

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1179	Issue Date:	CBL: 335 B007001
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Location of Construction: 45 BEVERLY ST	Owner Name: DIVERSIFIED PROPERTIES INC	Owner Address: PO BOX 10127	Phone:
Business Name:	Contractor Name: Dodge Oil	Contractor Address: 79 New Portland Road Gorham	Phone 2078395536
Lessee/Buyer's Name	Phone:	Permit Type: Tanks - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - install (2) 125 Propane tanks	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 5
Proposed Project Description: install (2) 125 Propane tanks		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC 2003 5 ME GAS REGS Signature: Jm 10/27/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: Ldobson	Date Applied For: 10/26/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/26/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Signature: <i>[Handwritten Signature]</i>		

**PERMIT ISSUED**

**CERTIFICATION**

OCT 26 2009

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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<b>Permit No:</b> 09-1179	<b>Date Applied For:</b> 10/26/2009	<b>CBL:</b> 335 B007001
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<b>Location of Construction:</b> 45 BEVERLY ST	<b>Owner Name:</b> DIVERSIFIED PROPERTIES INC	<b>Owner Address:</b> PO BOX 10127	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Dodge Oil	<b>Contractor Address:</b> 79 New Portland Road Gorham	<b>Phone</b> (207) 839-5536
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Tanks - Dwellings	

<b>Proposed Use:</b> Single Family Home - install (2) 125 Propane tanks	<b>Proposed Project Description:</b> install (2) 125 Propane tanks
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 10/26/2009

**Note:** **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/27/2009

**Note:** **Ok to Issue:**

- 1) The installation must comply with the State of Maine Gas Regulations.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

PERMIT ISSUED

OCT 26 2009

City of Portland



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

PERMIT ISSUED

OCT 26 2009

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

City of Portland

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL \_\_\_\_\_ Use of Building Residential Unit Date 10/26/09  
 Name and address of owner of appliance 45 Beverly St MADD LLC  
mail to 94 Auburn St Port ME Suite 201 04103  
 Installer's name and address ~~Cross Oak~~ Dodge Gil Co  
79 New Portland Rd Telephone 7128207 8395536  
Gorham

### Location of appliance:

- Basement
- Floor
- Attic
- Roof

### Type of Fuel:

- Gas
- Oil
- Solid

### Appliance Name:

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

### The Type of License of Installer:

- Master Plumber # \_\_\_\_\_
- Solid Fuel # \_\_\_\_\_
- Oil # \_\_\_\_\_
- Gas # \_\_\_\_\_
- Other \_\_\_\_\_

### Type of Chimney:

- Masonry Lined  
Factory built \_\_\_\_\_

- Metal  
Factory Built U.L. Listing # \_\_\_\_\_

- Direct Vent  
Type \_\_\_\_\_

### Type of Fuel Tank

- Oil
- Gas Propane Bottled

Size of Tank 2x125

Number of Tanks 2

Distance from Tank to Center of Flame 8' feet.

Cost of Work: \$ \_\_\_\_\_

Permit Fee: \$ 30

RECEIVED  
 OCT 26 2009  
 Dept. of Building Inspections  
 City of Portland Maine

