

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 060855  
**PERMIT ISSUED**  
AUG - 7 2006  
CITY OF PORTLAND

This is to certify that NEDELIKOVIC ALEKSANDAR & BILJANA NEDELIKOVIC JT

has permission to build a 24' x 20' Garage

AT 155 MILTON ST

333 G008001

provided that the person or persons who perform or supervise the construction of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*[Signature]*  
8/2/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0855	Date: <b>PERMIT</b>	CBL: 333 G008001
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Location of Construction: 155 MILTON ST	Owner Name: NEDELJKOVIC ALEKSANDAR	Owner Address: 155 MILTON ST	Phone: AUG - 7
Business Name:	Contractor Name: Pro-Built Garage Builders, Co.	Contractor Address: 98 Cramn Road Limerick	Phone: 2077938629
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home/ build a 24' x 20' Garage	Permit Fee: \$201.00	Cost of Work: \$19,356.00	CEO District: 5	10,000 <sup>+</sup>
Proposed Project Description: build a 24' x 20' Garage		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3/4 Type: SB <i>IRC 2003</i>		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 06/12/2006	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>to remain 1 family</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok</i> Date: <i>6/30/06</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p>Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING ——— INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Melwan Nedy/long

8-7-2006

Signature of Applicant/Designee

Date

[Signature]

8.7.06

Signature of Inspections Official

Date

CBL: 333-G 8

Building Permit #: CG 0855

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0855	<b>Date Applied For:</b> 06/12/2006	<b>CBL:</b> 333 G008001
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<b>Location of Construction:</b> 155 MILTON ST	<b>Owner Name:</b> NEDELJKOVIC ALEKSANDAR &	<b>Owner Address:</b> 155 MILTON ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Pro-Built Garage Builders, Co.	<b>Contractor Address:</b> 98 Cramn Road Limerick	<b>Phone:</b> (207) 793-8629
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home/ build a 24' x 20' Garage	<b>Proposed Project Description:</b> build a 24' x 20' Garage
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 0613012006  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 0816212006  
**Note:**      **Ok to Issue:**

- 1) The existing door must be changed to either a solid 13/8" steel or wood door with out a window or a 20 minute fire rated door.
- 2) The common separating wall between the house and garage must have 1/2" drywall applied to the garage side of the wall.
- 3) Separate permits are required for any electrical, plumbing, or heating.

noted on plans.

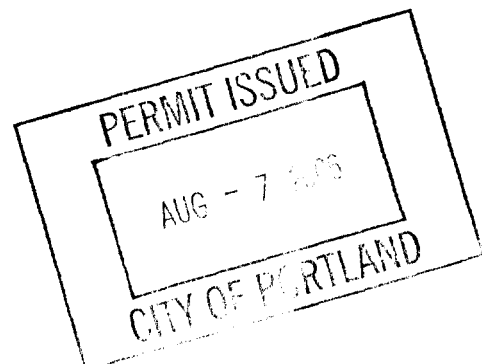
- 5) The design load spec sheets for any engineered beam(s) must be submitted to this office.

**Comments:**

6129106-mes: left message with owner - no side yard setback shown on the plot plan - will need to complete compliance check

7126106-tmm: left message w/pro-built - need 4' frost wall, will windows in existing wall be removed/covered w/drywall, framing 16" oc, what is door to garage?, header sizes

812106-tmm: left message w/pro-built



Prmt **Text93** 46630 Constr Type **New** Num1 **60855**

Permit Nbr **06-0855** Location of Construction **155 MILTON ST** Appl. Date **06/12/2006**  
Status **Hold** Permit Type **Additions - Dwellings** Issue Date   
CBL **333 G008001** District Nbr **5** Estimated Cost **\$19,356.00** Date Closed

Comment Date	Comment	Name	Follow Up Date	Completed
08/02/200	left message w/pro-built	tmm		<input type="checkbox"/>
07/26/200	left message w/pro-built - need 4' frost wall, will windows in existing wall be removed/covered w/drywall, framing 16" oc, what is door to garage?, header sizes	tmm		<input type="checkbox"/>
06/29/200	left message with owner - no side yard setback shown on the plot plan - will need to complete compliance check	mes		<input type="checkbox"/>

CreatedBy **ldobson** CreateDate **06/12/2006** ModBy **tmm** ModDate **08/02/2006**  
Time **3:42 PM** Time **10:31 AM**



# General Building Permit Application

If you or the property **owner** owes real estate or personal property taxes or user **charges** on any property within the City, payment arrangements must be made before **permits** of any kind are accepted.

