

335 - B - 001001

Beverly street, Portland, Maine

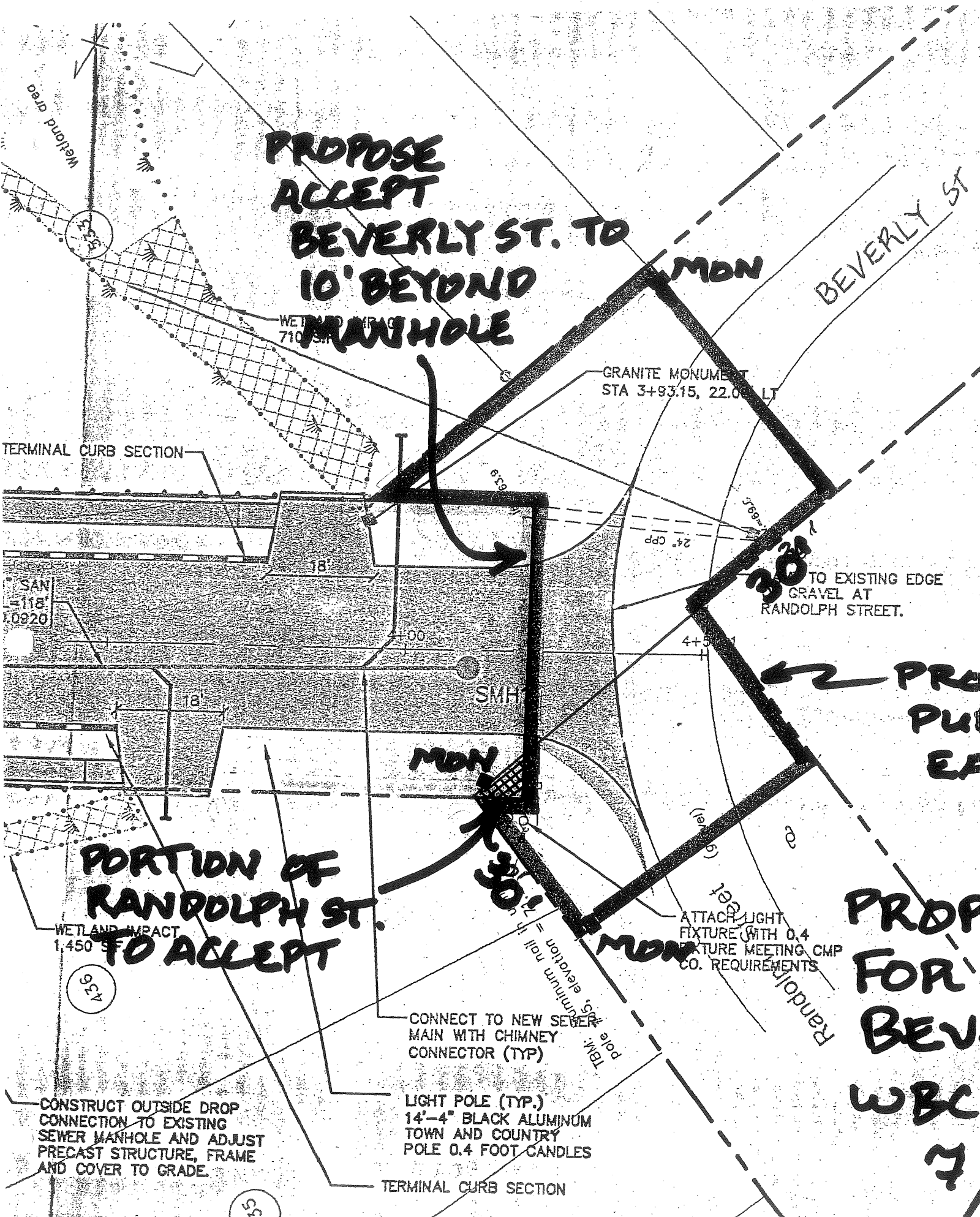
Amendment to plan - 14-403 Street Ext

Diversified properties

P.O. Box 10127, Portland, ME 04104

AT ALL TIMES DURING CONSTRUCTION.

- 3. THE CONTRACTOR SHALL CONFIRM WITH OWNER THAT ABUTTING PROPERTY OWNERS HAVE APPROVED THE MODIFICATIONS TO THEIR PROPERTY PRIOR TO ANY CONSTRUCTION ON THOSE ABUTTING PROPERTIES.
- 4. OVERHEAD ELECTRIC, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY REQUIREMENTS.



