

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 100976

Please Read Application And Notes, If Any, Attached

This is to certify that

Attendees log!

~~Jim White~~ Jim White

has permission to

build 3 bedroom 1 1/4 bath w/ 15' x 24' garage 2 Story Single Family Home

AT 19 DEDHAM ST

CP 335-6051001

PERMIT ISSUED
SEP 14 2010
City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Penick 9/14/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0976	Issue Date:	CBL: 335 C051001
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Location of Construction: 19 DEDHAM ST	Owner Name: Jim White <i>Mary Amelking Allen Amelking</i>	Owner Address: 2 Farwell Court <i>108 Bramblewood Dr.</i>	Phone:
Business Name:	Contractor Name: Jim White	Contractor Address: 2 Farwell Court Westbrook	Phone: 2078784621
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>R-2</i>

Past Use: Vacant Land	Proposed Use: Single Family Home - build 3 bedroom 1 1/4 bath w/ 15' x 24' garage 2 Story Single Family Home (30' x 26')	Permit Fee: \$1,755.00	Cost of Work: \$166,000.00	CEO District: 5
Proposed Project Description: build 3 bedroom 1 1/4 bath w/ 15' x 24' garage 2 Story Single Family Home (30' x 26')		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type <i>SB</i> <i>IRC-2003</i>	
		Signature:	Signature: <i>JMB 9/14/10</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 08/10/2010	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i>	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland <i>N/A</i>	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone <i>Panel 1-zoned</i>	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan <i>2010-0024</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied <i>ABM</i>
Date: <i>8/27/10 ABM</i>	Date: _____	Date: _____

PERMIT ISSUED

SEP 14 2010

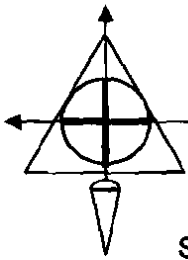
City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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ROBERT T. GREENLAW, PLS

September 17, 2010

Mr. Nicholas Adams
The City of Portland
Inspections Department
389 Congress Street
Portland, Maine 04101

**RE: Staking out of foundation at 19 Dedham Street.
Tax map 335-C- Lots 51-52-53**

Please accept this letter as certification that on September 17, 2010 I personally staked out the foundation placement of the proposed home located at the above address.

Metal spikes were set in the foundation hole for the foundation crew to place their forms in the correct position.

The foundation as staked today meets the City of Portland requirements for the R-2 zone setbacks of which this property is located in.

Please feel free to contact me should you have any questions.

Sincerely,

Robert T. Greenlaw

Robert T. Greenlaw, PLS
Maine Professional Land Surveyor #2303

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0976	Date Applied For: 08/10/2010	CBL: 335 C051001
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Location of Construction: 19 DEDHAM ST	Owner Name: Allen James King & Mary Anne Kin	Owner Address: 108 Bramblewood	Phone:
Business Name:	Contractor Name: Jim White	Contractor Address: 2 Farwell Court Westbrook	Phone (207) 878-4621
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - build 3 bedroom 1¼ bath w/ 15' x 24' garage 2 Story Single Family Home (32' x 26')	Proposed Project Description: build 3 bedroom 1¼ bath w/ 15' x 24' garage 2 Story Single Family Home (32' x 26')
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Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 08/27/2010

Note: Permit #10-1032 has been applied for to move the garage at 132 Newton Street so it meets the required rear setback for the lot split that created this lot. Ok to Issue:

- 1) This permit is being issued with the condition that the certificate of occupancy will not be issued until the garage at 132 Newton Street (Permit #10-1032) is relocated to meet the rear setback of 25'.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 09/14/2010

Note: Ok to Issue:

- 1) The attic is approved for storage use only.
- 2) A separate application for permit shall be submitted for a rear deck or steps accessed by the sliding door, which on this permit a code compliant barrier is approved for fall protection.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant with revisions dated 9/14/10. Any deviation from approved plans requires separate review and approval prior to work.
- 5) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: DRC Status: Approved with Conditions Reviewer: Philip DiPierro Approval Date: 09/03/2010

Note: Ok to Issue:

- 1) Erosion control shall be extended around all disturbed areas.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Location of Construction: 19 DEDHAM ST	Owner Name: Allen James King & Mary Anne Kin	Owner Address: 108 Bramblewood	Phone:
Business Name:	Contractor Name: Jim White	Contractor Address: 2 Farwell Court Westbrook	Phone (207) 878-4621
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

8/19/2010-amachado: Spoke to the contractor, Jim White. Told him that I needed scalable siteplan and full sized building plans. Told him tha the garage at 132 Newton Street has to be relocated to meet the rear setback created by the lot split.

8/19/2010-amachado: Spoke to John Ossie at FMC Cadd. He told me that the survey scales at 1" = 30'. He also said that Christopher Ray, engineer, took Bob Greenlaw's survey and added the house to it. He said that he would bring in full size set of building plans. I told him that the garage at 132 Newton Street had to be moved to meet the 25' rear setback for R-3 zone since this lot was split from 132 Newton Street. Right now the propsoed lot is not conforming and the building permit cannot be issued until a permit for 132 Newton Street is applied for and the garage is actually relocated.

8/19/2010-amachado: Completed my initial review. Rear yard scales at 24' from the right rear corner of the building to the property line - it needs to be 25'. Need a second parking space beyond the 25' front setback. Emailed Phil. Waiting for his punch list before I call John Ossie.

8/23/2010-amachado: Spoke to John Ossie at the counter. Told him the house needs to meet the 25' rear setback and need second parking space. Applied for permit to move garage at 132 Newtons Street.

8/27/2010-amachado: Received revised siteplan and full size plans.

9/3/2010-jmb: Received DRC approval via email

9/10/2010-jmb: Left vcmg for John O. For details as noted on the plan review checklist

9/13/2010-jmb: John O. Called and will submit revised plans.

9/14/2010-jmb: Received revised plans, ok to issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

SEP 14 2010

City of Portland

19 Dedham St

CBL: 335-C-051

BP: 10-0976

2/2/00

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Component	Approved Plan	Binding Revisions Date
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	12" x 24" drainage down	damproof, filter fabric ①
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Drainage →	①
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)		? ②
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	w 8x28 steel & 3-2x12	need steel spec ③
Sill/Band Joist Type & Dimensions	2x6 PT 2x12	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12 16" @ C. ? - Floor Plan OR 2x10 OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 OK 2x12 @ 16" OC. OR 2x10 OK Garage 2x12 @ 15'	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	1x10 on Section A-4 (2x10 16" oc.)	min 2x6 @ 13' span 16" oc. ④

→ Section does not
match up with Floor
framing A-3

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8))	12:12 @ 12:6 garage 8:12 house	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x12 @ 16" oc. 2x8 @ dormer	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" T+G, 1/2" OSB 5/8" T+G	
Fastener Schedule (Table R602.3(1) & (2))		need reference (5)
Private Garage (Section R309) Living Space? (Above or beside)	yes yes	
Fire separation (Section R309.2)	Show ceiling 1 in (?) & walls	walls - type of S.R. (6)
Opening Protection (Section R309.1)		need spec (7)
Emergency Escape and Rescue Openings (Section R310)		need spec (7)
Roof Covering (Chapter 9)	Asphalt Shingles	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)		not shown (stair)
Chimney Clearances/Fire Blocking (Chap. 10)		Fire Block/spacing (8)
Header Schedule (Section 502.5(1) & (2))		need spec (9)
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Roof R-38	wall/FL R-21 window U Factor max. .35 (10)

Type of Heating System		Spec.	(11)
Means of Egress (Sec R311 & R312)			
Basement	yes		
Number of Stairways	4		
Interior	3		
Exterior	1	→ Not shown	(12)
Treads and Risers (Section R311.5.3)	7 1/2" Rise		
Width (Section R311.5.1)	7-21/32"		
Headroom (Section R311.5.2)	7-13/32"		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	6'8" + scaled		
Smoke Detectors (Section R313) Location and type/Interconnected		Need details	(13)
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)		Need spec	(14)
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A		
Deck Construction (Section R502.2.1)		Sliver - no deck shown	(15)



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

8.10. 20 10

Issued from White House

Location of Work 19 DeLima St

Cost of Construction \$ _____ Building Fee: 416.36

Permit Fee \$ _____ Site Fee: 200

Certificate of Occupancy Fee: 75

Total: 2055

Building (B) _____ Plumbing (P) _____ Electrical (E) _____ Site Plan (SZ) _____

Other _____

Account # 335.081

Check # 18870 Total Collected \$ 2055

No work is to be started until permit issued.
 Please keep original receipt for your records.

Issued by: [Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy

Lannie Dobson - 19 Dedham Street - Single Family Site Plan Approval

From: Phillip DiPierro
To: Code Enforcement & Inspections
Date: 9/3/2010 11:42 AM
Subject: 19 Dedham Street - Single Family Site Plan Approval

Hi all, this project, site plan #2010-0024 at 19 Dedham Street, meets minimum DRC site plan requirements for the issuance of the building permit. Please see UI for sign off.

Thanks.

Phil



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>19 Deham St</u>		
Total Square Footage of Proposed Structure/Area <u>4,1923</u>	Square Footage of Lot <u>12,757</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>335</u> Block# <u>C</u> Lot# <u>51</u>	Applicant <u>must be owner, Lessee or Buyer</u> Name <u>Jim White</u> Address <u>2 Farewell Court</u> City, State & Zip <u>Westbrook, ME 04092</u>	Telephone: <u>166</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mary Anne? Allard</u> Address <u>1st Bunkwood Dr</u> City, State & Zip <u>Bethel ME 04103</u>	Cost Of Work: \$ <u>1680</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>300</u> <u>2055</u>
Current legal use (i.e. single family) <u>Vacant Land</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family Home</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>3 bedroom 1 3/4 15x24 Garage 2 story</u>		
Contractor's name: <u>White Homes Inc Jim White</u> Address: <u>2 Farewell Court</u> City, State & Zip <u>Westbrook ME 04092</u> Telephone: <u>838-3341</u> Who should we contact when the permit is ready: <u>Jim White</u> Telephone: <u>838-3342</u> Mailing address: <u>2 Farewell Court Westbrook ME 04092</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: [Signature] Date: 8/1/2010 AUG 10 2010
 This is not a permit; you may not commence ANY work until the permit is issued.
 Dept of Building Inspection
 City of Portland Maine

Applicant: Mary Anne & Allen Jones City

Date: 8/19/10

Address: Ki Dedham St.

C-B-L: 3350-51 (52153)

permit # 10-0976

CHECK-LIST AGAINST ZONING ORDINANCE

* revised site plan rec'd 8/27/12

Date - NW

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - new single family home - 2 stories - 32' x 26' w/ attached 15' x 24' garage

Sewage Disposal - City

Lot Street Frontage - 50' min. - 125' street scaled OK

Front Yard - 25' min. - ~~25'~~ scaled to front steps; ~~25'~~ scaled to house OK
LOKUL section 14-425.

* Rear Yard - 25' min. - ~~25'~~ scaled 25.5 scaled OK

Side Yard - 1 1/2 by 12' min right side 14' scaled OK
2 5 by 14' min left side 3' scaled OK

Projections - bulkhead 5' x 6' - front stairs 5' x 6'

Width of Lot - 80' min. - ~~80'~~ scaled OK

* Height - 35' max - 24.75' scaled OK

Lot Area - 10,000 sq ft min. - 12,257.4' given

32 x 26 = 832
15 x 24 = 360
5 x 6 = 30
5 x 6 = 30
1252 + OK

Lot Coverage Impervious Surface - 20% = 2451.48 sq ft

Area per Family - 10,000 sq ft OK

* Off-street Parking - 2 spaces required - 1 in garage need second parking space beyond 25' setback. 1 shown beside garage.

Loading Bays - N/A

Site Plan - minor/initial 2010-0024

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 1 - zone C

* permit # 10-1032 to relocate garage @ 132 Newton St - so this lot meets the lot split that created this lot meets the zoning requirements

Ann Machado - 19 Dedham Street

From: Ann Machado
To: Philip DiPierro
Date: 8/19/2010 4:14 PM
Subject: 19 Dedham Street

Phil -

I have completed my review. I left you a voice mail saying that the site plan scales at 1" = 30'.

Here are my two issues:

- the rear setback scales at 24' from the right corner of the house. It needs to be 25'.
- they need a second parking space beyond the 25' front setback.

