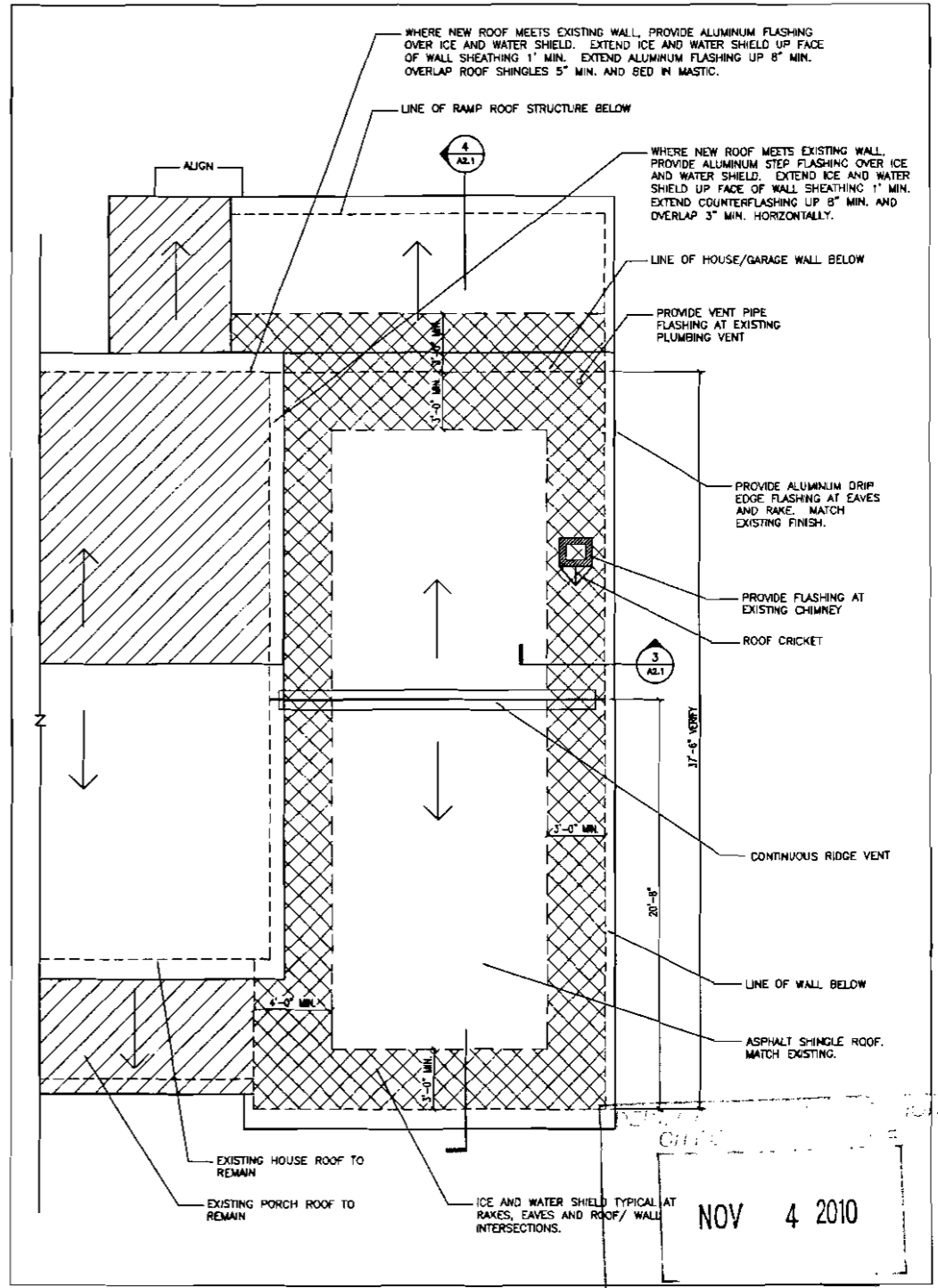
Date	12/18/09
Scale	As Indicated
Drawn By	CFG
Reviewed	Rev. 0 Issued for Construction

COVER SHEET

G01



1 ROOF REMOVALS PLAN
 A1.1 Scale: 1/4" = 1'-0"



2 PARTIAL ROOF PLAN
 A1.1 Scale: 1/4" = 1'-0"



- REMOVALS NOTES:**
- EXISTING DIMENSIONS ARE SHOWN FOR REFERENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF DEMOLITION OR CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITY LINES (ELECTRIC, WATER, OIL, GAS, ETC.) PRIOR TO START OF DEMOLITION. DISCONNECTIONS SHALL BE MADE BY QUALIFIED MECHANICS.
 - IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION, FOLLOW STATE AND LOCAL REGULATIONS REGARDING REMOVAL.
 - CONTRACTOR IS RESPONSIBLE FOR SAFELY SUPPORTING ALL EXISTING STRUCTURES DURING DEMOLITION AND CONSTRUCTION.
 - PROTECT EXISTING MATERIALS AND FINISHES TO REMAIN. ANY MATERIALS OR FINISHES DISTURBED OR DAMAGED DURING DEMOLITION AND NEW WORK SHALL BE REPAIRED OR REPLACED AND FINISHED TO MATCH ADJACENT CONSTRUCTION CONTINUOUSLY TO NEAREST CORNER.
- GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK.
 - "PROVIDE" MEANS "FURNISH AND INSTALL".
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS NOTED OTHERWISE) AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODE REQUIREMENTS.
 - DIMENSIONS ARE TO FACE OF STUD.



