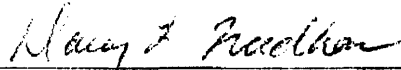


STATE OF MAINE
CUMBERLAND, SS.

Date: April 15, 2008

Then personally appeared the above-named James M. Wolf, President of Diversified Properties, Inc. as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

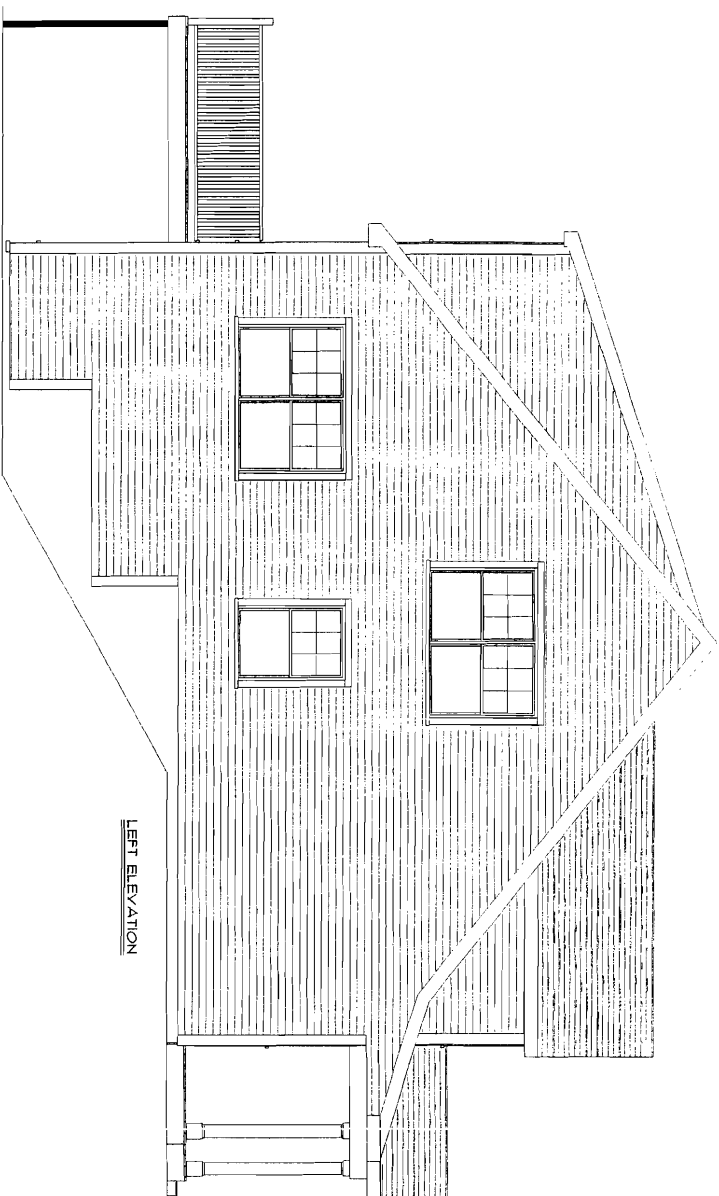
Before me,



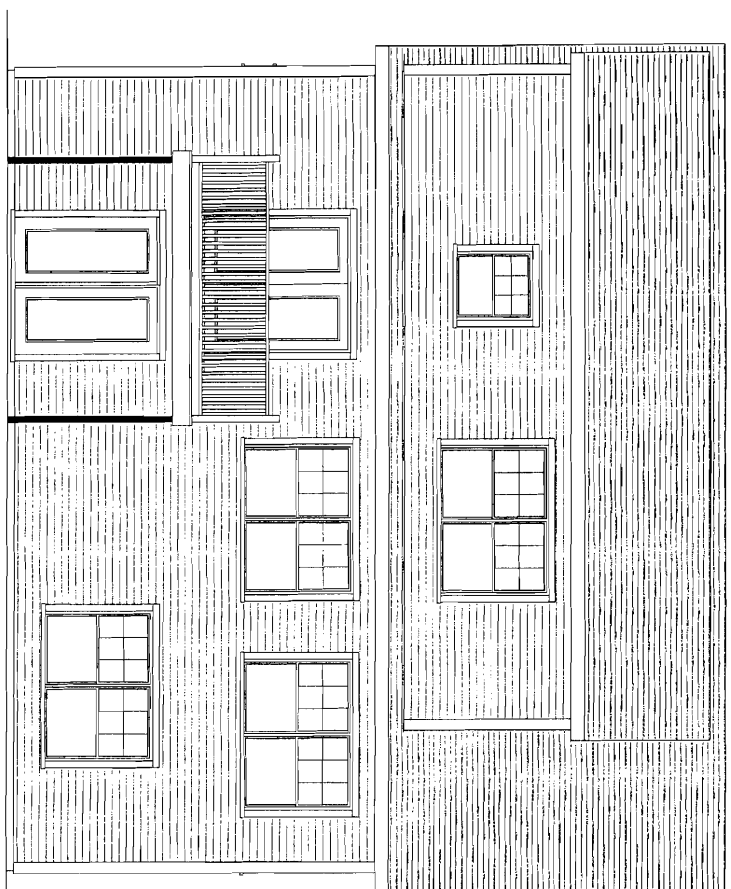
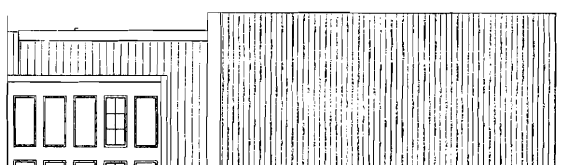
Attorney at Law/Notary Public