I have not called John Ossie back on these two things because I'm waiting for you to complete your review.

Thanks.

Ann

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2010-0024

Application I. D. Number

8/10/2010

Application Date

Marge Schmuckal

Single Family Home

Project Name/Description

White Jim

Applicant

2 Farewell Court, Westbrook, ME 04092

Applicant's Mailing Address

Jim White

Consultant/Agent

19 - 19 Dedham St , Portland, Maine

Address of Proposed Site

Applicant Ph: (207) 878-3361 Agent Fax:

335 C051001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed Area of the Site	Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/10/2010

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

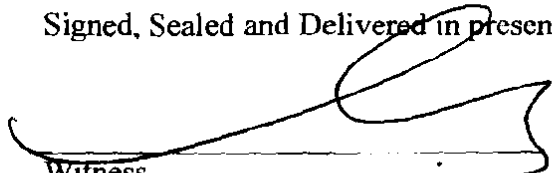
- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

WARRANTY DEED

Steven Fowler-Greaves and Jennifer Fowler-Greaves of Portland, Cumberland County, Maine, for consideration paid, grants **Allen James King and Mary Anne King** of Portland, Cumberland County, Maine, with Warranty Covenants, as joint tenants and not as tenants in common, the following described real property situated in the City of Portland, Cumberland County, State of Maine, more particularly described in Exhibit A, attached hereto.


Witness our hands and seals this 6th day of August, 2010.

Signed, Sealed and Delivered in presence of:


Witness


Steven Fowler-Greaves

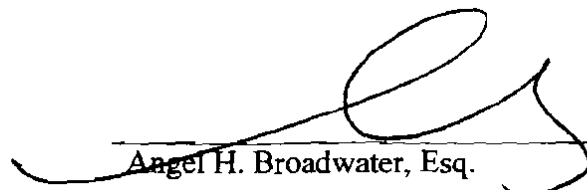
to both
Witness


Jennifer Fowler-Greaves by Steven
Fowler-Greaves, her Attorney in
Fact *Attorney of,*

STATE OF MAINE,
CUMBERLAND County, ss.

August 6, 2010

Personally appeared the above named Steven Fowler-Greaves and acknowledged the foregoing instrument to be his free act and deed, before me,


Angel H. Broadwater, Esq.

The above described parcel is SUBJECT TO an easement granted by Blinn A. Salisbury & Flora Salisbury to the Portland Water District dated December 2, 1953 and recorded in Book 2156, Page 453 of the CCRD.

The above described parcel is shown as Lot #B on plan entitled Boundary Survey and Lot Split on Dedham and Newton Street Portland, Cumberland County Maine, dated January 8, 2007, prepared by Boundary Engineering Survey Technology, Inc.

All aforementioned rebar set are #5 rebar with plastic surveyor caps stamped "BEST #2336".

ALSO TOGETHER WITH rights and easements and SUBJECT TO terms and conditions as set forth in an Easement Deed from Portland Water District to Jennifer Fowler-Greaves and Steven Fowler-Greaves dated November 2, 2009, and recorded in Book 27470, Page 174.

MEANING AND INTENDING to describe the premises set forth in Deed from Rachel M. Britting to Steven Fowler-Greaves and Jennifer Fowler-Greaves dated August 17, 2007, and recorded in Book 25400, Page 296.

20100926

ADDENDUM TO HUD-1

STATEMENT OF MORTGAGE LOAN APPLICANT


I/We have read this disclosure form and understand its contents, as evidenced by my/our signatures below.

I have carefully reviewed the HUD-1 Settlement Statement and to the best of my knowledge and belief, it is a true and accurate statement of all receipts and disbursements made on my account or by me in this transaction. All information on the attached HUD-1 is as it appeared at the time of execution. No changes or additions have been made to the document since the time of closing. I further certify that I have received a copy of the HUD-1 Settlement Statement.



ALLEN JAMES KING

Dated: 8/6/2010



MARY ANNE KING

Dated: 8/6/2010

STATEMENT OF SETTLEMENT AGENT

The HUD-1 Settlement Statement which I have prepared is a true and accurate account of this transaction. No changes or additions have been made to the document since the time of closing. I have caused the funds to be disbursed in accordance with this statement. I further accept all responsibility related to the preparation, disbursement, and disclosure of the information contained on the HUD-1 as presented to the lender.

CUSO MORTGAGE CORPORATION

Dated: 8/6/2010

STATEMENT OF SELLER

I certify that all amounts on the HUD-1 Settlement Statement chargeable to the purchaser and to HUD (if applicable) are authorized charges and that the amounts are accurate to the best of my knowledge and belief.

STEVEN FOWLER-GREAVES

Dated: 8/6/2010

JENNIFER FOWLER-GREAVES

Dated: 8/6/2010

WARNING!! It is a crime to knowingly make false statements to the United States on this or any other similar form. Penalties upon conviction can include a fine and imprisonment. For details, see Title 18, U.S. Code Sections 1001 and 1010.



* 0599900*

RETTD

00

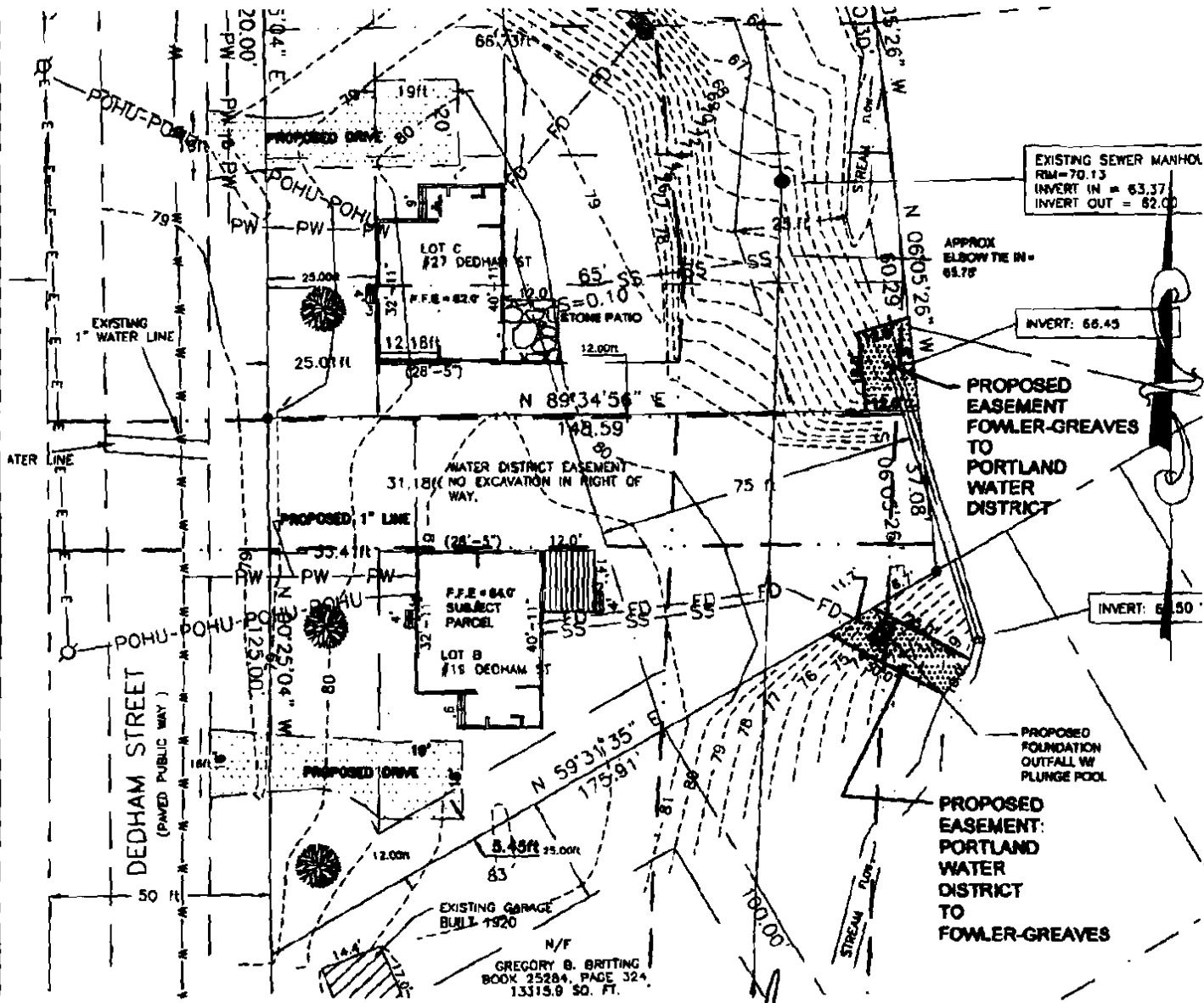
**MAINE REVENUE SERVICES
REAL ESTATE TRANSFER TAX
DECLARATION**

TITLE 36, M.R.S.A. SECTIONS 4641-4641N

PLEASE TYPE OR PRINT CLEARLY

1. COUNTY CUMBERLAND		DO NOT USE RED INK!	
2. MUNICIPALITY/TOWNSHIP PORTLAND		BOOK/PAGE—REGISTRY USE ONLY	
3. GRANTEE/ PURCHASER	3a) Name (LAST, FIRST, MI) KING, ALLEN JAMES	3b) SSN or Federal ID 007-78-3362	
	3c) Name (LAST, FIRST, MI) KING, MARY ANNE	3d) SSN or Federal ID 030-62-1976	
	3e) Mailing Address 108 BRAMBLEWOOD 3f) City PORTLAND		
		3g) State ME	3h) Zip Code 04103
4. GRANTOR/ SELLER	4a) Name (LAST, FIRST, MI) FOWLER-GREAVES, STEVEN	4b) SSN or Federal ID 004-60-1146	
	4c) Name (LAST, FIRST, MI) FOWLER-GREAVES, JENNIFER	4d) SSN or Federal ID 446-48-7799	
	4e) Mailing Address 661 Allen Avenue 4f) City PORTLAND		
		4g) State ME	4h) Zip Code 04103
5. PROPERTY	5a) Map 335 Block C Lot 51-53 Sub-Lot 5c) Physical Location 19 DEDHAM STREET	Check any that apply: <input type="checkbox"/> No tax maps exist <input type="checkbox"/> Multiple parcels <input type="checkbox"/> Portion of parcel	5b) Type of property—Enter the code number that best describes the property being sold. (See instructions) 201 5d) Acreage:
6. TRANSFER TAX	6a) Purchase Price (if the transfer is a gift, enter "0")		6a 75000.00
	6b) Fair Market Value (enter a value only if you entered "0" in 6a) or if 6a) was of nominal value)		6b .00
	6c) Exemption claim - <input type="checkbox"/> Check the box if either grantor or grantee is claiming exemption from transfer tax and explain.		
7. DATE OF TRANSFER (MM-DD-YYYY) 08-06-2010 MONTH DAY YEAR		8. WARNING TO BUYER—If the property is classified as Farmland, Open Space or Tree Growth, a Substantial financial penalty could be triggered by development, subdivision, partition or change in use. <input type="checkbox"/> CLASSIFIED	
9. SPECIAL CIRCUMSTANCES—Were there any special circumstances in the transfer which suggest that the price paid was either more or less than its fair market value? If yes, check the box and explain: <input type="checkbox"/>		10. INCOME TAX WITHHELD—Buyer(s) not required to withhold Maine income tax because: <input checked="" type="checkbox"/> Seller has qualified as a Maine resident <input type="checkbox"/> A waiver has been received from the State Tax Assessor <input type="checkbox"/> Consideration for the property is less than \$50,000	
11. OATH	Aware of penalties as set forth by Title 36 §4641-K, we hereby swear or affirm that we have each examined this return and to the best of our knowledge and belief, it is true, correct, and complete. Grantee(s) and Grantor(s) or their authorized agent(s) are required to sign below: Grantee <u>[Signature]</u> Date <u>8/6/10</u> Grantor <u>[Signature]</u> Date <u>8-6-10</u> Grantee <u>[Signature]</u> Date <u>8/6/10</u> Grantor <u>[Signature]</u> Date <u>8-6-10</u>		
12. PREPARER	Name of Preparer Angel Broadwater, Esq. Mailing Address 18 Pleasant Street Brunswick, ME 04011	Phone Number 373-9314 / angel@ E-Mail Address broadwaterlaw.org	

PLAN SHOWING PROPOSED
EASEMENTS BETWEEN:
JENNIFER FOWLER-GREAVES,
STEVE FOWLER-GREAVES
AND THE PORTLAND WATER DISTRICT.
#19 & 27 DEDHAM STREET
PORTLAND, MAINE



EXISTING SEWER MANHOLE
RIM=70.13
INVERT IN = 63.37
INVERT OUT = 62.00

APPROX
ELBOW TIE IN =
68.78

INVERT: 66.45

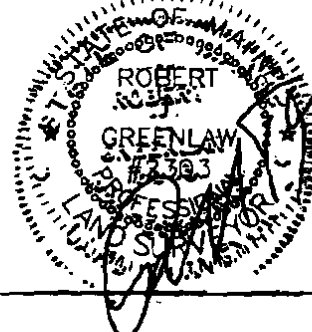
PROPOSED
EASEMENT
FOWLER-GREAVES
TO
PORTLAND
WATER
DISTRICT

INVERT: 61.50

PROPOSED
FOUNDATION
OUTFALL W/
PLUNGE POOL

PROPOSED
EASEMENT:
PORTLAND
WATER
DISTRICT
TO
FOWLER-GREAVES

RECORD OWNER OF PARCELS:
JENNIFER FOWLER-GREAVES
AND STEVEN FOWLER-GREAVES
AS DESCRIBED IN A DEED
RECORDED IN THE
CUMBERLAND COUNTY REGISTRY
OF DEEDS IN DEED BOOK
25400, PAGE 293&294.