DESIGN GROUP COLLABORATIVE
 ARCHITECTURE | PLANNING
 88 Pine Street Suite 303
 PORTLAND, MAINE 04101
 T (407) 868-3500
 C (407) 868-8198
 F (407) 868-3510

Maheux Residence
Garage Renovation
 PORTLAND, MAINE

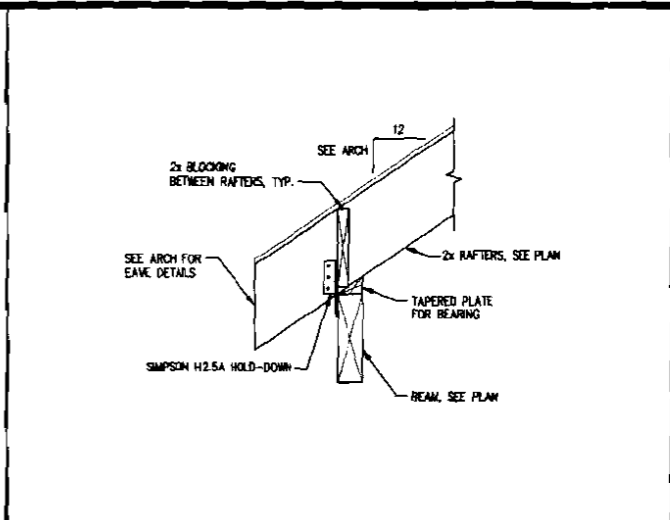
Project:

Date	12/18/09	Scale	As Indicated
Drawn By	CFG	Revisions	Rev. 0 Issued for Construction

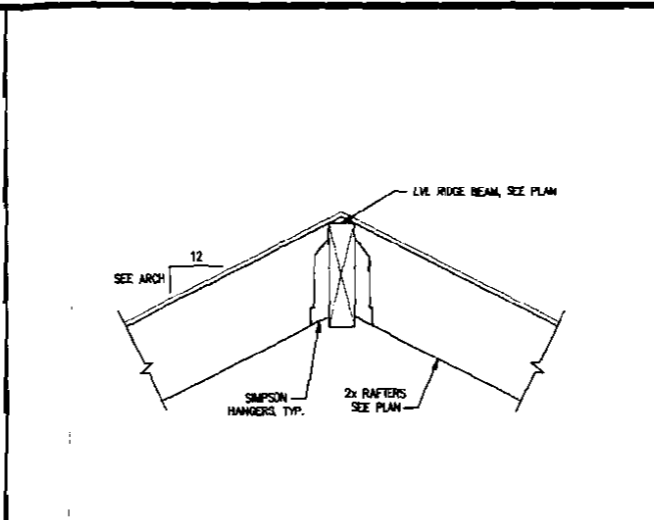
PARTIAL ROOF PLAN AND REMOVALS PLAN

A11

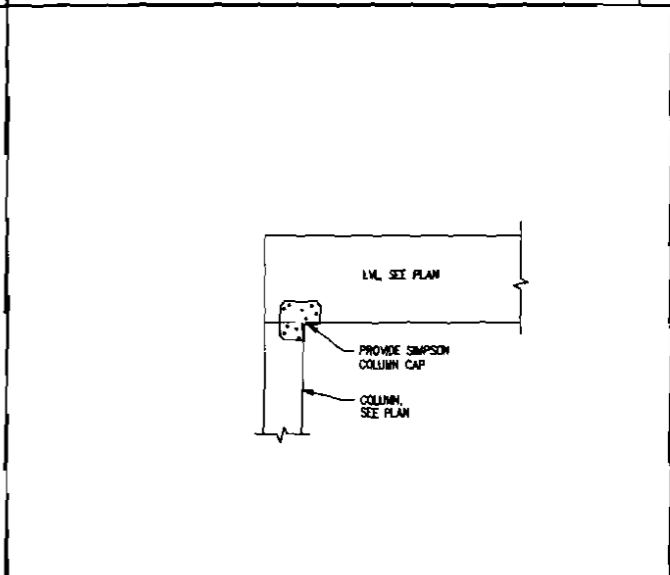
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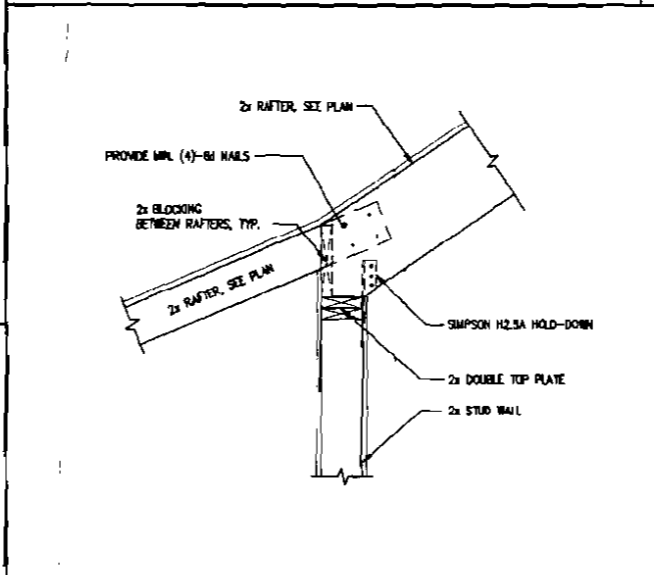
SECTION SCALE 1"=1'-0" 2