**PROPOSE  
ACCEPT  
BEVERLY ST. TO  
10' BEYOND  
MANHOLE**

**BEVERLY ST**

GRANITE MONUMENT  
STA 3+93.15, 22.00 LT

TERMINAL CURB SECTION

TO EXISTING EDGE  
GRAVEL AT  
RANDOLPH STREET.

**PROPOSE  
PUBLIC  
EASEMENT**

**PORTION OF  
RANDOLPH ST.  
TO ACCEPT**

**PROPOSED ACCEPTANCE  
FOR EXTENSION OF  
BEVERLY ST.**

CONNECT TO NEW SEWER  
MAIN WITH CHIMNEY  
CONNECTOR (TYP)

LIGHT POLE (TYP.)  
14'-4" BLACK ALUMINUM  
TOWN AND COUNTRY  
POLE 0.4 FOOT CANDLES

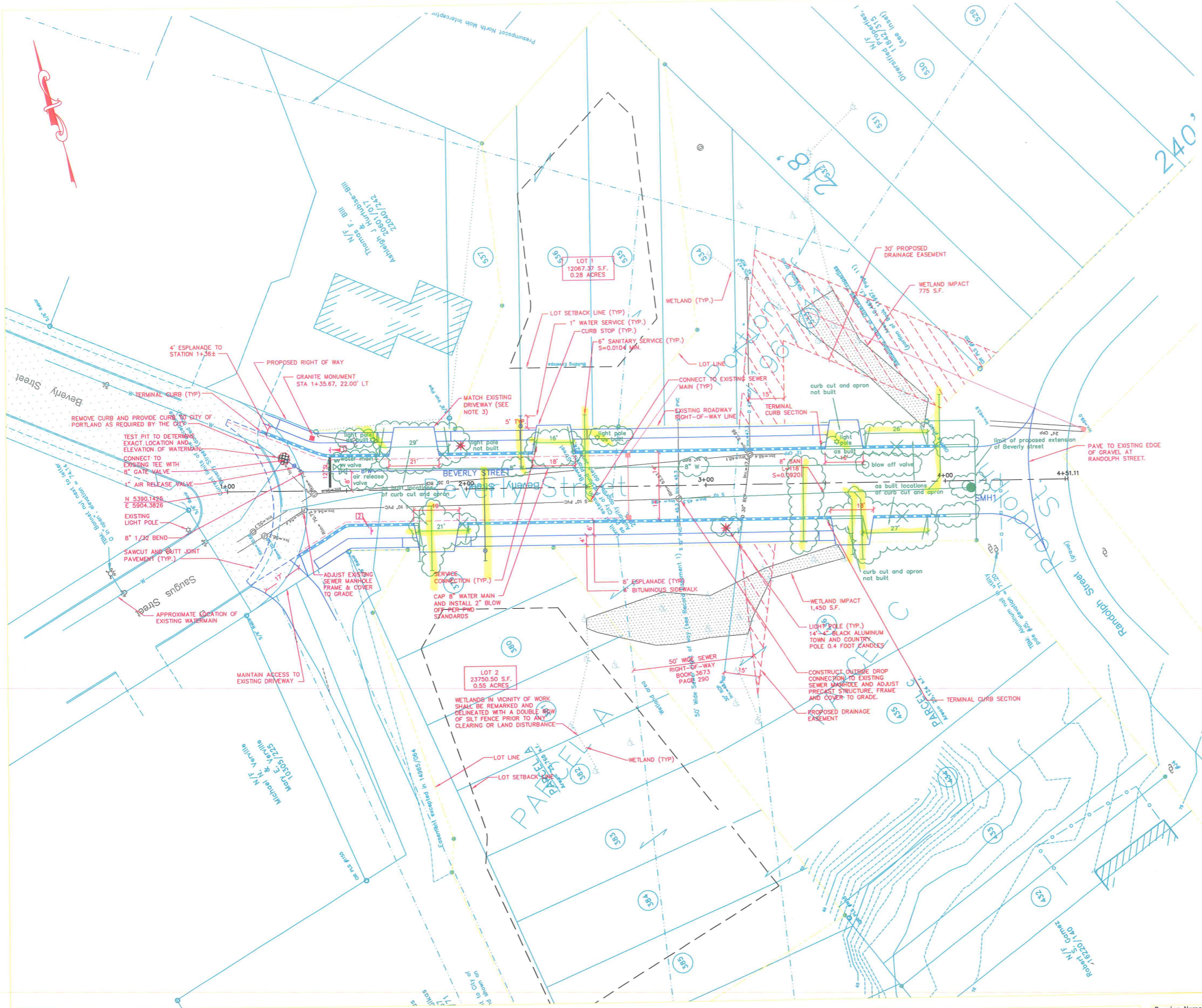
TERMINAL CURB SECTION

CONSTRUCT OUTSIDE DROP  
CONNECTION TO EXISTING  
SEWER MANHOLE AND ADJUST  
PRECAST STRUCTURE, FRAME  
AND COVER TO GRADE.