PREPARED FOR: THE PORTLAND WATER
DISTRICT
BY: OCEAN PARK LAND SURVEYING P.O.
BOX 7265 OCEAN PARK, MAINE 04063
207-749-9471
DATE: JUNE 24, 2009 SCALE: 1"=40'

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services	CBL	335 C054001
	Land Use Type	SINGLE FAMILY
	Property Location	132 NEWTON ST
Applications	Owner Information	BRITTING GREGORY B 132 NEWTON ST PORTLAND ME 04103
Doing Business	Book and Page	25284/324
Maps	Legal Description	335-C-54-55-56-57 NEWTON ST 126-136 DEOHAM ST 1-9 13352 SF
Tax Relief	Acres	0.307
Tax Roll		



Q & A

Current Assessed Valuation:

browse city services a-z	TAX ACCT NO.	50302	OWNER OF RECORD AS OF APRIL 2010 BRITTING GREGORY B
browse facts and links a-z	LAND VALUE	\$61,500.00	132 NEWTON ST PORTLAND ME 04103
	BUILDING VALUE	\$99,900.00	
	HOMESTEAD EXEMPTION	(\$10,000.00)	
	NET TAXABLE - REAL ESTATE	\$151,400.00	
	TAX AMOUNT	\$2,713.10	



Best viewed at 800x600, with Internet Explorer

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

Year Built	1920
Style/Structure Type	OLD STYLE
# Stories	1
Bedrooms	2
Full Baths	1
Total Rooms	5
Attic	FULL FINISH
Basement	FULL
Square Feet	986
View Sketch	View Map View Picture



Outbuildings/Yard Improvements:

Card 1

Year Built	1940
Structure	GARAGE-WD/CB
Size	14X24
Units	1
Grade	C
Condition	F

Sales Information:

Sale Date	Type	Price	Book/Page
7/12/2007	LAND + BUILDING	\$0.00	25284/324



* original house lot that lot was split from

Applicant:

Date: 8/19/10

Address: 132 Newton St.

C-B-L: 335-C-54 (55,56,57)

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built. 1920

Zone Location - R-3

Interior or corner lot

Proposed Use/Work - existing $1\frac{1}{2}$ story house, 14x24' garage

Sewage Disposal -

Lot Street Frontage - 50' frontage - 277.99 OK

Front Yard - N/A

Rear Yard - 25' - will be 25' when garage relocated (perm # 10-1032)

Side Yard - side street - 20' - 19' ^{garage} was 12' - now ~~by~~ ^{containing} now.

Projections -

Width of Lot - 65' - N/A

Height -

Lot Area - 6500 ϕ - 13352 ϕ

Lot Coverage Impervious Surface - 35% = 4673.2 ϕ

Area per Family - 6500 ϕ OK

garage 14x20 (280)
house 821

1106 ϕ OK

Off-street Parking - N/A

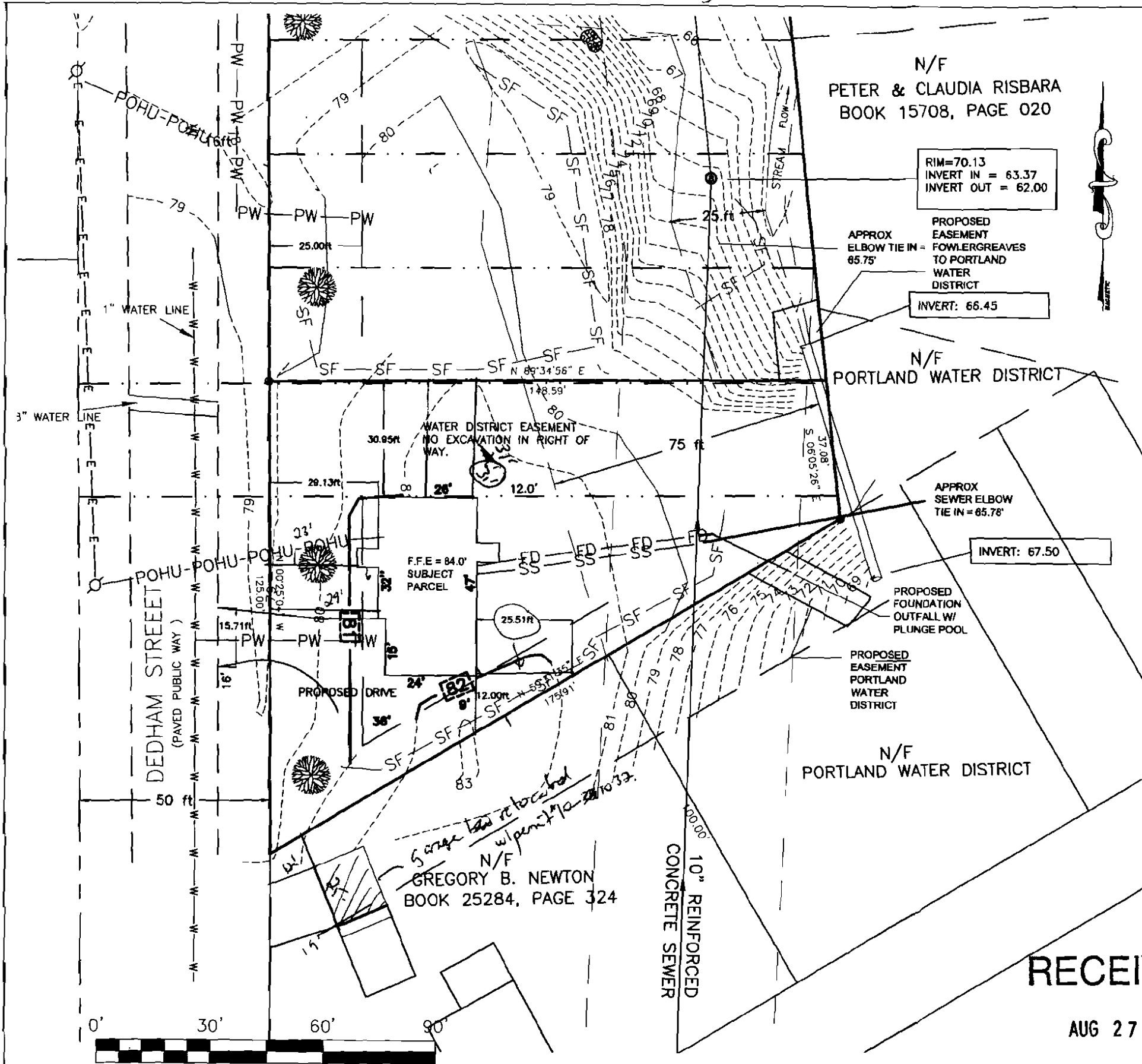
Loading Bays -

Site Plan -

N/A

Shoreland Zoning/ Stream Protection -

used for zoning



N/F
 PETER & CLAUDIA RISBARA
 BOOK 15708, PAGE 020

RIM=70.13
 INVERT IN = 63.37
 INVERT OUT = 62.00

APPROX
 ELBOW TIE IN =
 85.75'

PROPOSED
 EASEMENT
 FOWLERGREAIVES
 TO PORTLAND
 WATER
 DISTRICT

INVERT: 66.45

N/F
 PORTLAND WATER DISTRICT

WATER DISTRICT EASEMENT
 NO EXCAVATION IN RIGHT OF
 WAY.

APPROX
 SEWER ELBOW
 TIE IN = 85.78'

INVERT: 67.50

PROPOSED
 FOUNDATION
 OUTFALL W/
 PLUNGE POOL

N/F
 PORTLAND WATER DISTRICT

N/F
 GREGORY B. NEWTON
 BOOK 25284, PAGE 324

10" REINFORCED
 CONCRETE SEWER

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JENNIFER FOWLER-GREAIVES AND STEVEN FOWLER-GREAIVES AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 25400, PAGE 296.
2. BEARINGS ARE BASED UPON A MAGNETIC NORTH OBSERVATION TAKEN WITH A HAND HELD COMPASS DURING THE YEAR 2005.
3. AREA OF PARCEL: 12257.4 SQUARE FEET.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 a. WOODFORDS GARDENS OWNED BY J.W. WLBUR Co. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 13, PAGE 75. RECOVERED FROM THE CITY OF PORTLAND ENGINEERING VAULT IN DRAWER 200/2
 b. CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS NEWTON STREET BRANCH PRESUMSCOT NORTH INTERCEPTOR SEWER AS BUILT PLAN DATED 08-1975
 c. CITY OF PORTLAND TAX MAP 335-C-LOTS SHOWN AS 22,23&50
 d. SURVEY OF WATT SAMAKI TEMPLE 2 DEOHAM STREET PORTLAND MAINE PREPARED BY BACK BAY BOUNDARY INC. 2005 NOT RECORDED.
5. NO CHANGE TO THE EXISTING TOPOGRAPHY IS PLANNED WITH THE EXCEPTION OF THE DITCH AND FINAL LANDSCAPING.
6. NO EASEMENTS WERE DISCOVERED AS PART OF THIS SURVEY.

ZONING: R-2 RESIDENTIAL
 MINIMUM YARDS: FRONT - 25 FT; REAR - 25 FT;
 SIDE - 1&1/2 STORY: 12 FT; 2 STORIES: 14 FT; 2-1/2 STORIES: 16 FT
 ON SIDE STREET: 20 FT
 MINIMUM LOT SIZE: 10,000 SQ FT
 MINIMUM STREET FRONTAGE: 50 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MAXIMUM LOT COVERAGE: 20%
 MINIMUM LOT WIDTH: 80 FT

FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 230051-7C, WHICH BEARS AN EFFECTIVE DATE OF 12/08/01 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- Cooped Rebar or Iron Pipe Found
- △ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- u — Overhead Utility
- ⊙ Utility Pole
- Utility Pole
- 98 — Contour Line
- 98 — Proposed Contour Line
- SS — Sewer Lateral from House
- FD — Foundation Drain
- PW — Proposed Water Service
- POHU — Proposed Overhead Utilities
- SF — Proposed Silt Fence
- ⊙ Proposed Street Tree
- 2-1/2" Minimum Diameter

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S.

DATE:06-11-2008

PROPOSED SITE PLAN

FOR A PROPOSED NEW 1 1/2 STORY DWELLING
 DEDHAM STREET, PORTLAND, MAINE

FOR:
 FOWLER-GREAIVES CONSTRUCTION

DRAWN BY:RTG

CHECKED BY:MMB

SCALE: 1"=30'

DATE OF SURVEY: 06-10-2008

JOB NUMBER:
 2008004

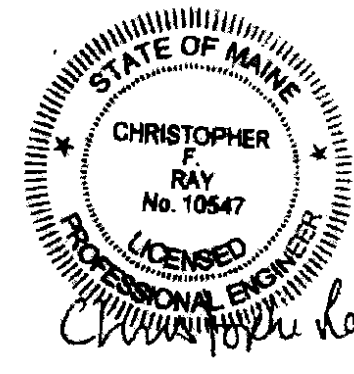
SHEET: 2 of 3.