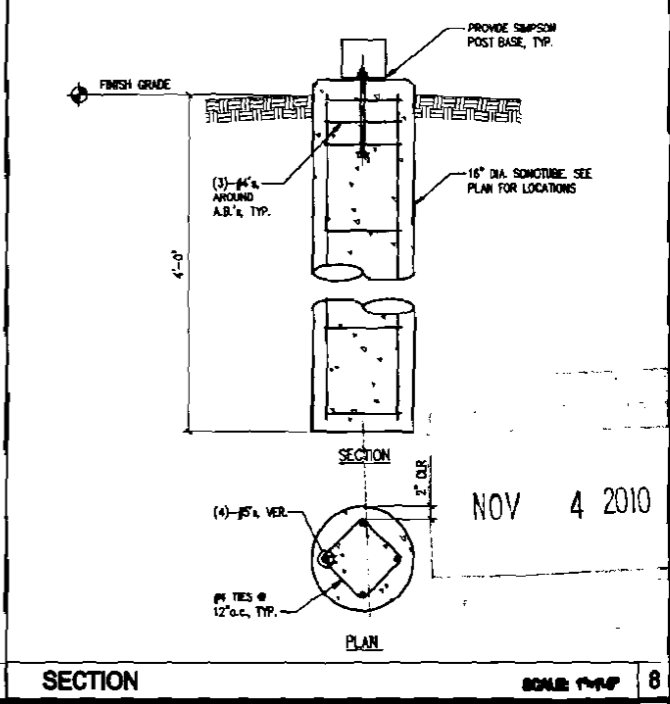
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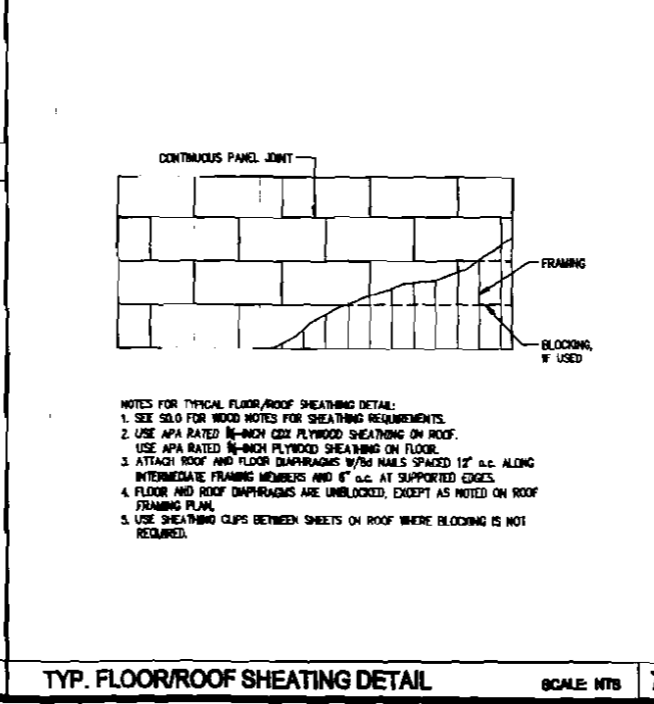
SECTION SCALE 1"=1'-0" 4



SECTION SCALE 1"=1'-0" 3



SECTION SCALE 1"=1'-0" 8



SECTION SCALE 1"=1'-0" 7

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O.

CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.

WOOD GRADES AND SPECIES:
 1. SPRUCE-PINE-FIR, No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC.) U.N.O.
 2. USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE TREATED LUMBER (PT OR PPT).
 3. WHERE NOTED L.V. ON DRAWINGS, PROVIDE VERSA LAM 3100 BY BOISE CASCADE, OR EQUIVALENT, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:

A. L.V. PROPERTIES:
 F_b = 3100 PSI F_c = 2500 PSI (PARALLEL TO GRAIN)
 F_v = 285 PSI F_c = 750 PSI (PERPENDICULAR TO GRAIN)
 F_t = 1555 PSI E = 2,000,000 PSI

STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.

PROVIDE PRESSURE TREATED OR WOLYMERIZED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.

ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING:
 1. USE 3/4" PLYWOOD WALL SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO WALL STUDS. STAGGER PANEL ENDS AND BLOCK ALL PANEL EDGES.
 2. USE 5/8" PLYWOOD ROOF SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS. USE SHEATHING CLIPS BETWEEN SHEETS WHERE BLOCKING IS NOT REQUIRED.
 3. USE 3/4" PLYWOOD FLOOR SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS.

PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1-3/4" DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.

WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.

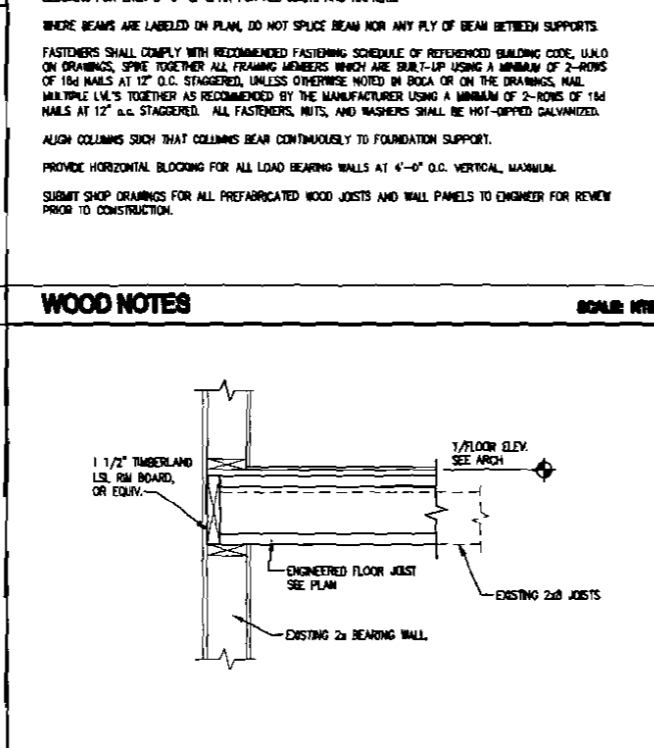
FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF RETENCHED BUILDING CODE, U.N.O. ON DRAWINGS. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED, UNLESS OTHERWISE NOTED IN BOCA OR ON THE DRAWINGS. NAIL MULTIPLE L.V.'S TOGETHER AS RECOMMENDED BY THE MANUFACTURER USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED. ALL FASTENERS, NUTS, AND WASHERS SHALL BE HOT-DIPPED GALVANIZED.

ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT.

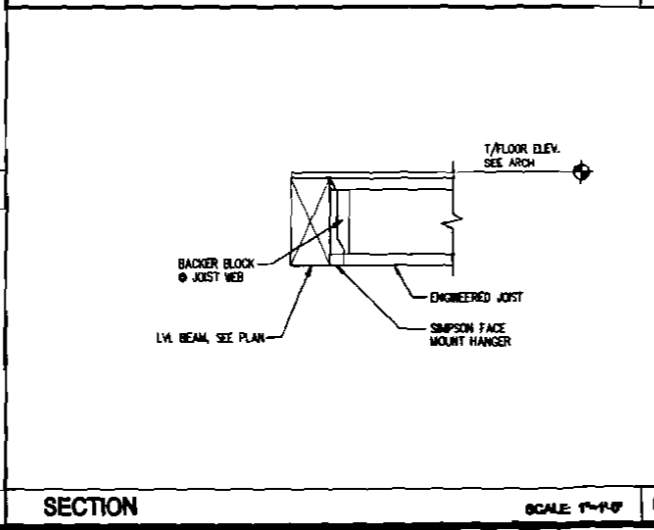
PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL MAXIMUM.

SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

SECTION SCALE 1"=1'-0" 5



SECTION SCALE 1"=1'-0" 5



SECTION SCALE 1"=1'-0" 6

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:

IBC 2003 AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 ACI 308 AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
 ACI 309 AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
 ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 ASTM A615 AMERICAN SOCIETY OF TESTING AND MATERIALS
 NFPA 704 NATIONAL FIRE PROTECTION ASSOCIATION

REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.

EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.

THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.

GENERAL NOTES SCALE: NTS

LIVE LOAD:
 ALL AREAS = 40 PSF

SNOW LOADS:
 GROUND SNOW LOAD, P_g = 60 PSF
 SNOW EXPOSURE FACTOR, C_e = 1.0
 SNOW LOAD IMPORTANCE FACTOR, I = 1.0
 FLAT ROOF SNOW LOAD, P_f = 42 PSF + DRIFT

DESIGN CRITERIA SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:

ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 ACI 301 AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
 ACI 305 STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING
 ACI 306 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
 ACI 308 STANDARD PRACTICE FOR CURING CONCRETE

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

LOCATION	MAX W/C RATIO	f _c	AIR-ENTRANMENT
FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS	52	3,000 PSI	5-7%

WHERE: W/C = WATER TO CEMENT RATIO AND
 f_c = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

MAXIMUM AGGREGATE SIZE SHALL BE 3/4" IN CONFORMANCE WITH ASTM C33.
 USE PORTLAND CEMENT TYPE I IN CONFORMANCE WITH ASTM 150.
 AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.
 ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE" ASTM C 494.
 FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618.
 CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.

MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.

CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND EXTERIOR WALKWAYS SHALL BE AIR ENTRAINED WITH AIR CONTENT BETWEEN SIX AND SIX PERCENT. CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 308, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.

ANCHOR BOLTS SHALL CONFORM TO ASTM A307. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

CONCRETE NOTES SCALE: NTS

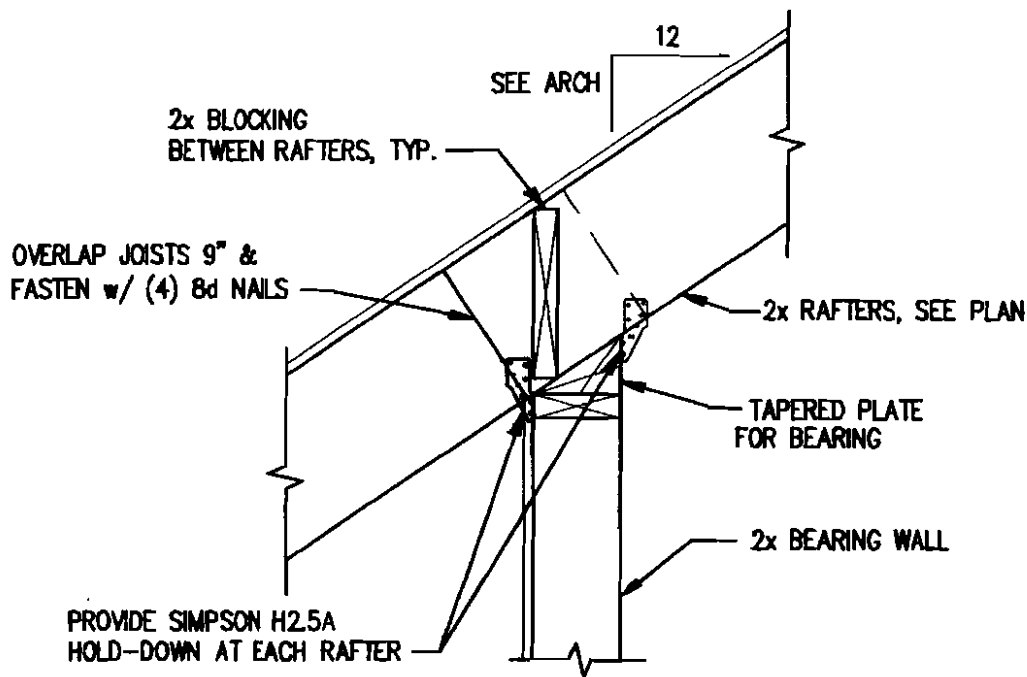
USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A615. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND SHALL BE SECURED AGAINST DISPLACEMENT.