DARCY L. NEEDHAM
Notary Public, Maine
My Commission Expires January 22, 2009

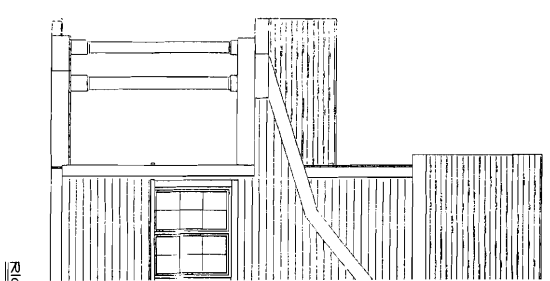
Received
Recorded Register of Deeds
Apr 16 2008 12:54:34P
Cumberland County
Pawla E. Lovley

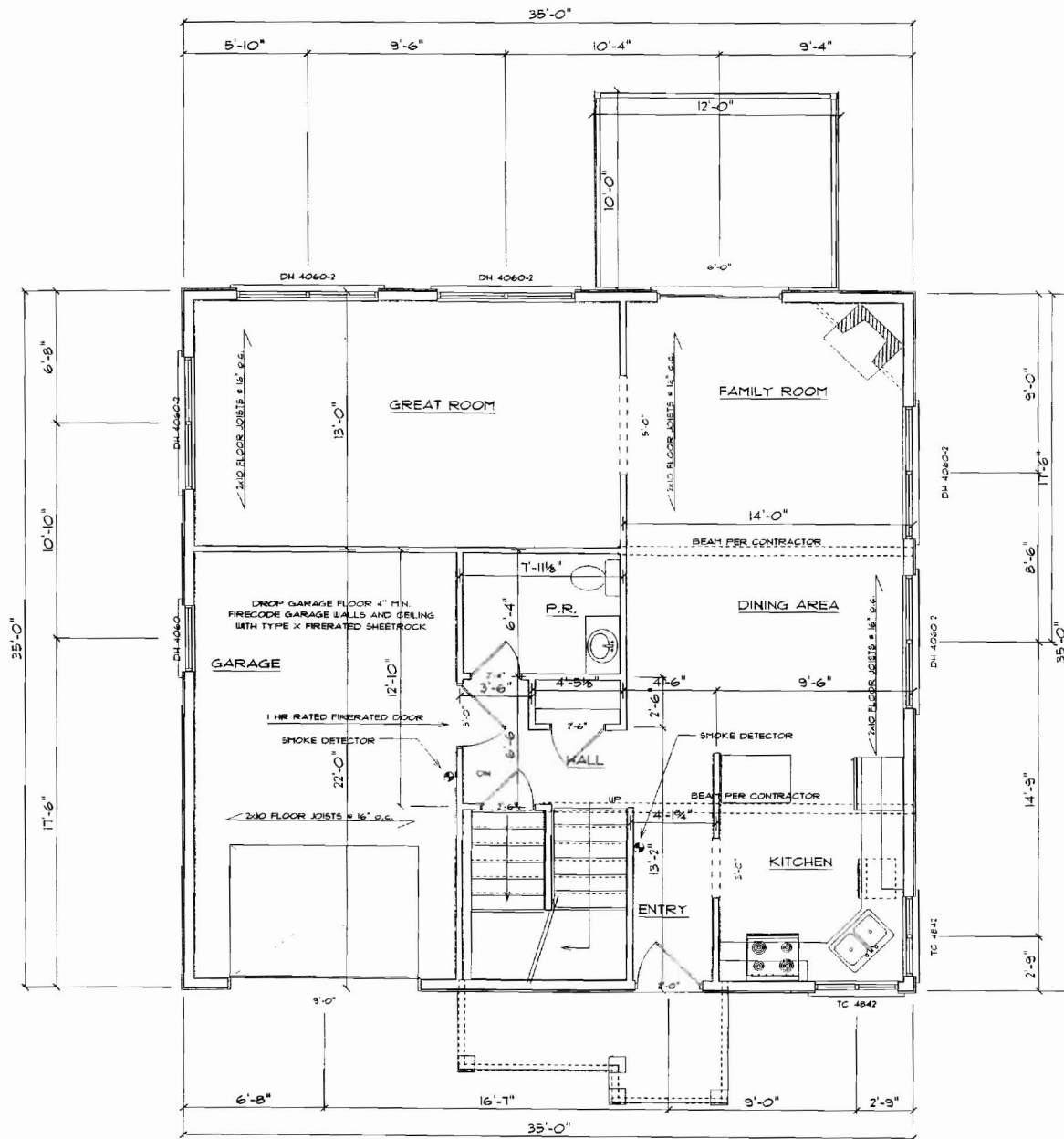


LEFT ELEVATION

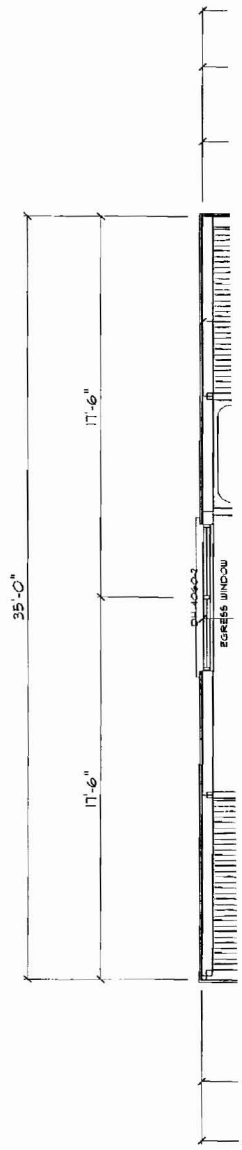


REAR ELEVATION