PREPARED BY:
 OCEAN PARK LAND SURVEYING LLC

P.O. BOX 7265

OCEAN PARK, MAINE 04063

207-749-9471 OCEANPARKLLC@GWI.NET



RECEIVED

AUG 27 2010

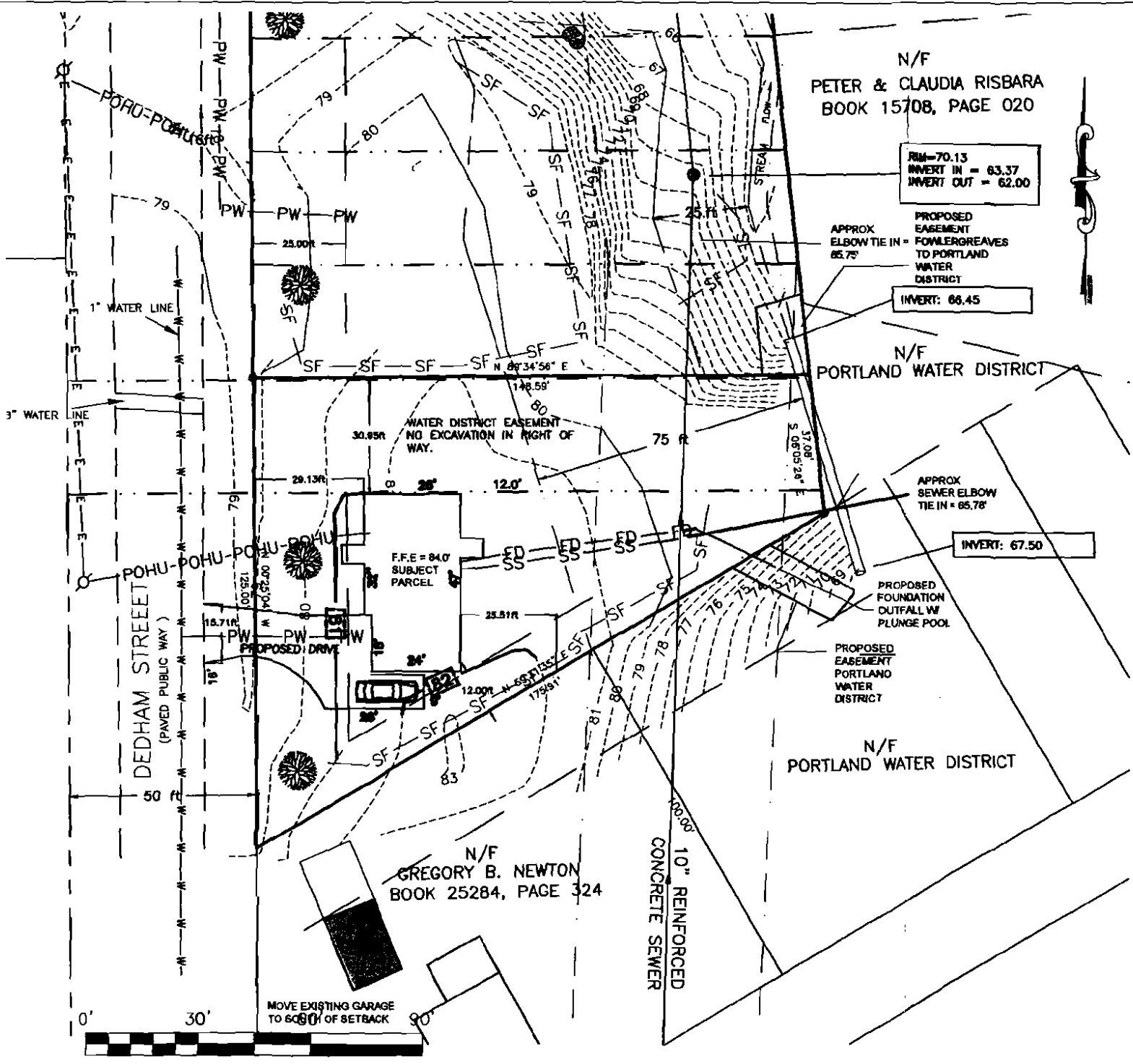
Dept. of Building Inspections
 City of Portland Maine

DRAWER:2008 NO:004

AUG 27 2010

Dept. of Building Inspections
City of Portland Maine

*show & stand
paving form*



GENERAL NOTES:

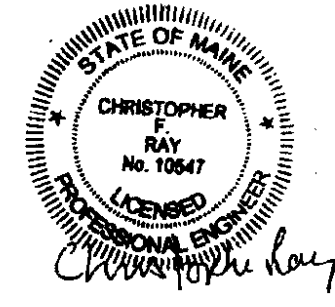
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 - SURVEY OF WATT SAMANKI TEMPLE 2 DEDHAM STREET PORTLAND MAINE, PREPARED BY BACK BAY BOUNDARY INC. 2006 NOT RECORDED.
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 - NO EASEMENTS WERE DISCOVERED AS PART OF THIS SURVEY.

ZONING: R-2 RESIDENTIAL
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FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 230051-7C, WHICH BEARS AN EFFECTIVE DATE OF 12/08/01 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- Copped Rebar or Iron Pipe Found
- ◁ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
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- u — Overhead Utility
- ⊙ Utility Pole
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- SF — Proposed Silt Fence
- ⊙ Proposed Street Tree
- 2-1/2" Minimum Diameter



SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S.

DATE: 08-11-2008

PROPOSED SITE PLAN
 FOR A PROPOSED NEW 1 1/2 STORY DWELLING
 DEDHAM STREET, PORTLAND, MAINE
 FOR:
 FOWLER-GREAVES CONSTRUCTION

DRAWN BY: RTG
 CHECKED BY: MMB
 SCALE: 1"=30'
 DATE OF SURVEY: 08-10-2008
 JOB NUMBER: 2008004
 SHEET: 2 of 3

PREPARED BY:
 OCEAN PARK LAND SURVEYING LLC
 P.O. BOX 7265
 OCEAN PARK, MAINE 04063
 207-749-9471 OCEANPARKLLC@GWI.NET

DRAWER: 2008 NO: 004

New Residence for Allen and Mary King

Dedham Street, Lot C, Portland, ME



Drawing List

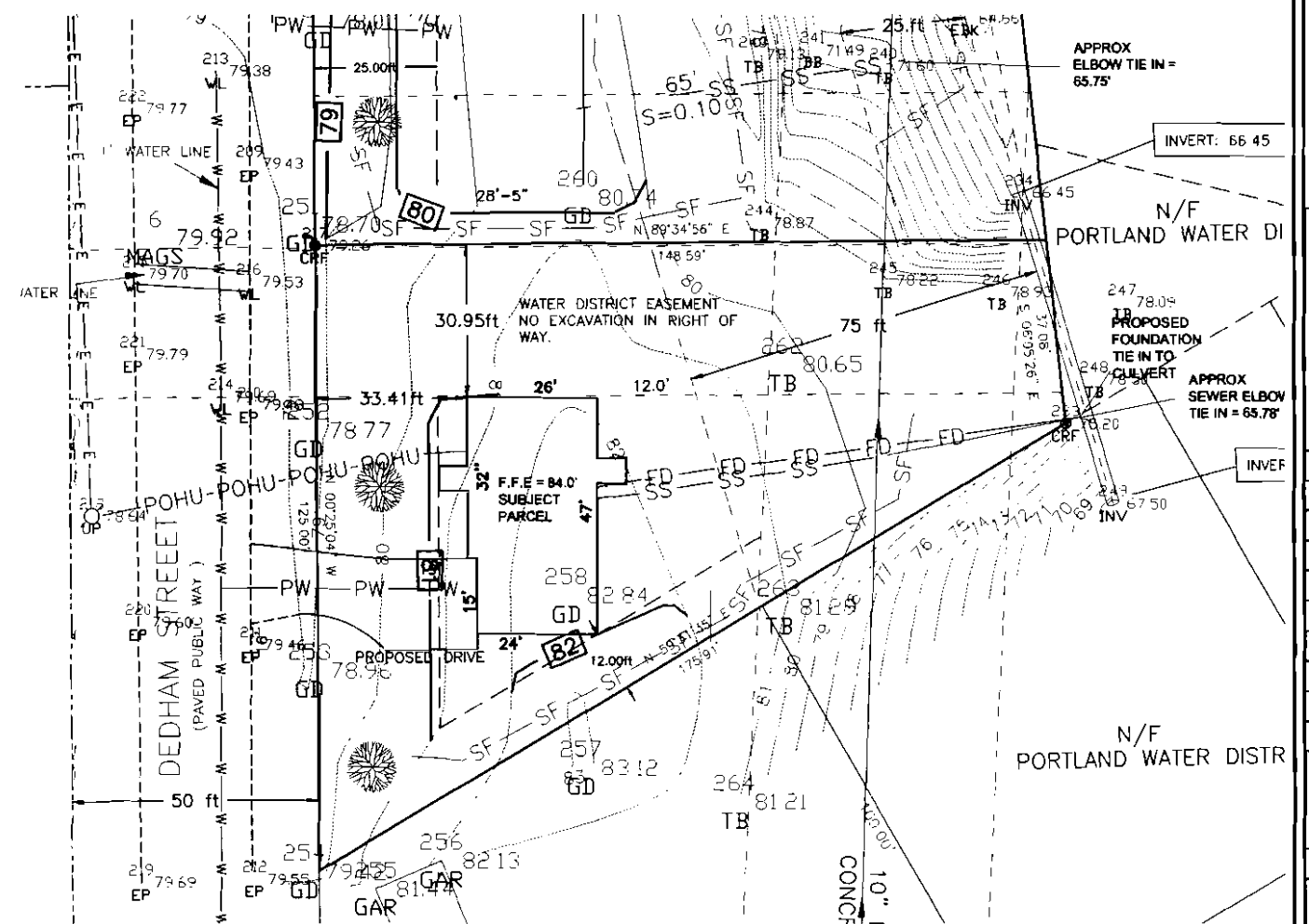
- A-0 Cover Sheet
- A-1 Floor Plans
- A-2 Elevations
- A-3 Framing Plans
- A-4 Sections

Building Information

Size	47'-0" x 26'-0"
Basement	832 sf
First floor	1192 sf
Second Floor	1192 sf
Total Area	3216 sf
Total Height	26'-6 ³ / ₈ '

Lot Information

Zoning	R-2
Size	29373 sf (0.67 ac)
Front Setback	25'
Rear Setback	25'
Side Setback	12' (for 2-story)
Max. Building Hgt.	35'
Max Lot coverage	20% (5875 sf this lot)
Total Lot coverage	1190 sf