MINIMUM CONCRETE COVER FOR REINFORCEMENT	
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3 INCHES

REINFORCEMENT HOOKS SHALL CONFORM TO STANDARD HOOKS ACCORDING TO ACI 318. WELDING OF REINFORCEMENT IS NOT PERMITTED, U.N.O.

CONCRETE REINFORCEMENT NOTES SCALE: NTS

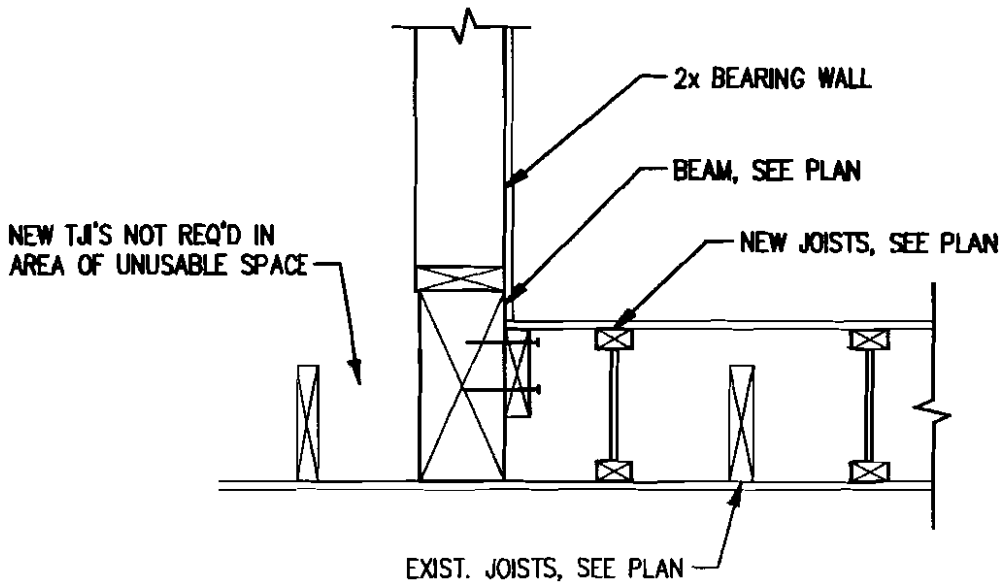
Oct 18, 2010



SECTION

SCALE: 1"=1'-0"

1



SECTION

SCALE: 1"=1'-0"