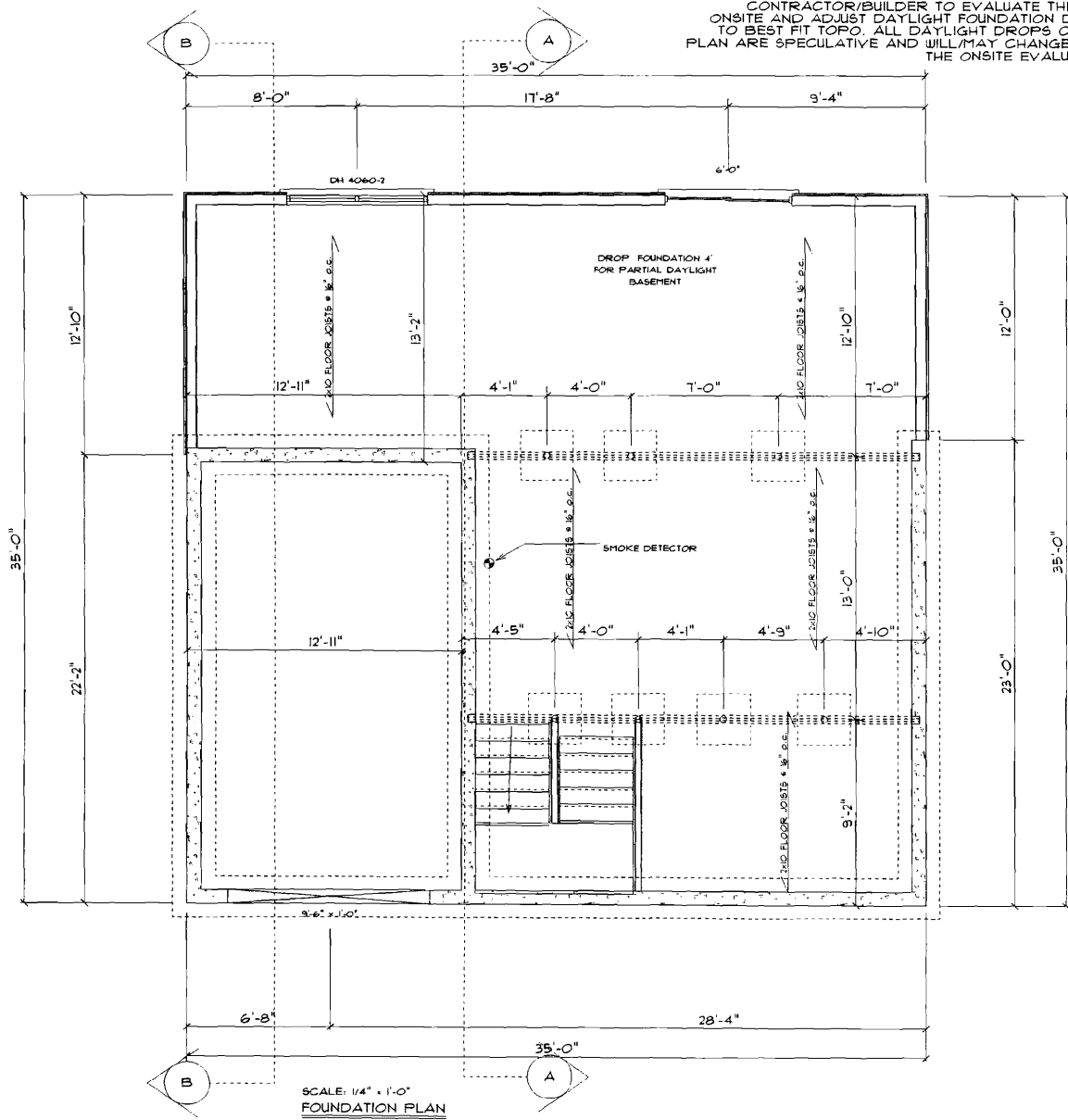


SCALE: 1/4" = 1'-0"
1ST FLOOR PLAN



SCALE: 1/4" = 1'-0"
2ND FLOOR PLAN

CONTRACTOR/BUILDER TO EVALUATE THE TOPO
 ONSITE AND ADJUST DAYLIGHT FOUNDATION DROPS
 TO BEST FIT TOPO. ALL DAYLIGHT DROPS ON THIS
 PLAN ARE SPECULATIVE AND WILL/MAY CHANGE AFTER
 THE ONSITE EVALUATION.