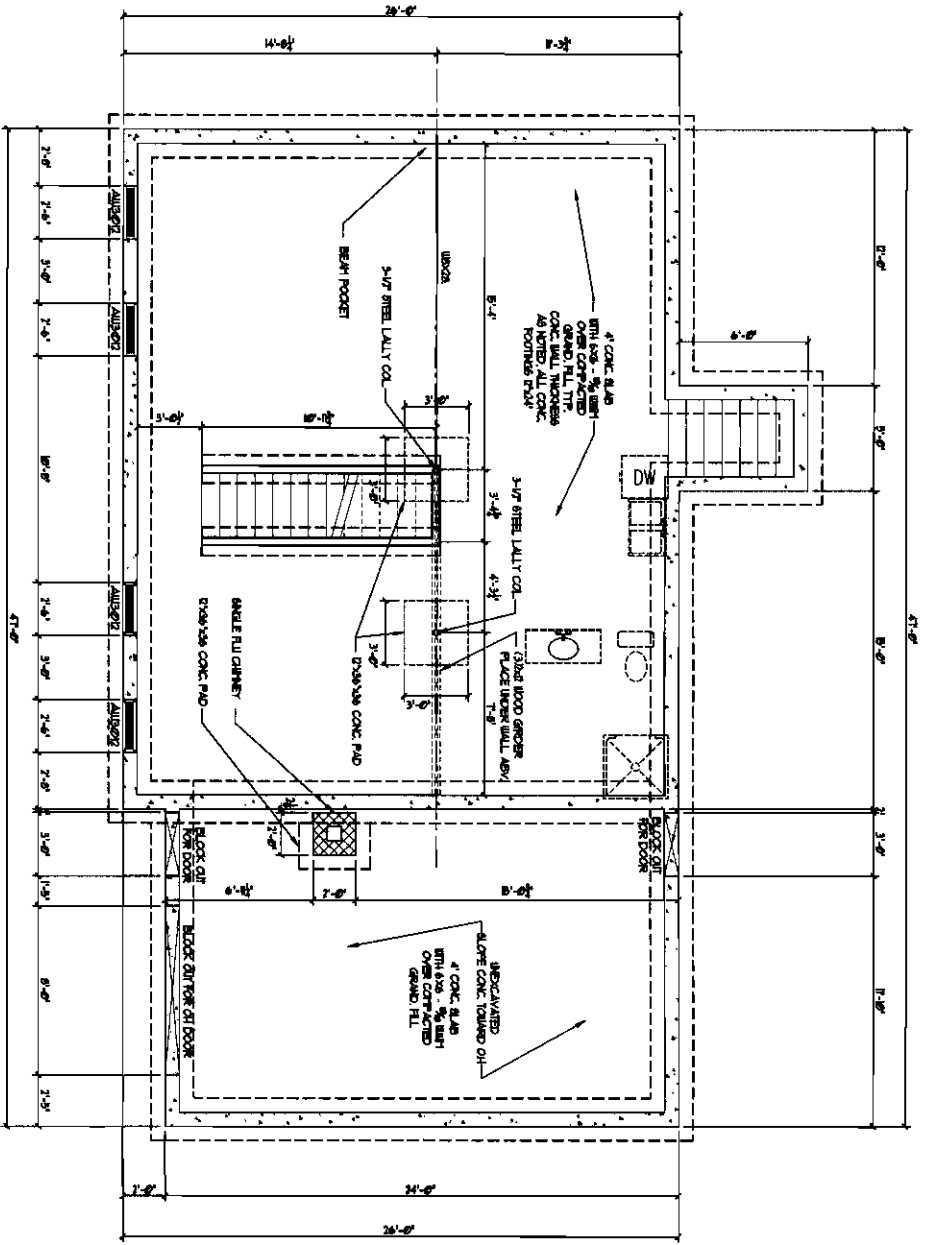


NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DIMENSIONS, PLANS, ELEVATIONS ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT.
SERVICES, INC. AND REGISTERED ARCHITECTS, ENGINEERS OR LAND
AND DESIGN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES NONE OF THE EMPLOYEES OF FFCADD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGINS FFCADD DRAFTING SERVICES, INC. WILL BE HELD HARMLESS.
FFCADD DRAFTING SERVICES, INC. ASSUMES NO LIABILITY FOR CHANGES
AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

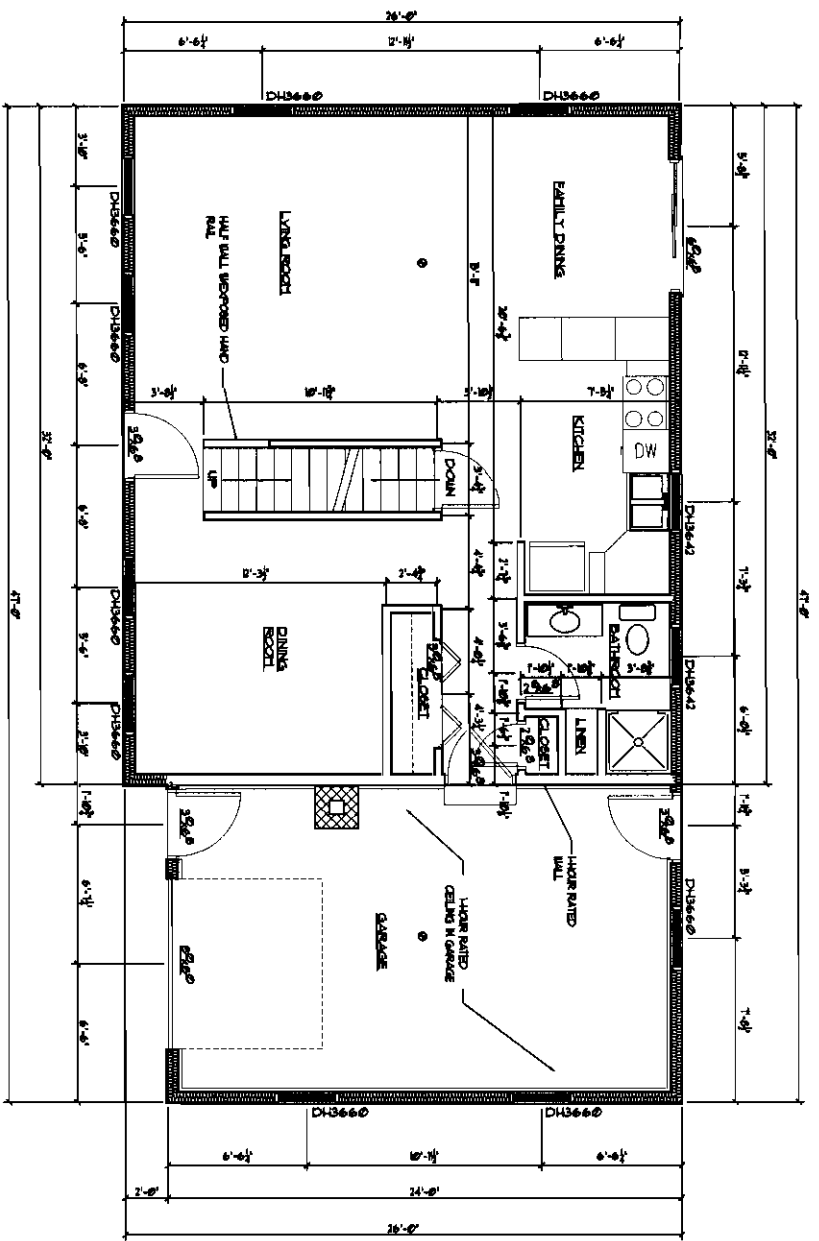
PROPERTY OF
FFCADD Engineering & Surveying
75 Blakey St.
Portland, Maine 04103
207-479-2311 Fax: 207-479-4315
E-Mail: ffcadd@ffccadd.com

KING RESIDENCE
DEDHAM STREET

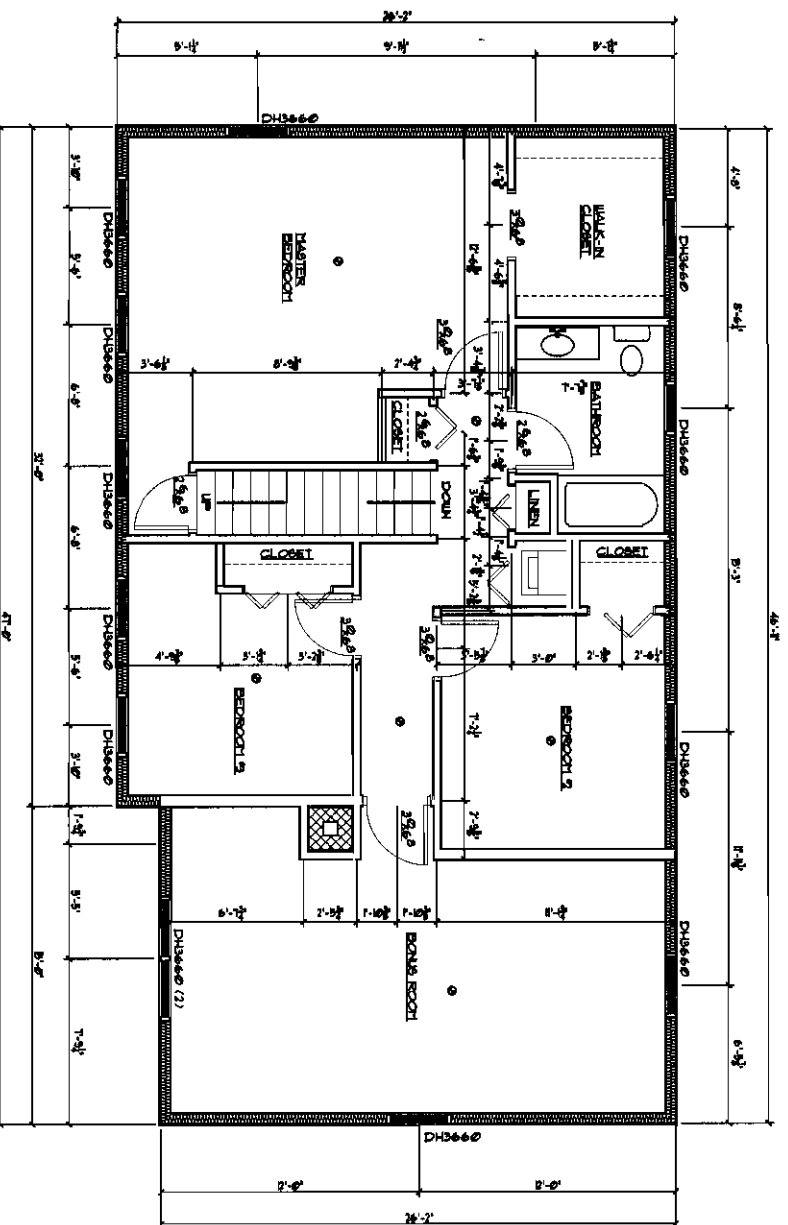
3.	-
2.	-
1.	-
REVS:	-
CODE:	IRC 2003
TOWN:	PORTLAND
DATE:	05-07-10
SCALE:	AS NOTED
DESIGNED:	JJO
DRAWN:	JJO
TITLE:	COVER SHEET
FILE:	
SHEET:	A-0



A BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"



B FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



C SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

NOTE:
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KING RESIDENCE

DEDHAM STREET

FAC CADD Engineering Resource Center
75 Bishop St.
Portland, Maine 04103
207-478-8511 Fax: 207-876-8515
E-Mail: fac@cadd.com

PROPERTY OF

FILE:	FLOOR PLANS
SHEET:	A-1
REV:	1.
REV:	2.
REV:	3.
CODE:	IRC 2003
TOWN:	PORTLAND
DATE:	05-07-10
SCALE:	AS NOTED
DESIGNED:	JJO
DRAWN:	JJO



A FRONT ELEVATION
Scale: 1/4" = 1'-0"

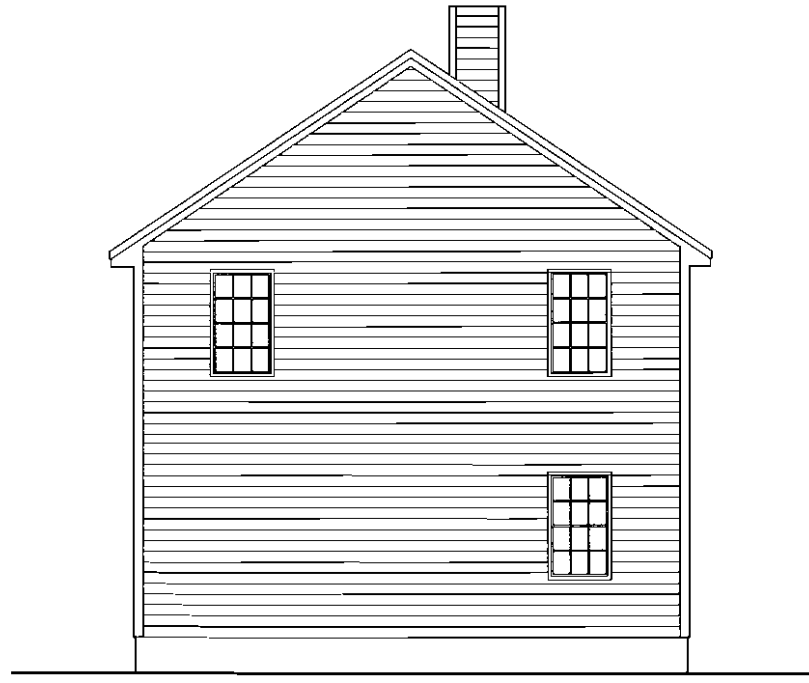


A RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"



no deck or stairs

A REAR ELEVATION
Scale: 1/4" = 1'-0"