Location/Address of Construction: <b>155 MILTON STREET</b>		
Total Square Footage of Proposed Structure <b>480</b>		Square Footage of Lot <b>10000</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>333      6008      001</b>	Owner: <b>ALEKSANDAR &amp; BILJANA NEDELJKOVIC</b>	Telephone: <b>207 797-7825</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>ALEKSANDAR NEDELJKOVIC 155 MILTON ST. PORTLAND, ME 04103</b>	cost Of Work \$ <u><b>19,356<sup>00</sup></b></u>  Fee: \$ <u><b>200<sup>00</sup></b></u>  C of O Fee: \$ _____
Current Specific use: <u><b>Single Family Home</b></u> If vacant, what was the previous use: _____ Proposed Specific use: _____		
Project description: <u><b>TO BULD A GARAGE (TO ATACH TO THE HOUSE) . SIZE 24' X 20'</b></u>		
Contractor's name, address & telephone: <b>PRO-BILT GARAGE BUILDERS Co.      793-8629 98 Cramm Rd , Limerick , ME 04048 1-800-679-2846</b>		
Who should we contact when the permit is ready: <u><b>ALEKSANDAR NEDELJKOVIC</b></u> Mailing address: _____ Phone: <u><b>207 797-7825</b></u> <b>155 MILTON ST. PORTLAND , ME 04103</b>		

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

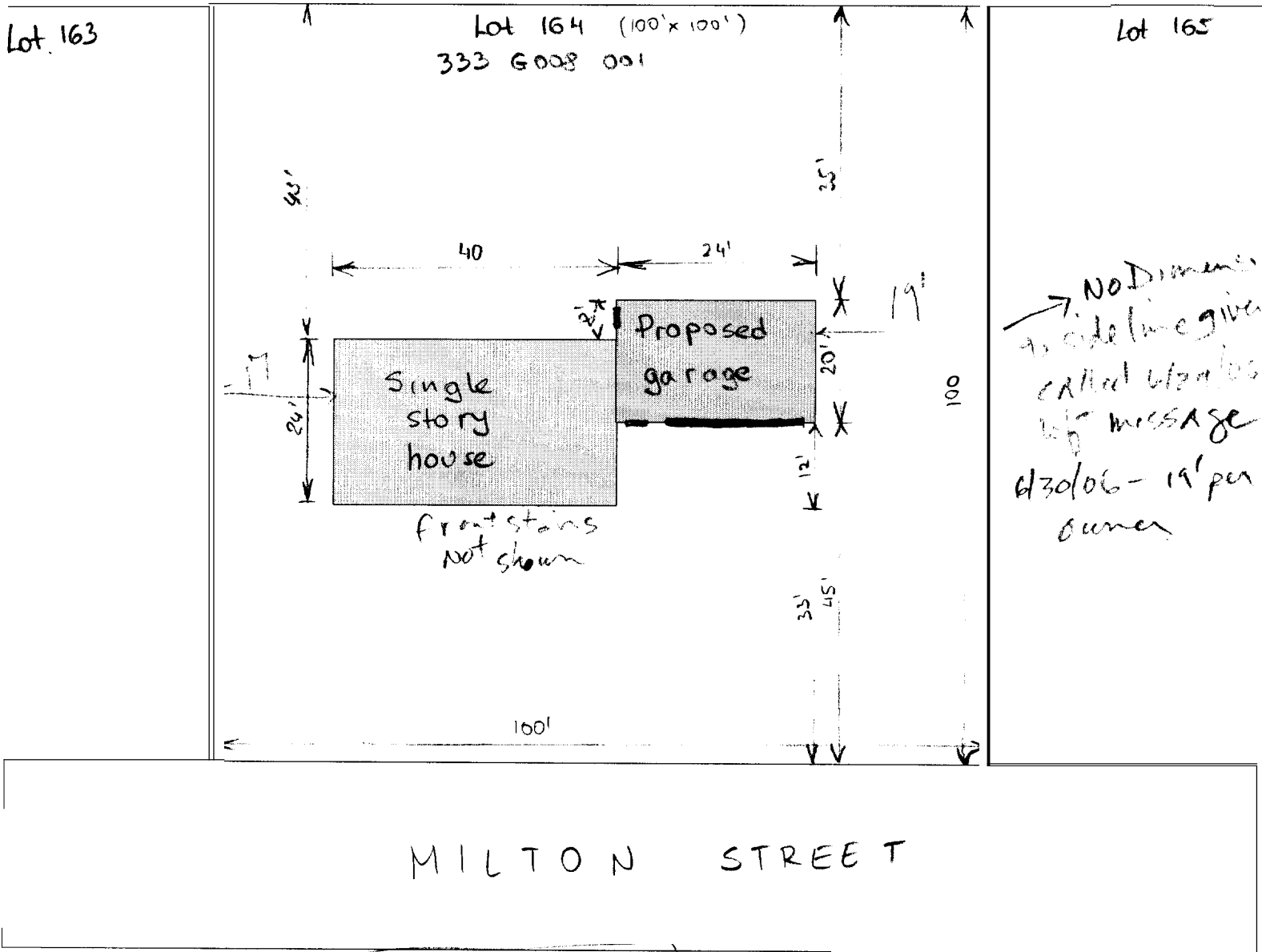
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u><b>Aleksandar Nedeljkovic</b></u>	Date: <u><b>6-10-2006</b></u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