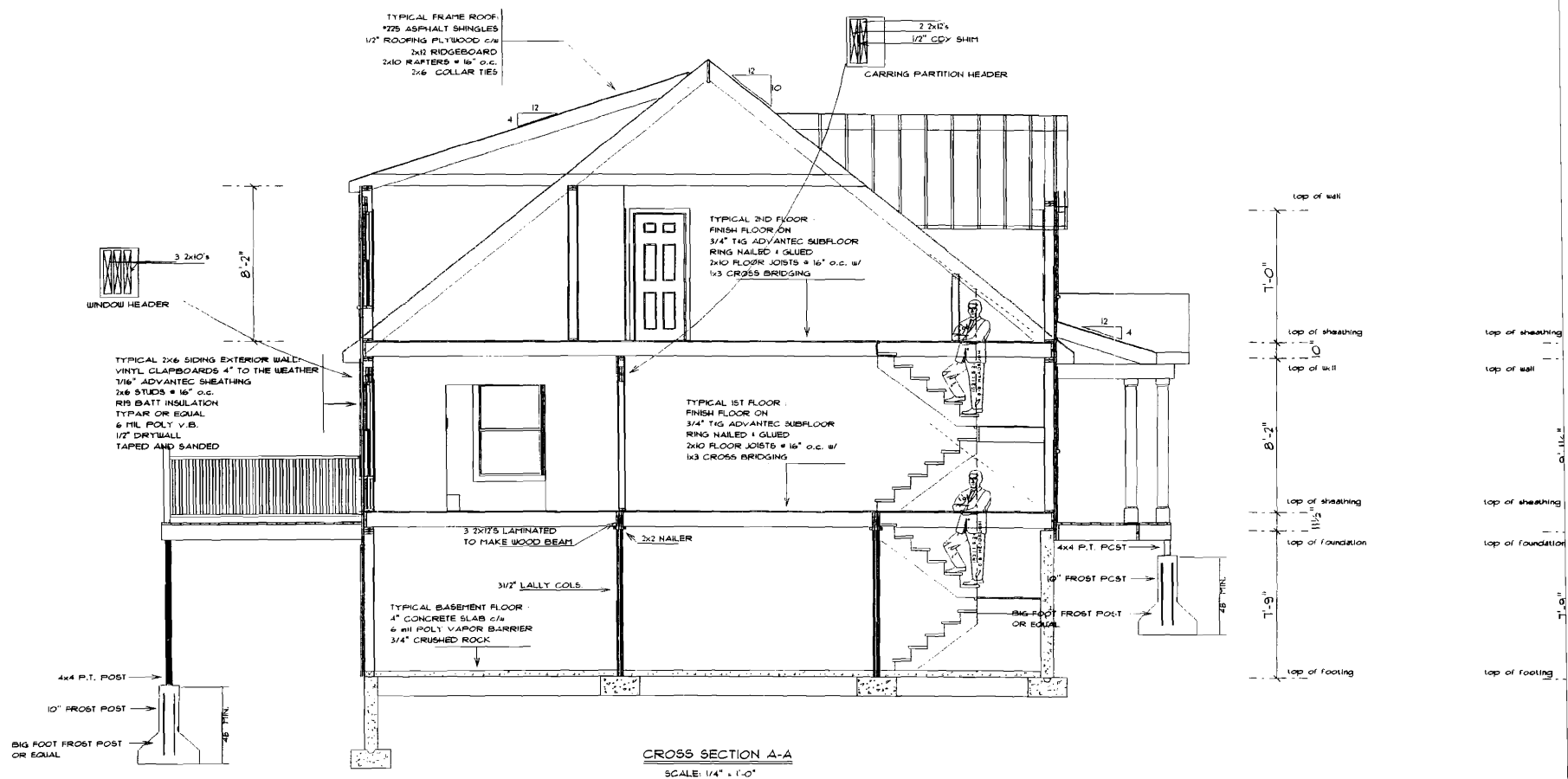


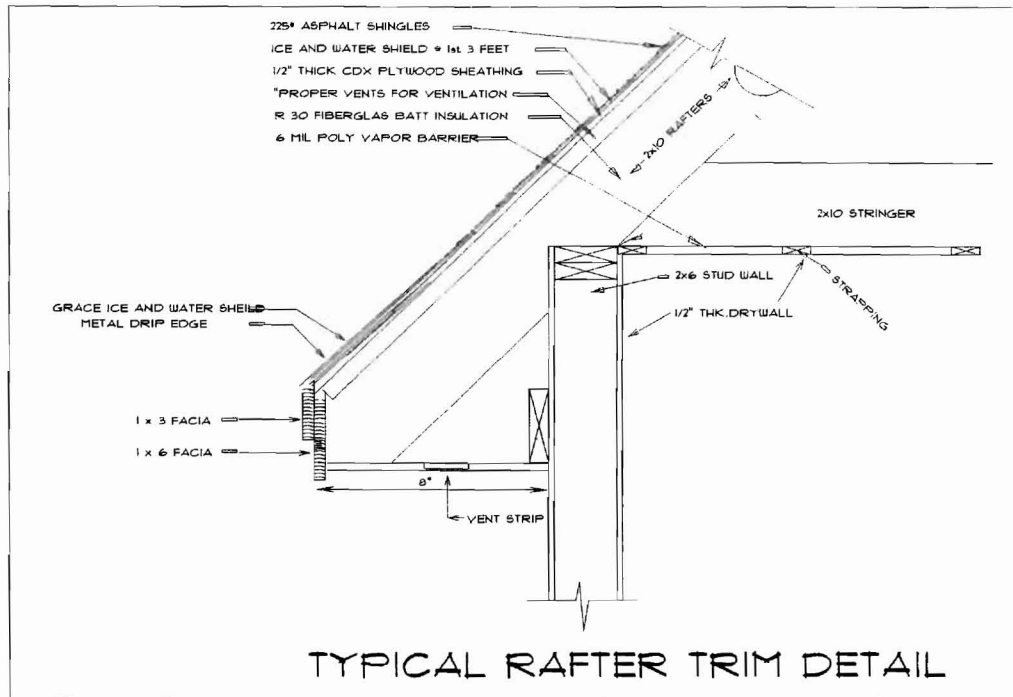