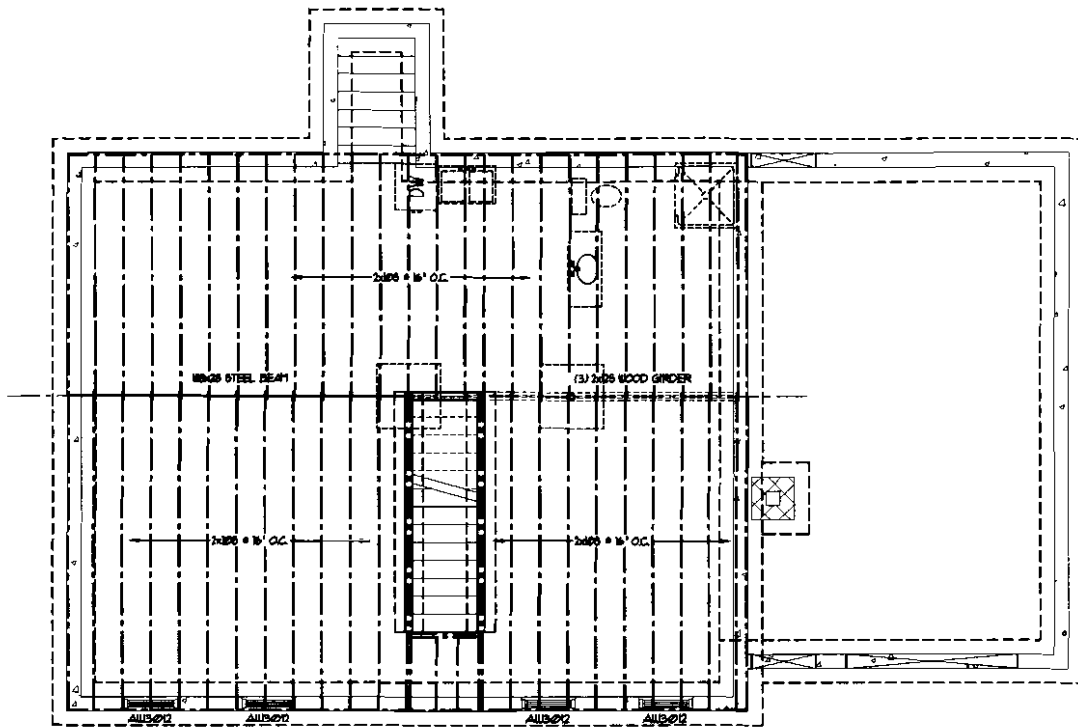


A LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

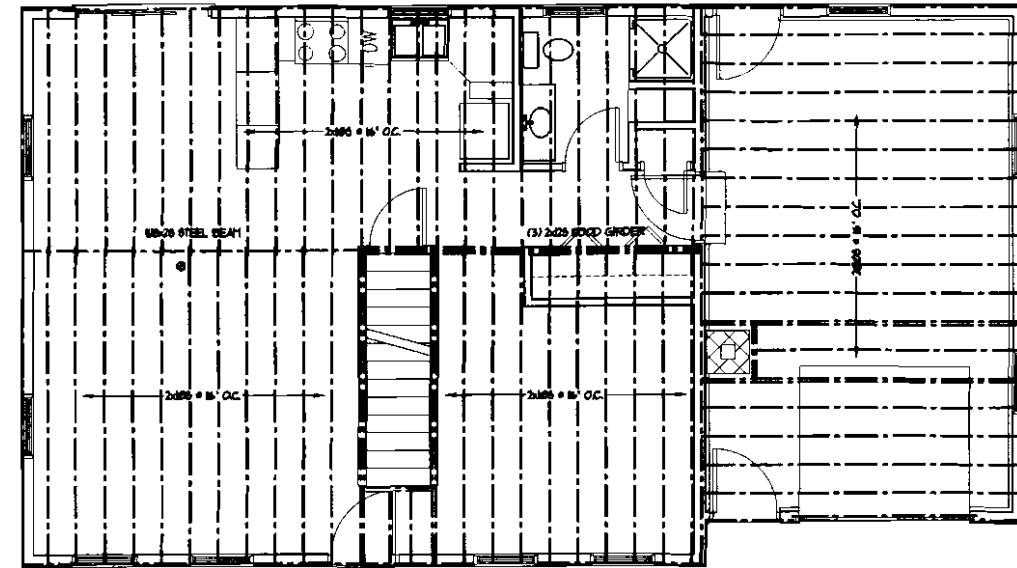
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KING RESIDENCE
DEDHAM STREET

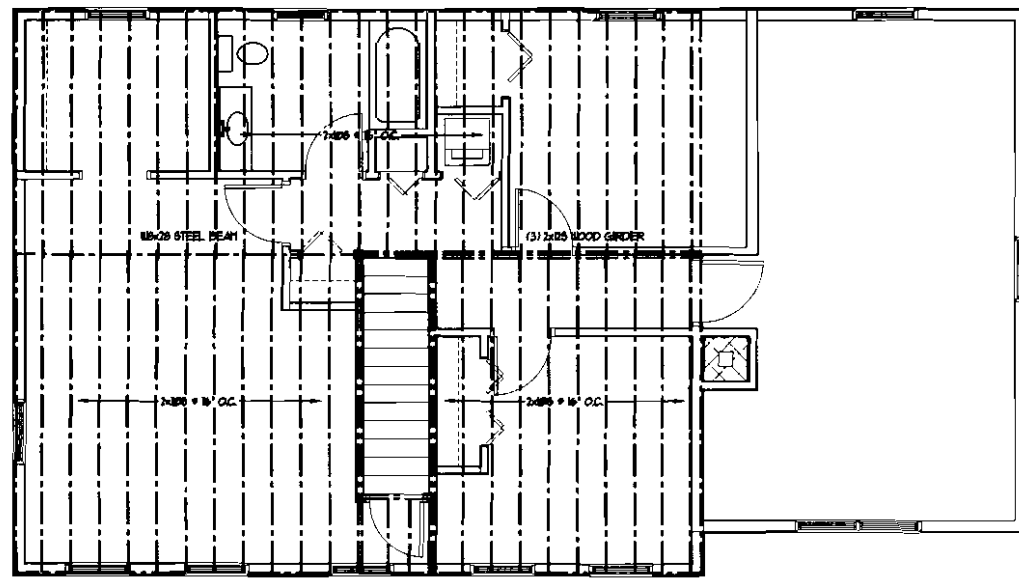
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DATE:	05-07-10
SCALE:	AS NOTED
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DRAWN:	JJO
TITLE:	ELEVATIONS
FILE:	
SHEET:	A-2



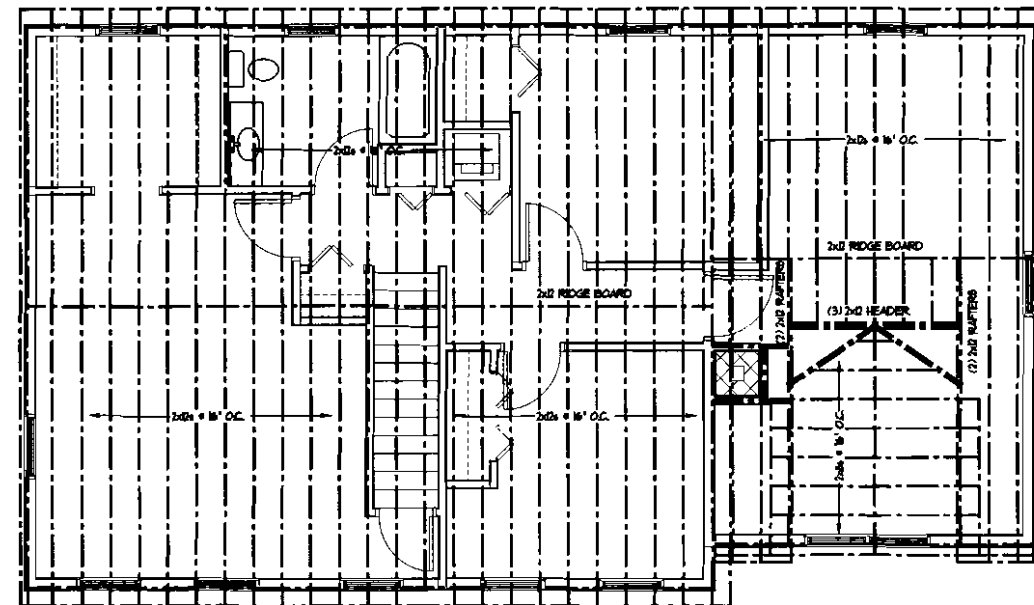
A FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



B SECOND FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



A ATTIC FRAMING PLAN
Scale: 1/4" = 1'-0"



C ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

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TOWN:	PORTLAND
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SCALE:	AS NOTED
DESIGNED:	JJO
DRAWN:	JJO
TITLE:	FLOOR FRAMING PLANS
FILE:	
SHEET:	A-3

New Residence for Allen and Mary King

Dedham Street, Lot C, Portland, ME

Drawing List

A-0 Cover Sheet
A-1 Floor Plans
A-2 Elevations
A-3 Framing Plans
A-4 Sections

Building Information

Size 47'-0" x 26'-0"
Basement 832 sf
First Floor 1192 sf
Second Floor 1192 sf
Total Are 3216 sf

Building Height 26'-6 3/8"

Lot Information

Zoning R-2
Size 29373 sf (0.67 ac)
Front Setback 25'
Rear setback 25'
Side setback 12' (for 2-story)
Max Building Hgt. 35'
Max Lot Coverage 20% (5875 sf this lot)
Total lot coverage 1190 sf

Code Requirements

R101.2 Scope
Single Family Residence

R301.2.3 Snow Loads
The ground and roof snow load for this region is 60#/sf & 42#/sf.

R301.2.4 floodplain Construction
The site of this building is not located in a floodplain

R301.5 Live Load
The building has been designed to support the live loads from table 301.5

R301.6 Roof Load
This building has been designed to support the snow loads of 42#/sf

R309 Garage and Carports
The garage will be sheathed in min 1/2" GWB all walls. The ceiling will be sheathed in min 5/8" TYPE-X GWB. The door from the garage to the residence will be minimum 20 min.

R310 Emergency Escape and Rescue Openings
Every living room and sleeping room in this residence has been designed with an emergency escape window or door as required.

R311 Means of Egress

The means of egress for this residence have been designed to meet the requirements of this section

R311.2.2 Under Stair Protection
The accessible space beneath the stairs will be sheathed with min 1/2" GWB.

R311.3 Hallways
Hallways area a min. 36" wide

R311.5 Stairways
Stairways are a min. 36" wide
Headroom is a min. 6'-8"
Riser heights are a max. 7-3/4"
Treads are a min. 10" wide
The landing width is at least as wide as the stairway and is a min. 36" wide in the direction of travel.

R311.3.6 Handrails
Handrails will be installed on a least one wall of each stairway and shall be 34" to 38" high as measured above the nosing.

R312 Guards
Guards at porches, open sides of stairs and balconies shall be 42" high and no opening in the rail are more than 4"

R502 Wood Girders
Refer to table 502.5 for wood girders

R603 Headers

Refer to table R603.6 for the required size of opening headers

R602 Wood Fastening
Refer to table R602.3 for wood fastener requirements

R313 Smoke Alarms
Smoke alarms shall be installed:
In each sleeping room
outside each sleeping area
On each additional story, including the basement
Alarms shall be installed per NFPA 72

R315 Flame Spread and Smoke Density
Finishes shall have a flame spread classification of no greater than 200 and a smoke-developed index of no greater than 450.

R315.1 Carbon Monoxide Alarms
An Approved carbon monoxide detector shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms.

Chapter 10 Chimneys and Fireplaces
The chimneys and fireplaces shall be constructed to meet the requirements of this section.