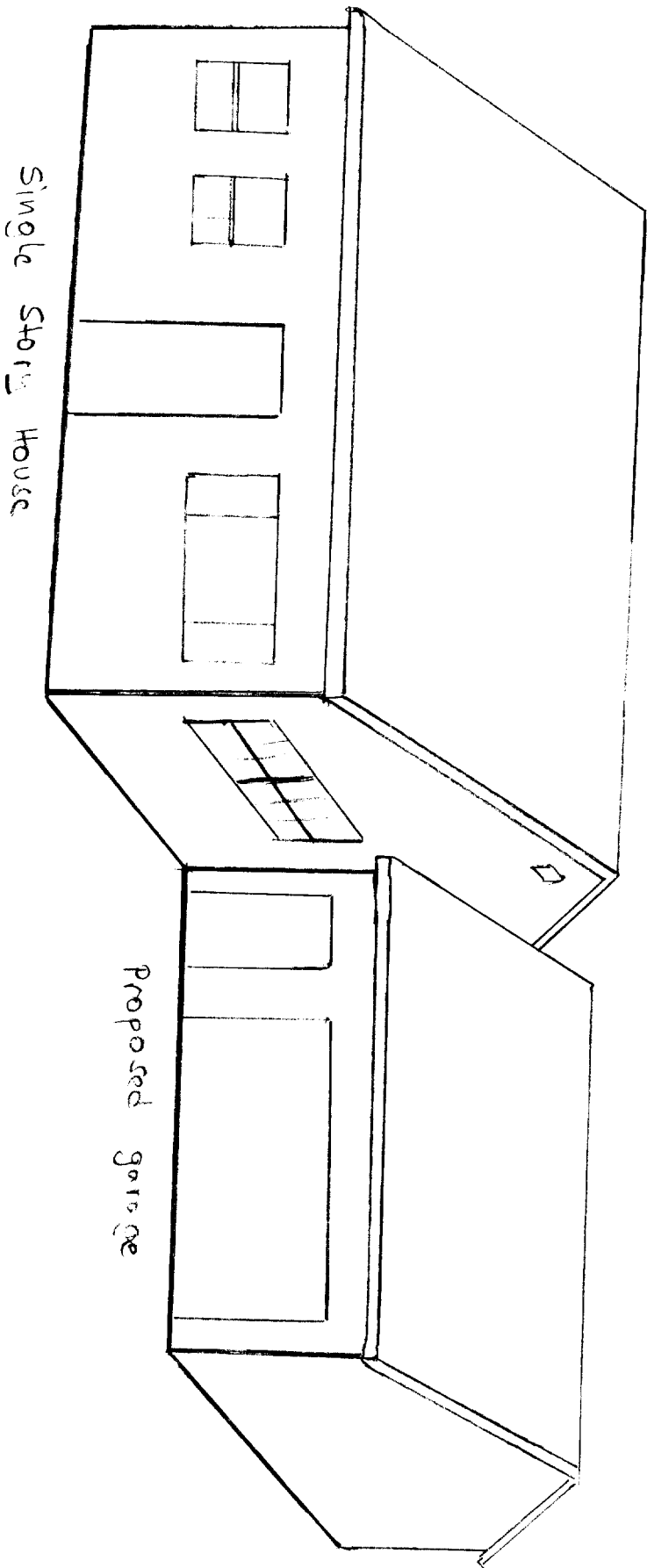
# Site Plot



R-2 - interior lot

Front: 25' min - 45' given  
 Rear: 25' min - 35' given  
 Sides: 12' min - not given - left message 6/29/06  
 1 story  
 Lot Coverage 20% max x 10,000 sq ft = 2,000 sq ft max