2

SHEET TITLE:
MAHEUX RESIDENCE
 12 HASKELL STREET PORTLAND, ME



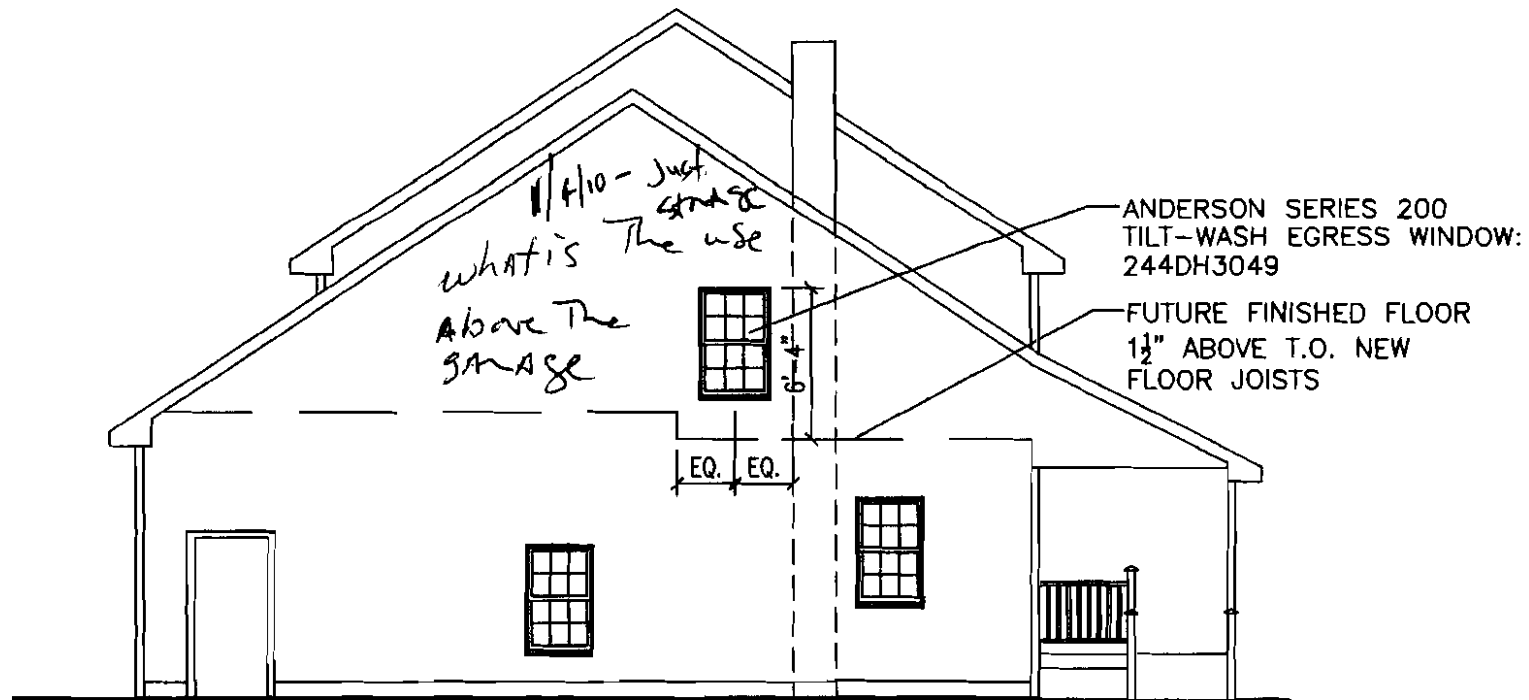
CASCO BAY

424 Fore Street, Portland, ME 04101
 Tel. 207.842.2800 Fax 207.842.2828
 www.cascobayengineering.com

DESIGNED: TD
 DRAWN: TD
 DATE: 10-18-10
 CADD FILE: 9019-01.DWG
 PROJECT NUMBER: 9019

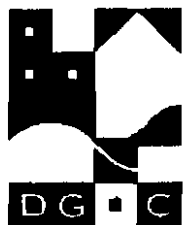
SHEET TITLE:
DETAILS

SK1



1 - 8' - 1" →
 New - currently not shown
 on plot plan

REVISED EAST ELEVATION 2/A2.1
 MODIFIED TO SHOW NEW WINDOW



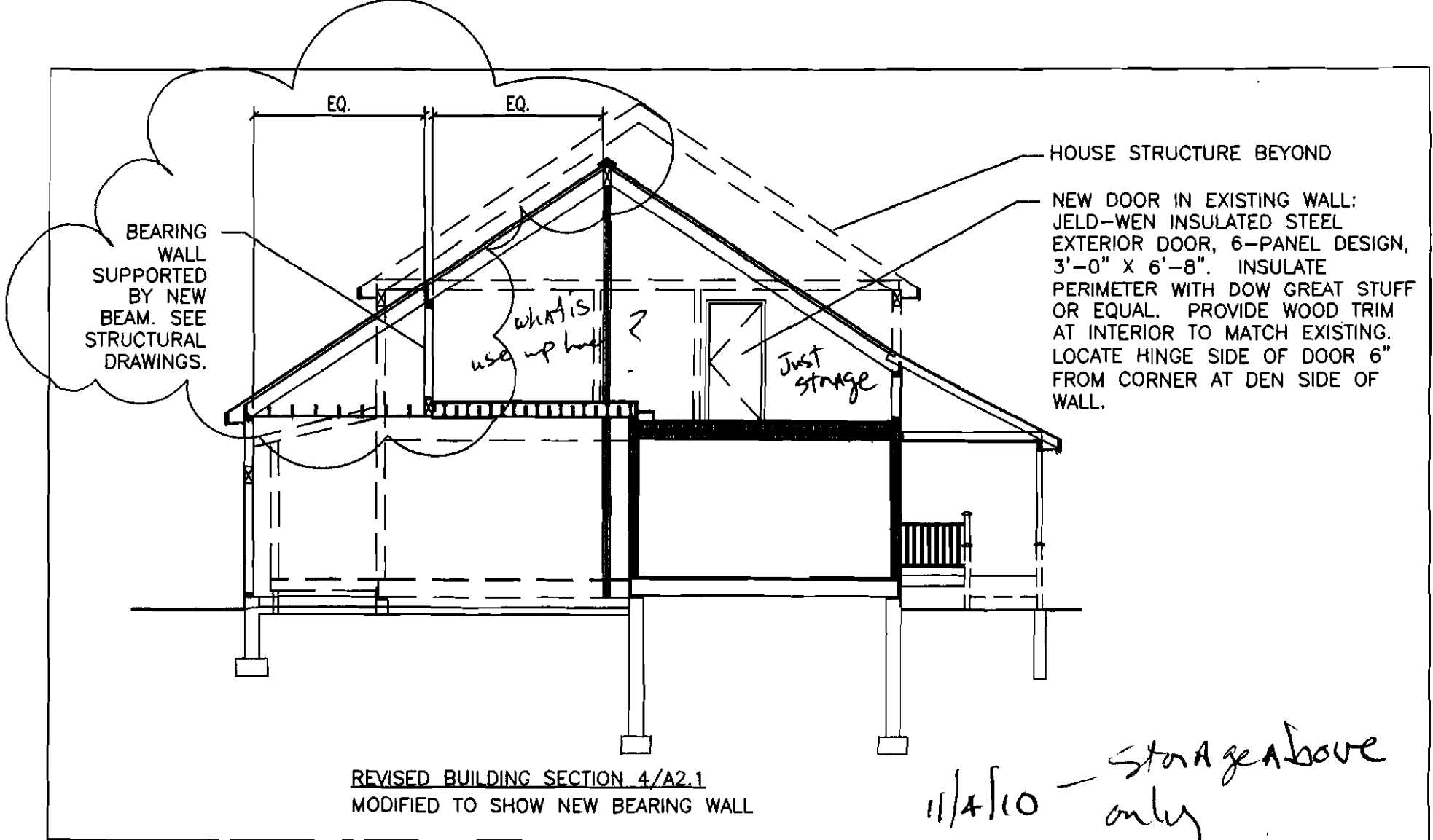
**DESIGN GROUP
 COLLABORATIVE**