Chapter 11 Energy Efficiency
Roofs shall have a min. rating of R-38
Exterior walls shall have a min. rating of R-21
Floors above garage spaces shall have a min. rating of R-21
Floors above basement spaces shall have a min. rating of R-21
Windows shall have a U-factor of 0.35

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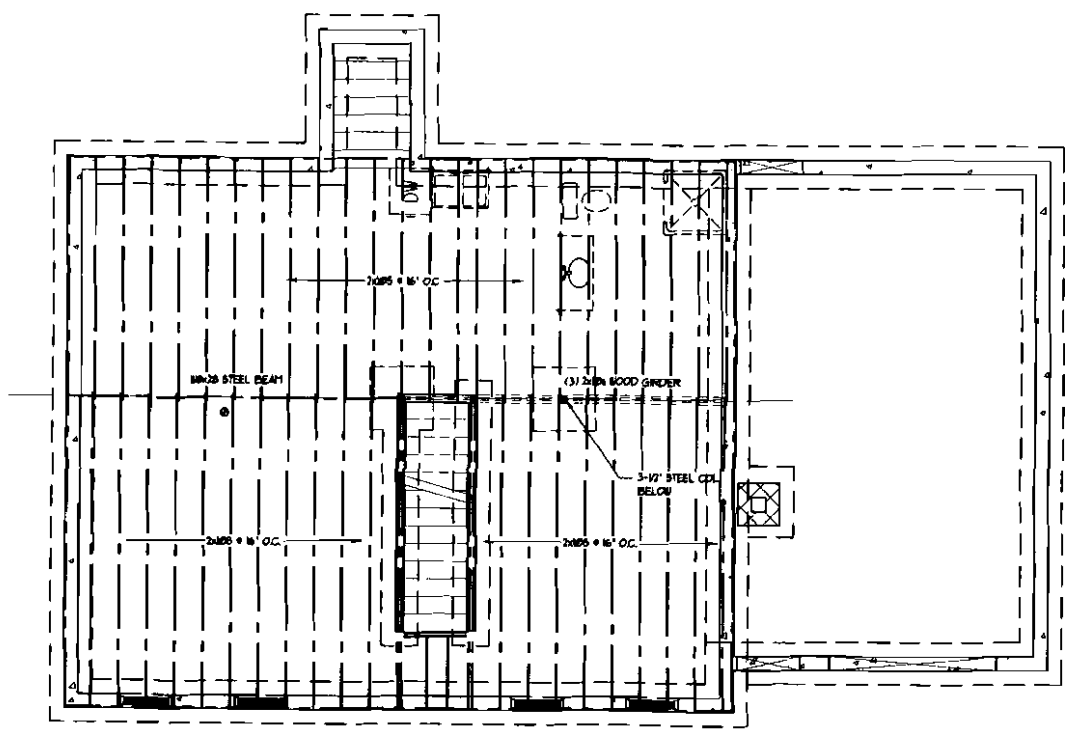
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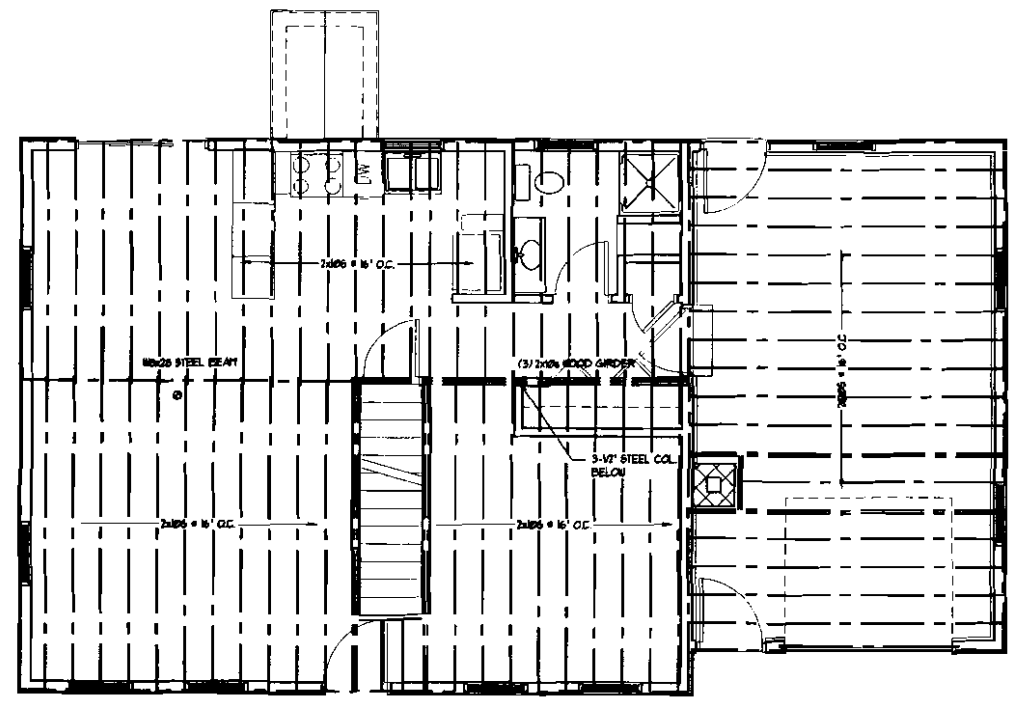
FMC CADD
Engineering & Surveying Center
75 Bishop St.
Portland, Maine 04103
207-478-8311 Fax: 207-678-8315
B-3-Mail: fmc@fmcadd.com

KING RESIDENCE
DEDHAM STREET, PORTLAND, ME
COVER SHEET

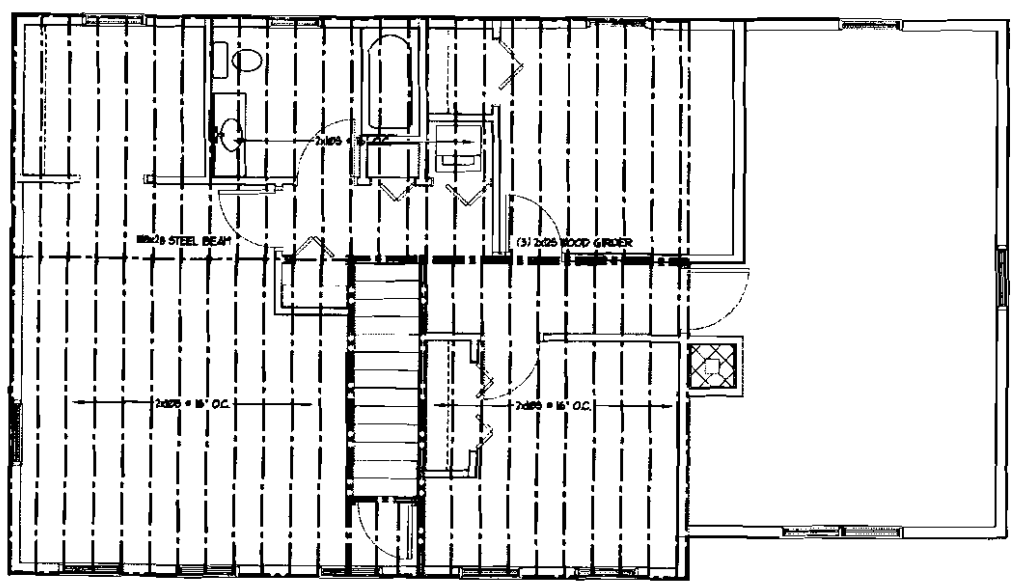
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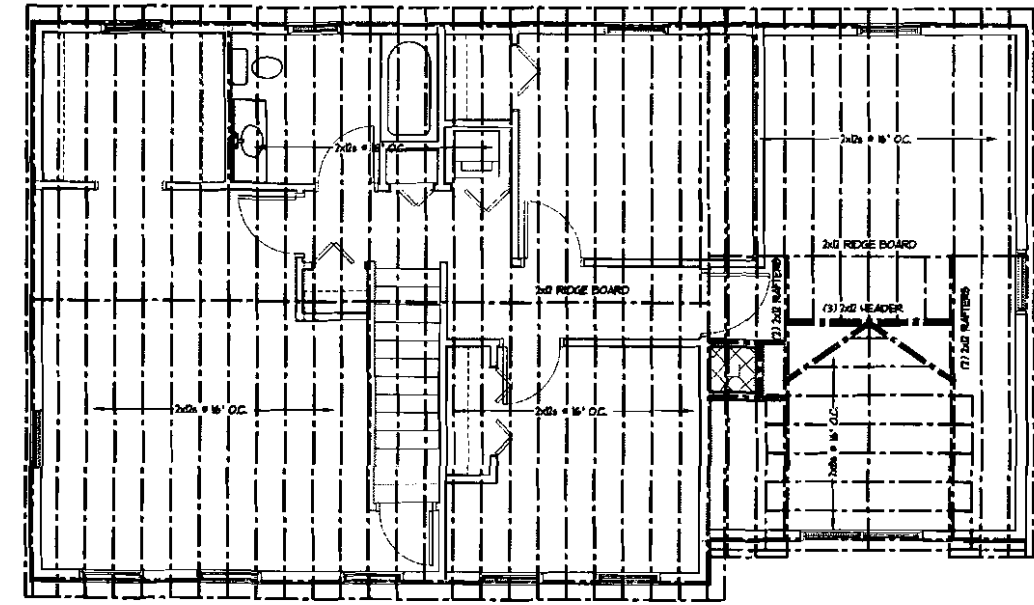
FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