24 x 40 = 960  
 new 20 x 24 = 480  
 ? 4 x 8 = 32  
 front steps  
 1472 sq ft

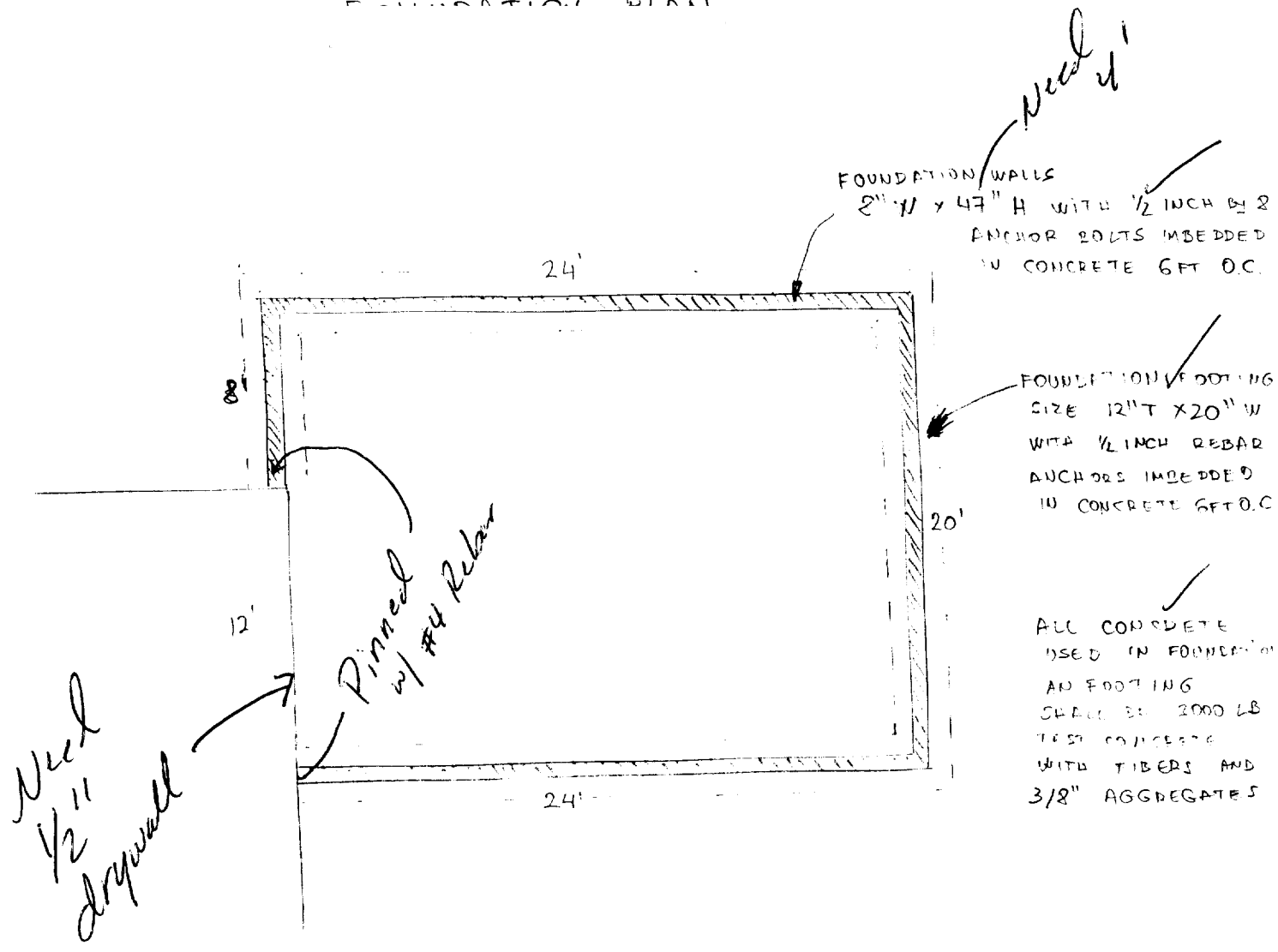


Single Story House

Proposed garage



FOUNDATION PLAN



Need 1/2"