**ARCHITECTURE
 DESIGN + PLANNING**

22 FREE STREET
 PORTLAND, MAINE 04101
 (207) 699-3300

ALTERNATE 2: ATTIC WINDOW

**Maheaux Residence Garage Renovation
 N.T.S. 5/5/10**



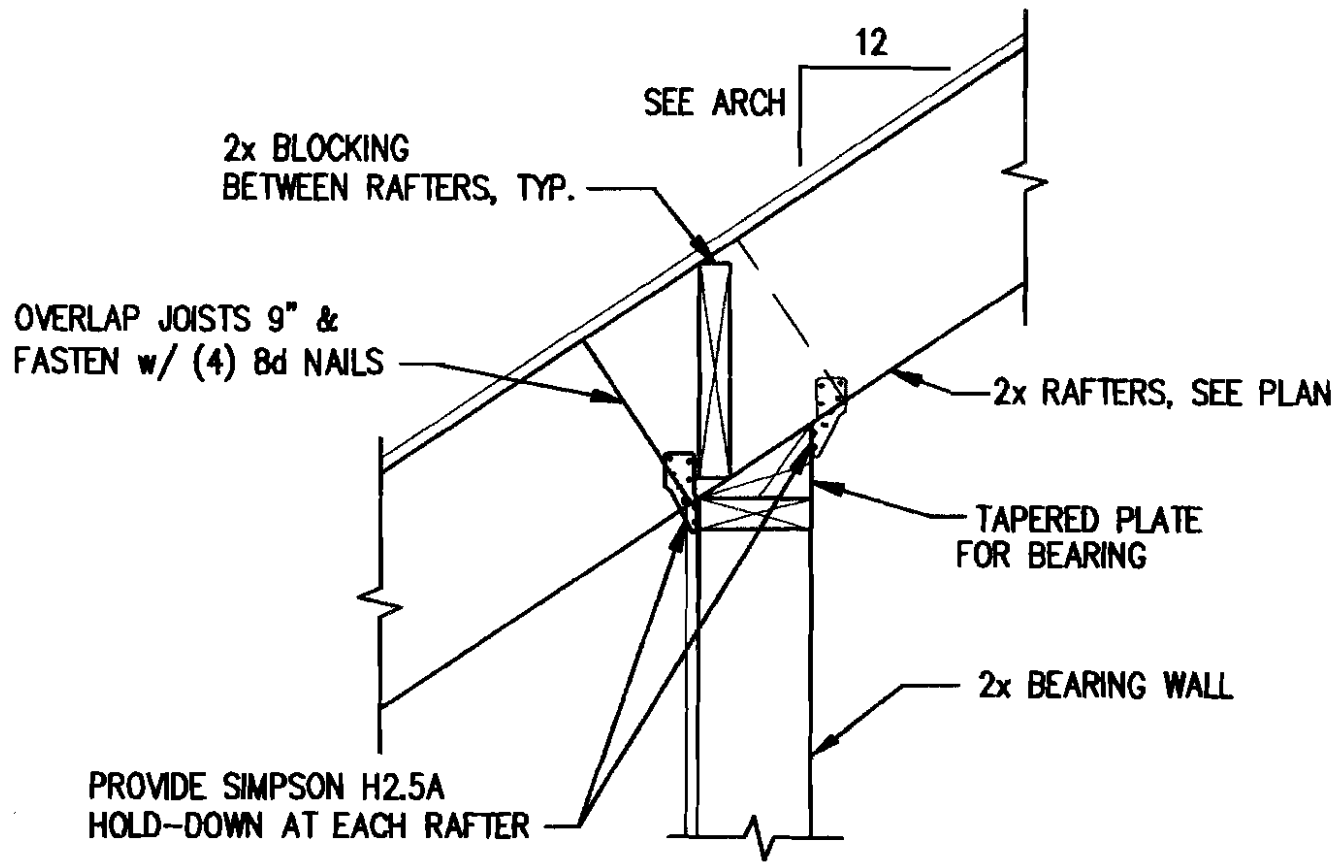
REVISED BUILDING SECTION 4/A2.1
 MODIFIED TO SHOW NEW BEARING WALL

11/4/10 - storage above only



**DESIGN GROUP
 COLLABORATIVE**
**ARCHITECTURE
 DESIGN + PLANNING**
 22 FREE STREET
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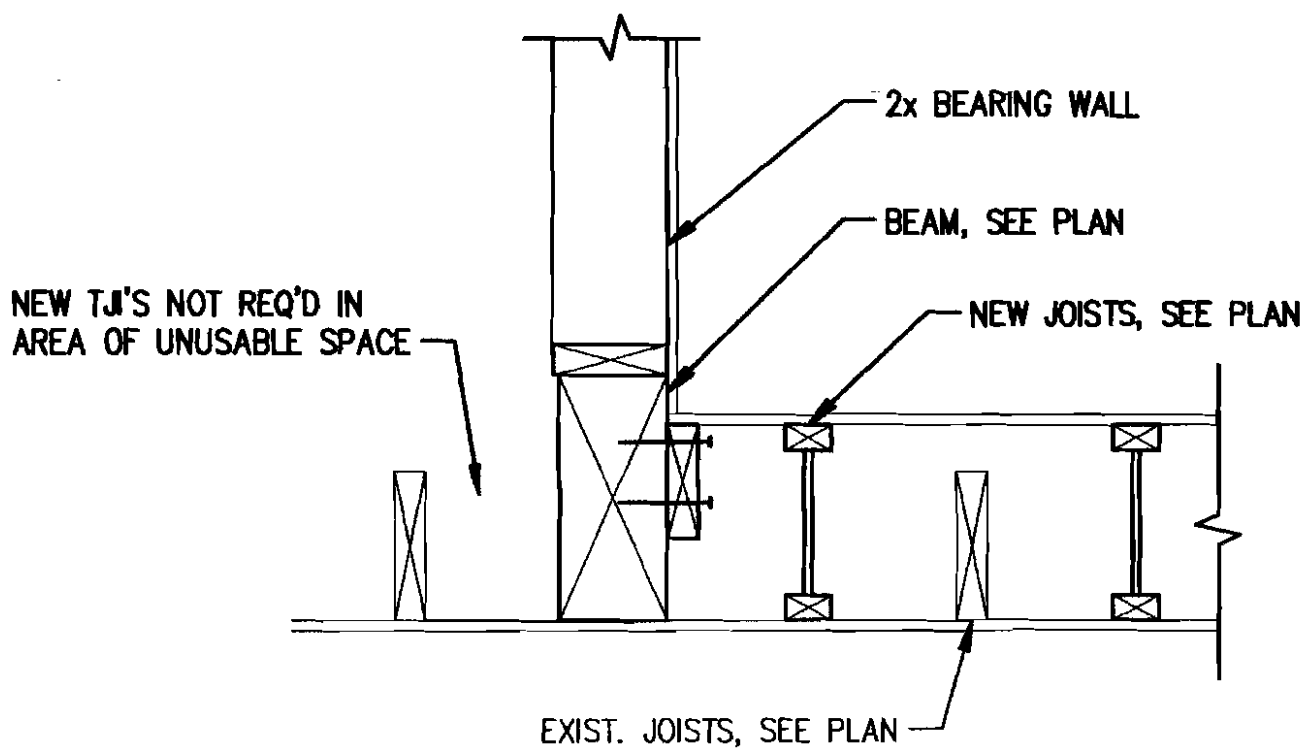
REVISED BUILDING SECTION 4/A2.1
Maheaux Residence Garage Renovation
N.T.S. **10/22/10**