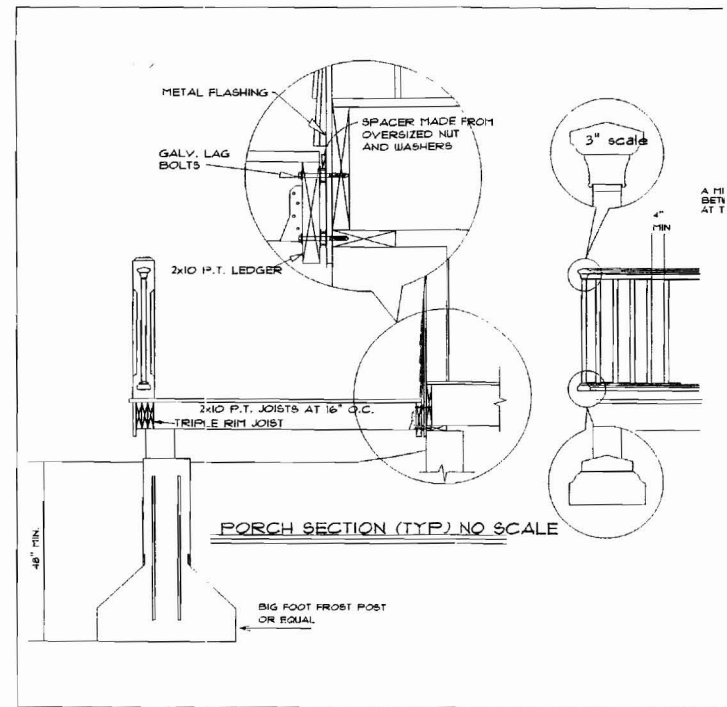
SCALE: 1/4" = 1'-0"
 FOUNDATION PLAN