### Approved

### Approved with Conditions

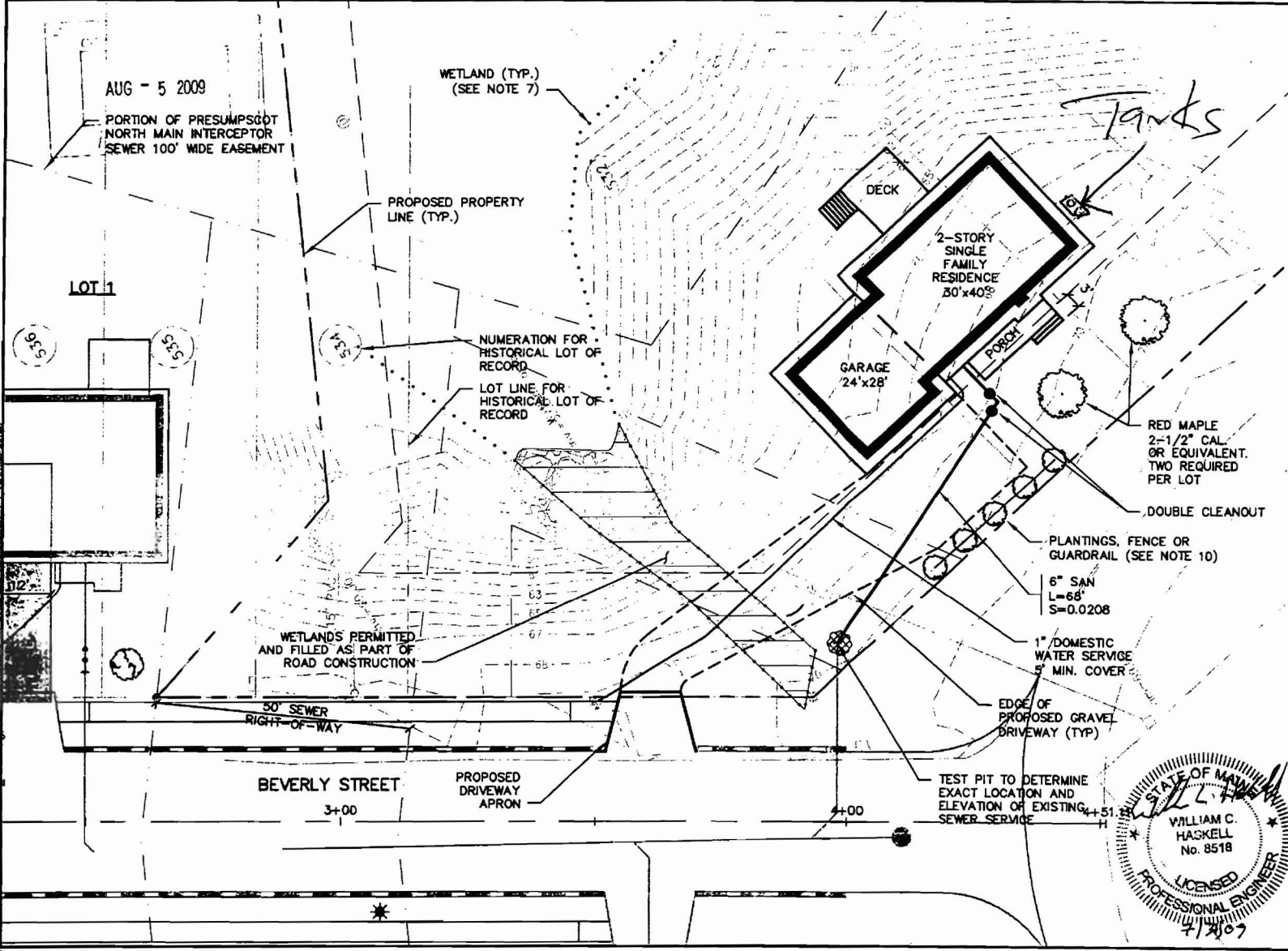
Fire: \_\_\_\_\_  
 Ele.: \_\_\_\_\_  
 Bldg.: \_\_\_\_\_

- See attached letter or requirement

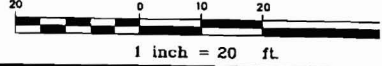
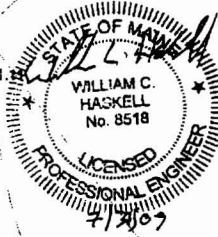
Signature of Installer [Signature]

Inspector's Signature \_\_\_\_\_

Date Approved \_\_\_\_\_



- GENERAL NOTES**
1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN JUNE 2009.
  2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DISCOVER AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  3. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
  4. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
  6. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE.
  7. WETLANDS IN VICINITY OF WORK SHALL BE REMARKED AND DELINEATED WITH A DOUBLE ROW OF SILT FENCE PRIOR TO CLEARING OR ANY LAND DISTURBANCE.
  8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
  9. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
  10. PROVIDE BARRIER TO CONSIST OF ANY OF THE FOLLOWING:
    - 5 - 4' TALL EVERGREEN TREES AT 8' SPACING
    - 25' LONG SPLIT RAIL OR SIMILAR FENCE
    - 25' LONG WOOD GUARDRAIL CONSISTING OF 4"x4" PT POSTS AND 2"x10" RAILS



Rev.	Date	Revision
1	1/5/01	REVISION TURNAROUND

Design: WCH	Date: 7/09
Draft: BMD	Job No.: 2105.01
Checked: WCH	Scale: 1"=20'
File Name: 2105.01-SP	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

PO Box 1237  
 15 Shaker Road  
 Gray, ME 04039

207-657-6910  
 FAX: 207-657-6912  
 E-Mail: malbo@gorrillpalmer.com

Drawing Name: **45 BEVERLY ST. - LAYOUT & UTILITY PLAN**

Project: **BEVERLY STREET**

Figure No. **2**