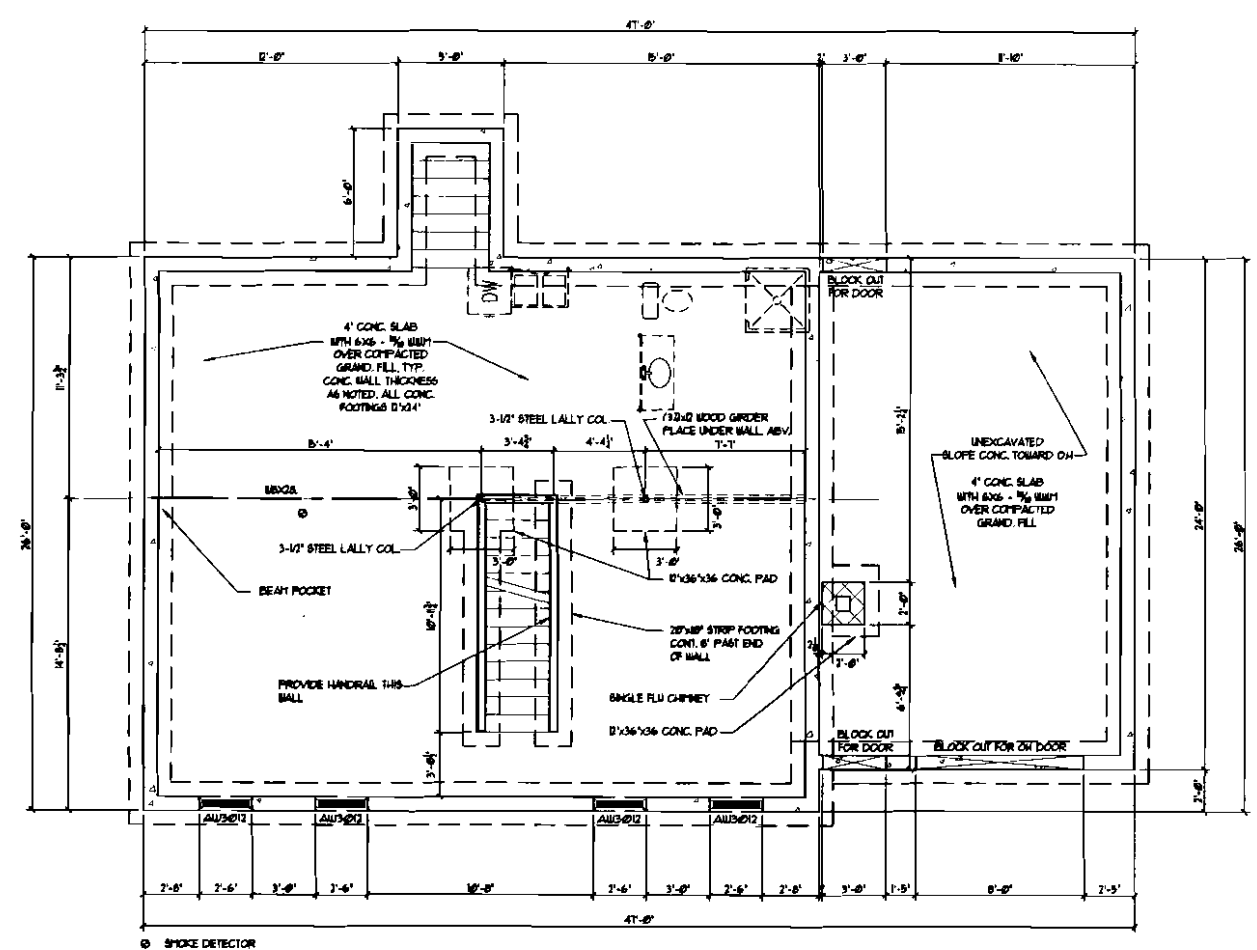
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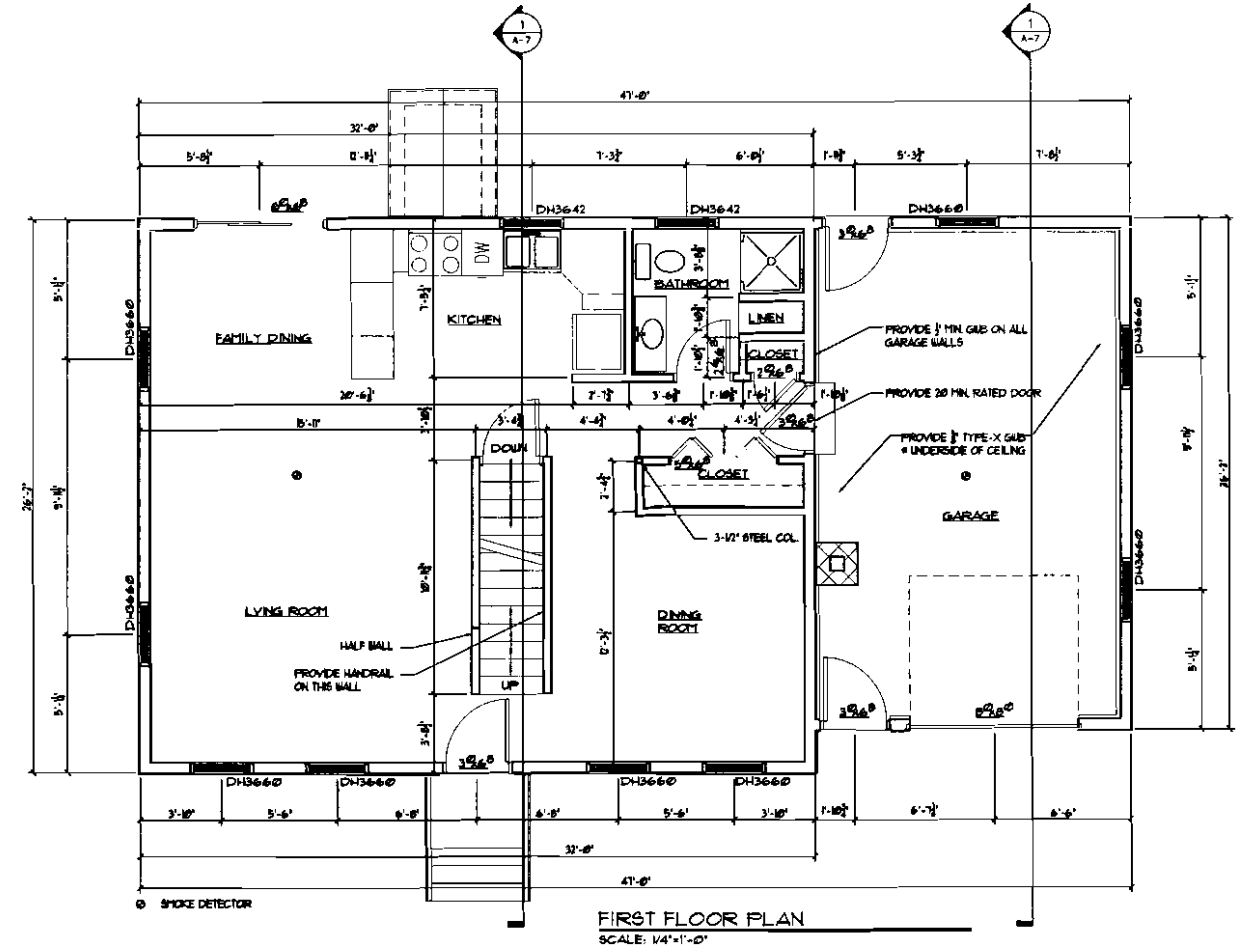
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

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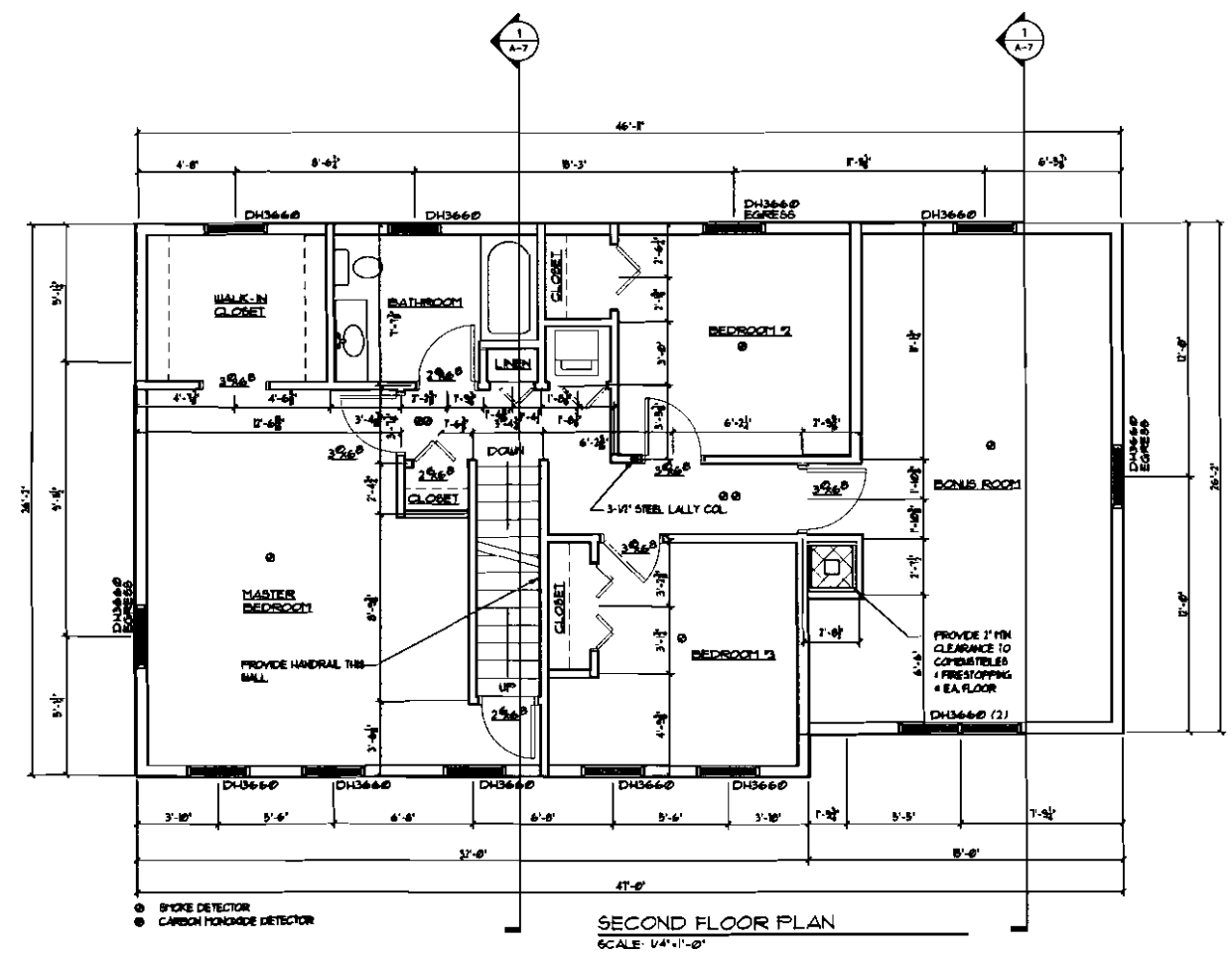
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BASEMENT FLOOR PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



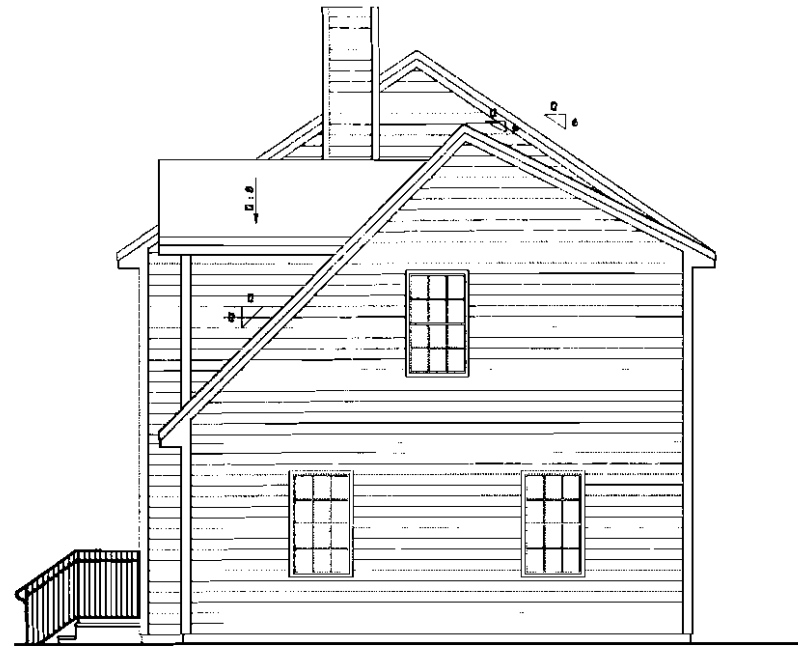
SECOND FLOOR PLAN
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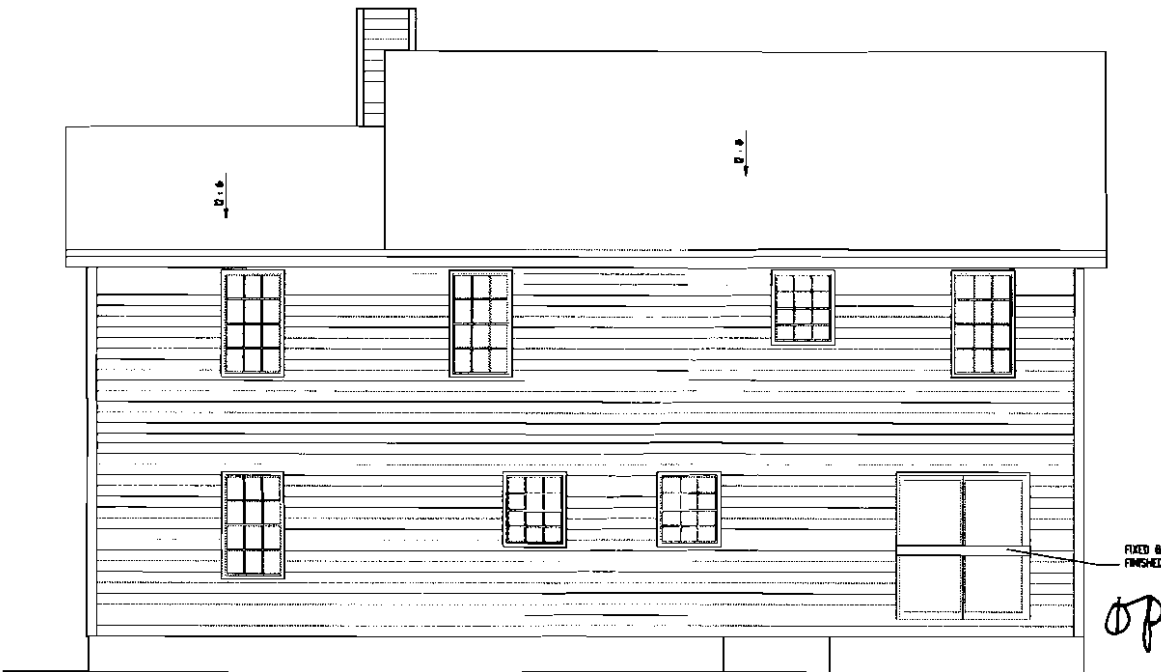
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FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

FIXED BANNER @ 3" ABOVE
FINISHED FLOOR.
opening limitations may vary



LEFT ELEVATION
SCALE: 1/4"=1'-0"

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