FOUNDATION NOTES:

1. ALL FINISH WALL / FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS / AND ROUGH OPNGS, SHALL BE CHECKED / VERIFIED IN FIELD WITH CONTRACTOR, OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2"x1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS / BEAMS SHALL BE CHECKED / ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (IE. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING / FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING / JOIST / SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

2500 PS1 PORTLAND CE
 4 MIL POLY MIN 4" OVER
 3/4" CRUSHED ROCK OR
 UNDER CONCRETE FLOO

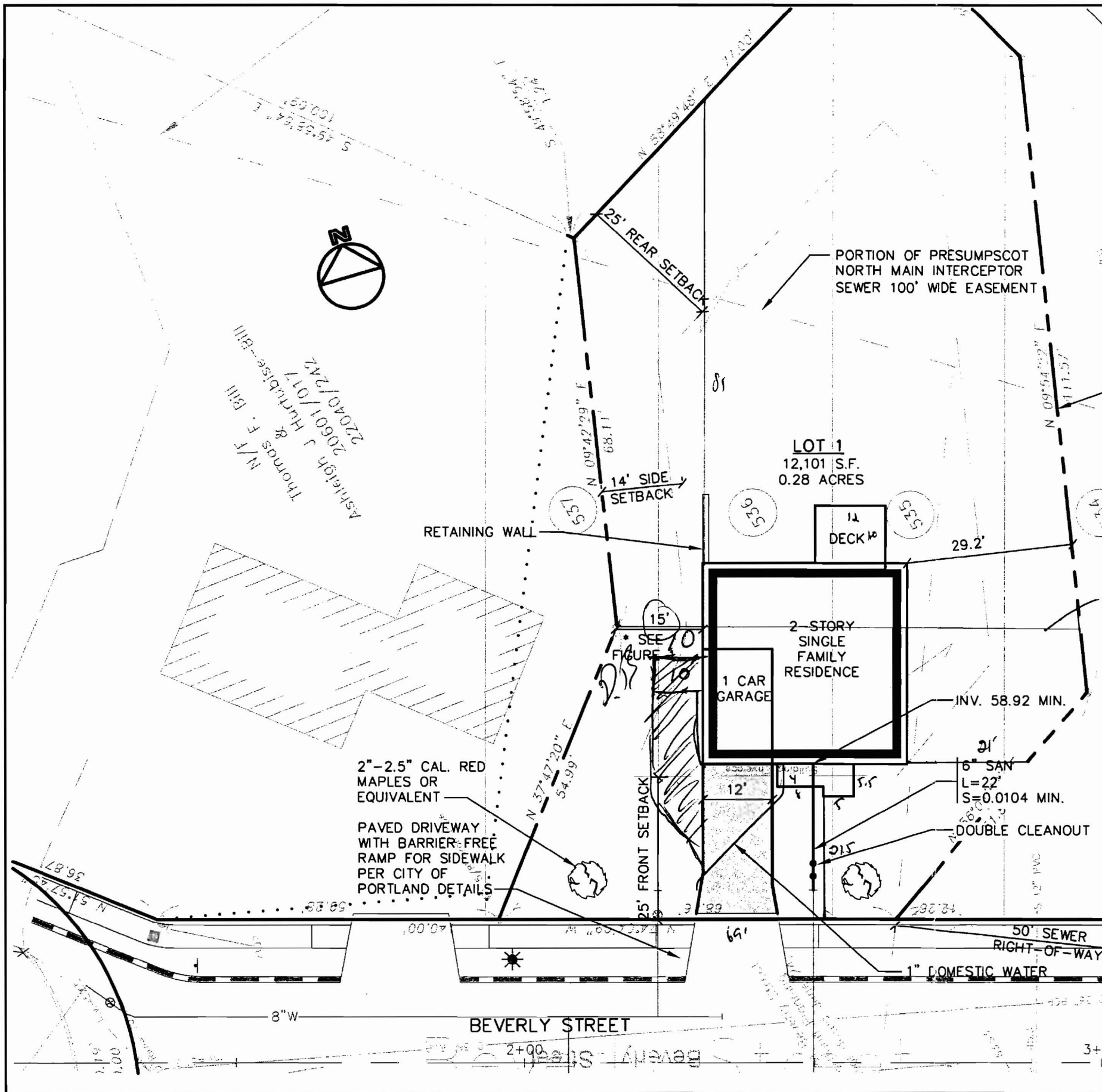




FASTENERS SPACED 4 INCHES OC AT EDGES, 6 INCHES AT INTERMEDIATE S
 WALL SHEATHING AND 3 INCHES OC AT EDGES, 6 INCHES AT INTERMEDIATE S
 FASTENERS SPACED 4 INCHES OC AT EDGES, 6 INCHES AT INTERMEDIATE S
 FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCH
 STAPLES SHALL HAVE A MIN
 FOR ROOF SHEATHING APPLICATIONS, 8d NAILS ARE MINIMUM REQUIRED I
 PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCH
 CASING (OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCH
 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL
 1/2 INCH SHEATHING AND 1-1/2 INCH LENGTH FOR 25x32 INCH E
 CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16 INCH CR

SEE NOTE		
SEE NOTE F		8d