SECTION

SCALE: 1"=1'-0"

1



SECTION

SCALE: 1"=1'-0"

2

SHEET TITLE:
MAHEUX RESIDENCE
 12 HASKELL STREET PORTLAND, ME

SHEET TITLE:
DETAILS

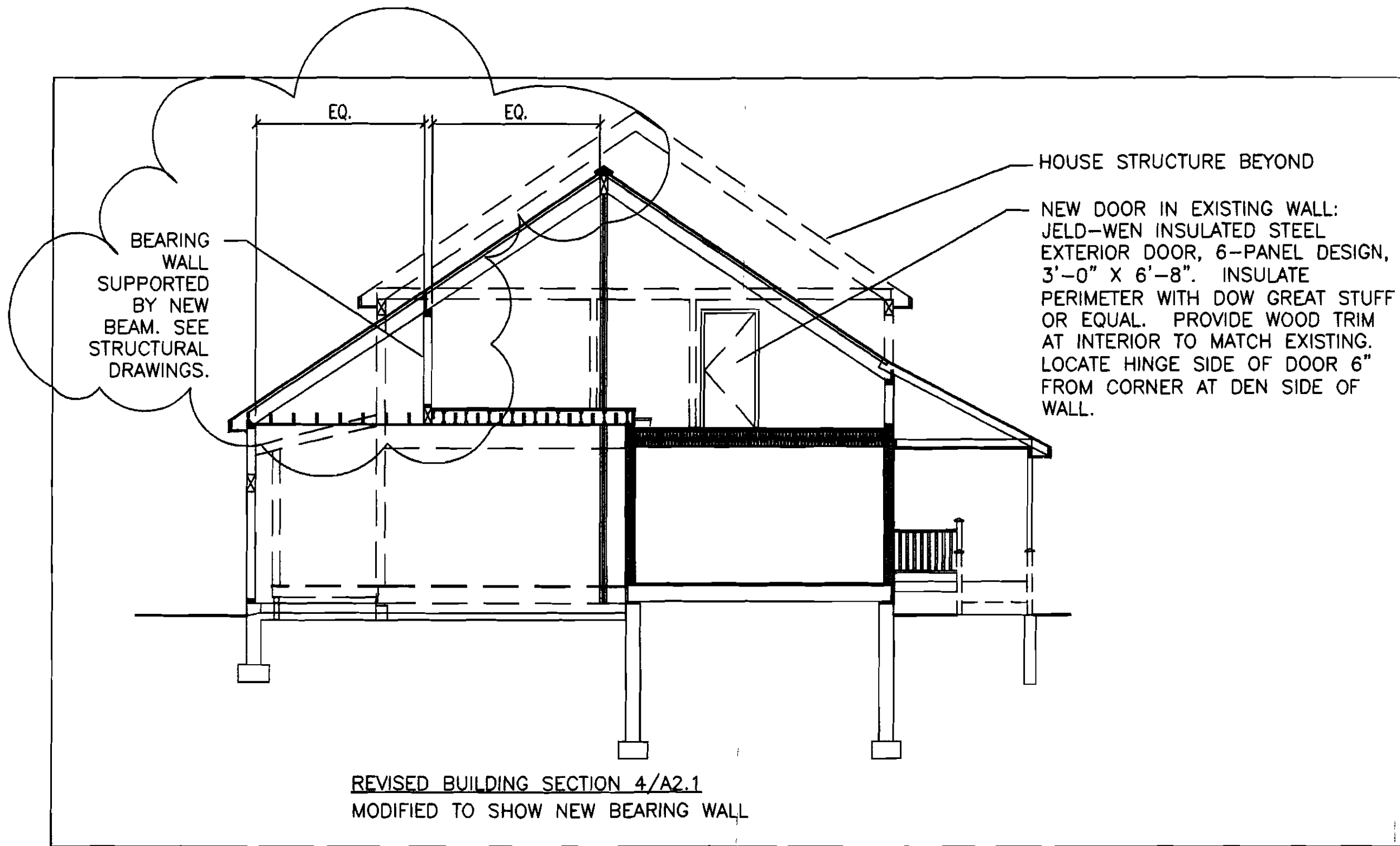


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DESIGNED: TD
 DRAWN: TD
 DATE: 10-18-10
 CADD FILE: 9019-61.DWG
 PROJECT NUMBER: 9019

SK1

NOV 4 2010



REVISED BUILDING SECTION 4/A2.1
 MODIFIED TO SHOW NEW BEARING WALL

NOV 4 2010



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 22 FREE STREET
 PORTLAND, MAINE 04101
 (207) 699-3300

REVISED BUILDING SECTION 4/A2.1
Maheaux Residence Garage Renovation
N.T.S. 10/22/10

H610
dc to dose
NOTE: UPSTAIRS
above garage ()
for storage only.
No living space
allowed N/A