ATTACH LIGHT  
FIXTURE WITH 0.4  
FOOT CANDLE MEETING CMP  
CO. REQUIREMENTS

Beverly St.  
Proposed Street Lines  
by Bill Clark 7-20-07

**WBC  
7/20/2007**



SANITARY SEWER SCHEDULE				
STRUCTURE	SIZE	RIM	INV. IN/SIZE (FROM)	INV. OUT/SIZE (TO)
SMH1	4'6"	-	-	61.46/6" (EXSMH)

CURB LEGEND	
VERTICAL GRANITE CURB	

SIGN LEGEND		STRIPING LEGEND	
	R1-1		12" SL - 12" WIDTH STOP LINE
	2		

- NOTES:**
- TWO STREET TREES PER LOT TO BE PROVIDED BY DEVELOPER.
  - CONTRACTOR SHALL MAINTAIN FLOW IN EXISTING SANITARY SEWER AT ALL TIMES DURING CONSTRUCTION.
  - OVERHEAD ELECTRIC, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY REQUIREMENTS.

**AS-BUILT PLAN**  
 AS-BUILT INFORMATION PROVIDED BY CONTRACTOR

1 inch = 20 ft.

Rev.	Date	Revision
2	07/13/07	REVISED SAUGUS/ BEVERLY ST INTERSECTION
1	05/08/07	REVISED ROADWAY SECTION TO 28'

CONSTRUCTION	Date	By
CONSTRUCTION	10/19/07	LRB
RESPONSE TO PUBLIC WORKS COMMENTS	09/11/07	LRB
RESPONSE TO CITY STAFF COMMENTS	05/17/07	LRB
CITY STAFF REVIEW- AMENDED PLAN	03/01/07	LRB
CITY STAFF REVIEW	1/16/07	LRB
Issued For		By

Design: CAP    Draft: G.J.L.    Date: MAR 05  
 Checked: LRB    Scale: AS NOTED    Job No.: 1081  
 File Name: 1081-SP  
 This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc.(GPCEI). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCEI.

**GP Gorrill-Palmer Consulting Engineers, Inc.**  
*Traffic and Civil Engineering Services*  
 PO Box 1237    207-657-6910  
 15 Shaker Road    FAX: 207-657-6912  
 Gray, ME 04039    E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Roadway Layout & Utility Plan**  
 Project: **BEVERLY STREET EXTENSION, PORTLAND, MAINE**  
 Client: **Diversified Properties**  
 P.O. Box 10127, 449 Forest Avenue, Portland ME 04104

Drawing No. **C101**

Rev.	Date	Revision
1	8/24/07	RESPONSE TO PUBLIC WORKS COMMENTS

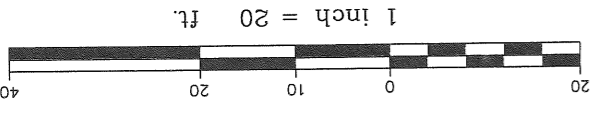
Design: WSH	Date: 9/04
Draft: CAH/GUL	Job No.: 1081
Checked: DER	Scale: 1"=20'
File Name: 1081-SP	

**GP**  
Gorrill-Palmer Consulting Engineers, Inc.  
15 Shaker Road  
Gray, ME 04039  
PO Box 1237  
207-657-6910  
FAX: 207-657-6912  
E-Mail: mailbox@gorrillpalmer.com