SEE NOTE F		8d
SEE NOTE C		8d
SEE NOTE P		2" 16 GAGE
SEE NOTE N		2-3/8"x0.131" NAIL
8d, SEE NOTE D, 8d, SEE NOTE C		3-1/2" CR 8d
SEE NOTE O		1-3/4" 16 GAGE
SEE NOTE N		2-3/8"x0.131" NAIL
SEE NOTE C, J		8d
FACE NAIL		4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 18d COMMON
FACE NAIL		5 - 3" 14 GAGE STAPLE 3 - 18d COMMON
FACE NAIL		3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 18d COMMON
TOENAIL		3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 18d COMMON
FACE NAIL		3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 10d COMMON
TOE NAIL		4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 18d COMMON
FACE NAIL		4 - 3" 14 GAGE STAPLE 4 - 3"x0.131" NAIL 3 - 18d COMMON
AT EACH SPLICE FACE NAIL AT ENDS		3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 2 - 20d COMMON
STAGGERED ON OPPOSITE SIDES FACE NAIL AT TOP & BOTTOM		3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC 20d COMMON 32" OC
16" OC	16" OC	3" 14 GAGE STAPLE
16" OC	16" OC	3"x0.131" NAIL
24" OC	24" OC	18d COMMON
FACE NAIL		2 - 3" 14 GAGE STAPLE 2 - 3"x0.131" NAIL 2 - 8d COMMON
TOENAIL		3 - 3" 14 GAGE STAPLE 3 - 3"x0.131" NAIL 3 - 8d COMMON
NOTES	LOCATION	FASTENING

FASTENING SCHEDULE (SEE TABLE 230)



Rev.	Date	Revision
1	1/5/07	REMOVE TURNAROUND

Design: WHS	Date: 9/04
Draft: CAH/GJL	Job No.: 2072
Checked: DER	Scale: 1"=20'
File Name: 1081-SP	