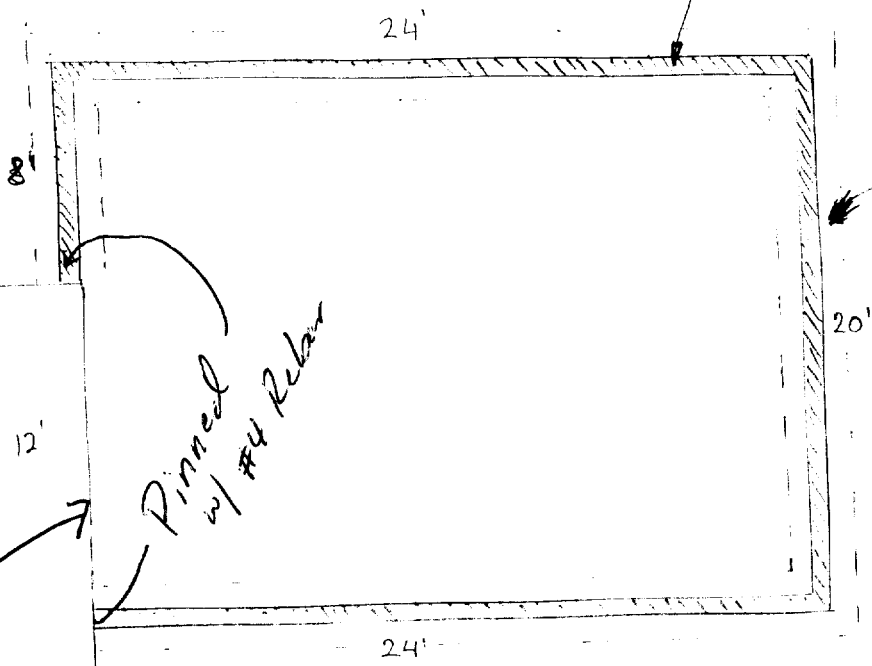
FOUNDATION WALLS  
2" W x 4" H WITH 1/2 INCH BY 2  
ANCHOR BOLTS IMBEDDED  
IN CONCRETE 6 FT O.C.

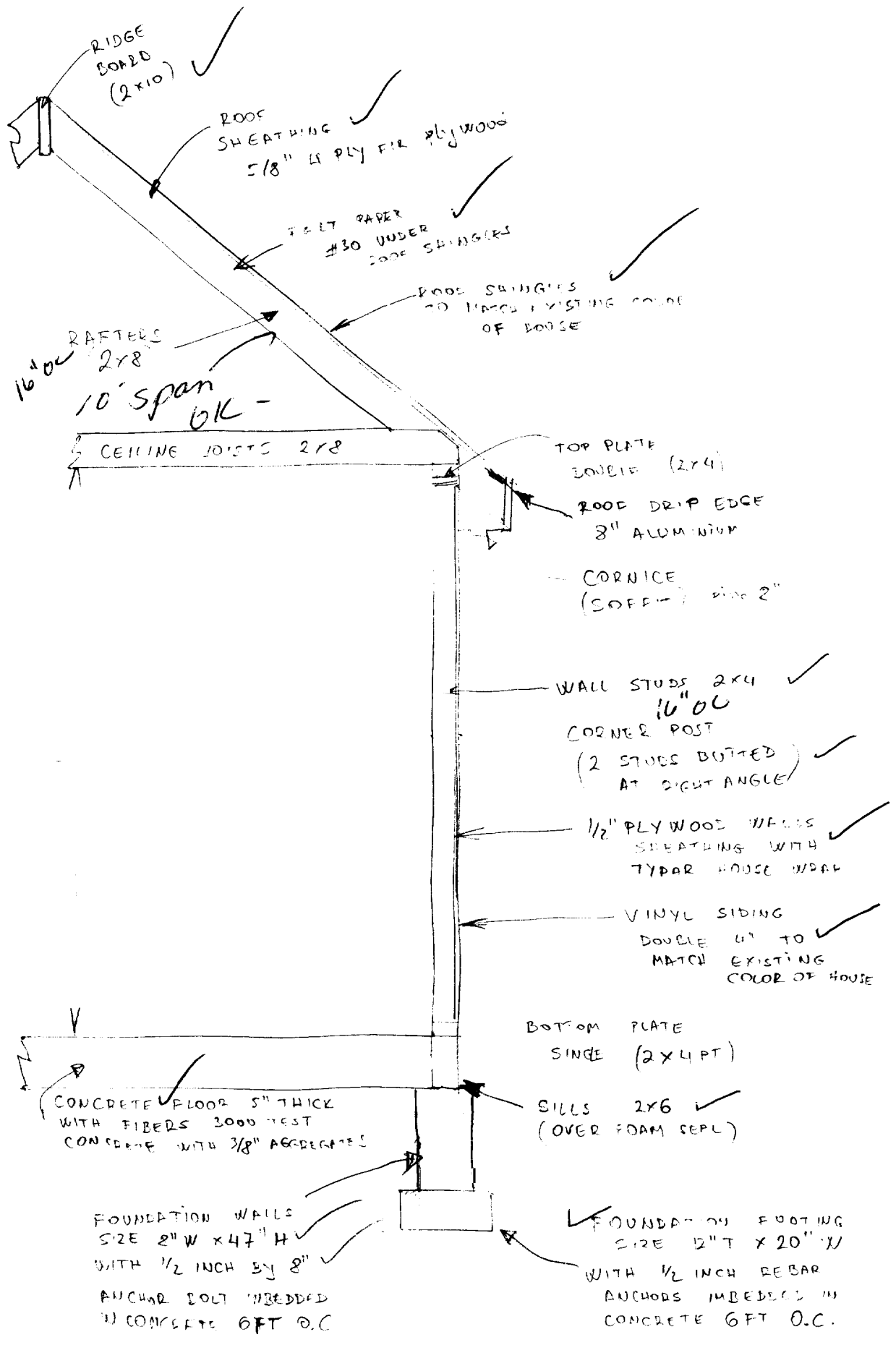
FOUNDATION FOOTING  
SIZE 12" T x 20" W  
WITH 1/2 INCH REBAR  
ANCHORS IMBEDDED  
IN CONCRETE 6 FT O.C.

ALL CONCRETE  
USED IN FOUNDATION  
AND FOOTING  
SHALL BE 2000 LB  
TEST CONCRETE  
WITH FIBERS AND  
3/8" AGGREGATES

Need  
1/2"  
drywall

Pinned  
w/ #4 Rebar





RIDGE BOARD  
(2x10)

ROOF SHEATHING

5/8" L PLY FIR PLYWOOD

FELT PAPER  
#30 UNDER  
SHINGLES

ROOF SHINGLES  
TO MATCH EXISTING COLOR  
OF ROOF

16" OC RAFTERS  
2x8

10' span  
OK -

CEILING JOISTS 2x8

TOP PLATE  
DOUBLE (2x4)

ROOF DRIP EDGE  
8" ALUMINUM

CORNICE  
(SOFFIT) 2" x 2"

WALL STUDS 2x4  
16" OC

CORNER POST  
(2 STUDS BUTTED  
AT RIGHT ANGLE)