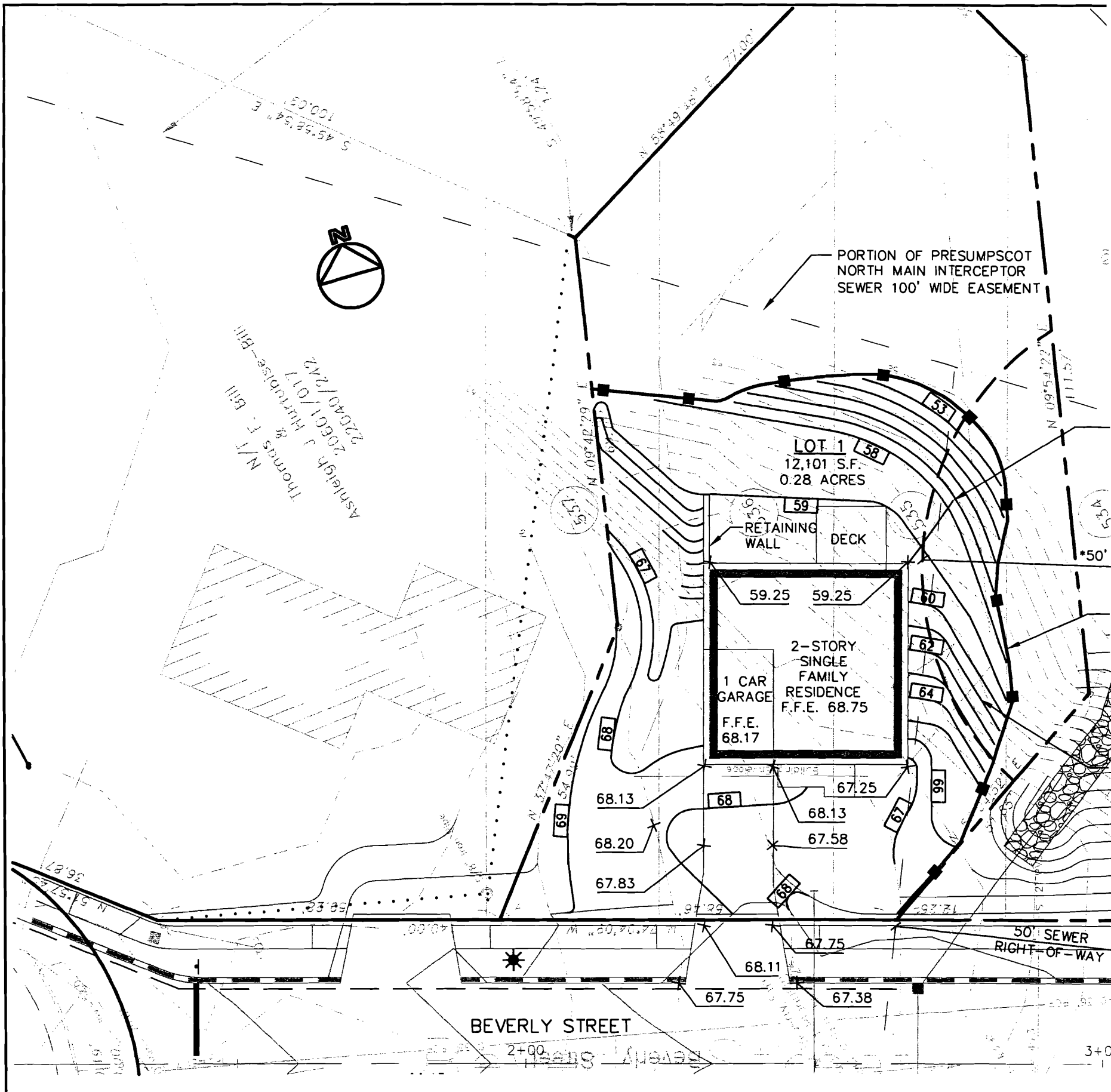


Gorrill-Palmer Consulting Engineers, Inc.

Traffic and Civil Engineering Services

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 15 Shaker Road
 Gray, ME 04039

207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com



Rev.	Date	Revision
2	5/2/08	ADDED MDEP JURISDICTION NOTE
1	1/5/07	REMOVE TURNAROUND

Design: WHS	Date: 9/04
Draft: CAH/GJL	Job No.: 2072
Checked: DER	Scale: 1"=20'
File Name: 1081-SP	



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