1/2" PLYWOOD WALLS  
SHEATHING WITH  
TYPAR HOUSE WRAP

VINYL SIDING  
DOUBLE UP TO  
MATCH EXISTING  
COLOR OF HOUSE

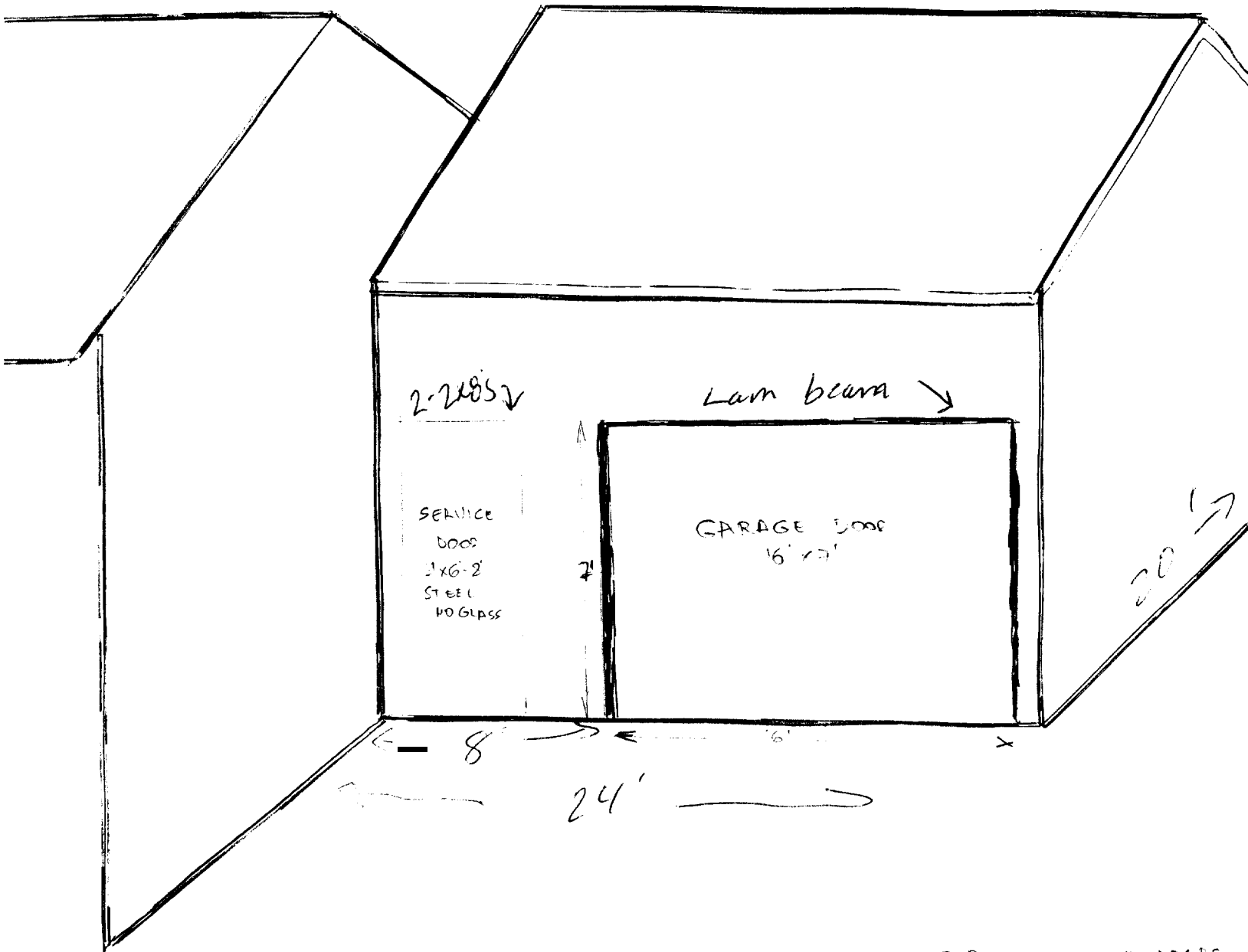
BOTTOM PLATE  
SINGLE (2x4 PT)

SILLS 2x6  
(OVER FOAM SEPL)

CONCRETE FLOOR 5" THICK  
WITH FIBERS 3000 TEST  
CONCRETE WITH 3/8" AGGREGATES

FOUNDATION WALLS  
SIZE 8" W x 47" H  
WITH 1/2 INCH BY 8"  
ANCHOR BOLT IMBEDDED  
IN CONCRETE 6 FT O.C

FOUNDATION FOOTING  
SIZE 12" T x 20" W  
WITH 1/2 INCH REBAR  
ANCHORS IMBEDDED IN  
CONCRETE 6 FT O.C.



DRIVE WAY

2-2x8's  
on all headers  
for window + doors.

GARAGE DOOR HEADERS  
VEBBA Lam beam 5x8

GARAGE DOOR TRIM  
CARVES 1x5 1x6-PINE  
CASTINGS 1x4 - PINE

VINYL SIDING

LAP 4 INCH OVER  
GARAGE WIDTH  
COLOR - TO MATCH EXISTING

went over w/ builder  
 Garage - not in  
 windows in garage in  
 door & windows in  
 garage in  
 Need Solid

Door needs  
 to be changed -  
 to be steel or solid  
 1 3/4" wood.  
 Wall - 1/2" on  
 Splits remain -  
 common