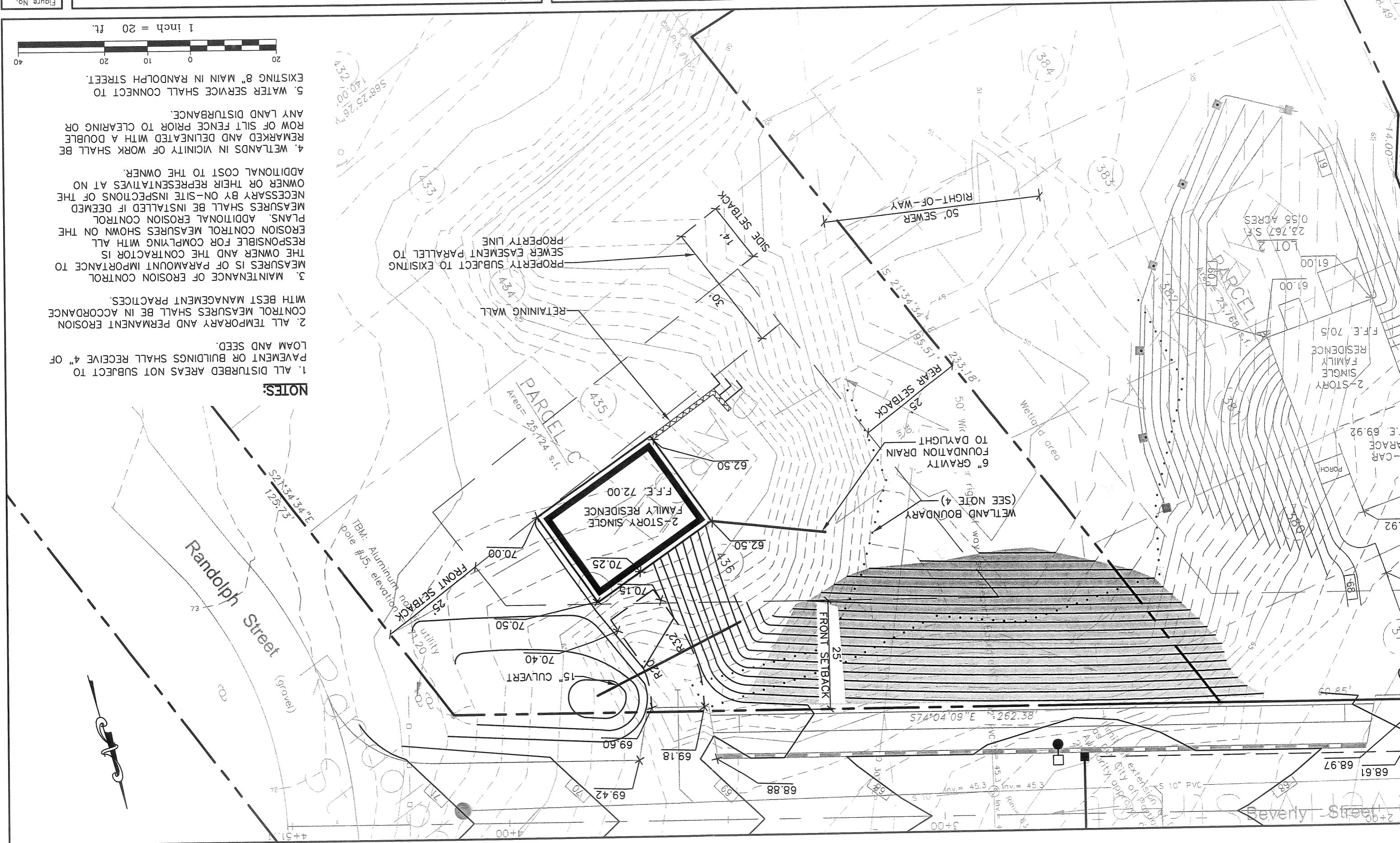
*Traffic and Civil Engineering Services*

Drawing Name: **LOT 3 - Grading & Drainage Concept**  
Project: **BEVERLY STREET**

Figure No. **2**



- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.
  2. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
  3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
  4. WETLANDS IN VICINITY OF WORK SHALL BE REMARKED AND DELINEATED WITH A DOUBLE ROW OF SILT FENCE PRIOR TO CLEARING OR ANY LAND DISTURBANCE.
  5. WATER SERVICE SHALL CONNECT TO EXISTING 8" MAIN IN RANDOLPH STREET.



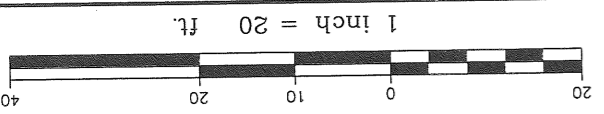
Rev.	Date	Revision
1	8/24/07	RESPONSE TO PUBLIC WORKS COMMENTS

Design:	WHS	Date:	9/04
Draft:	CAH/GJL	Job No.:	1081
Checked:	DER	Scale:	1"=20'
File Name: 1081-SP			

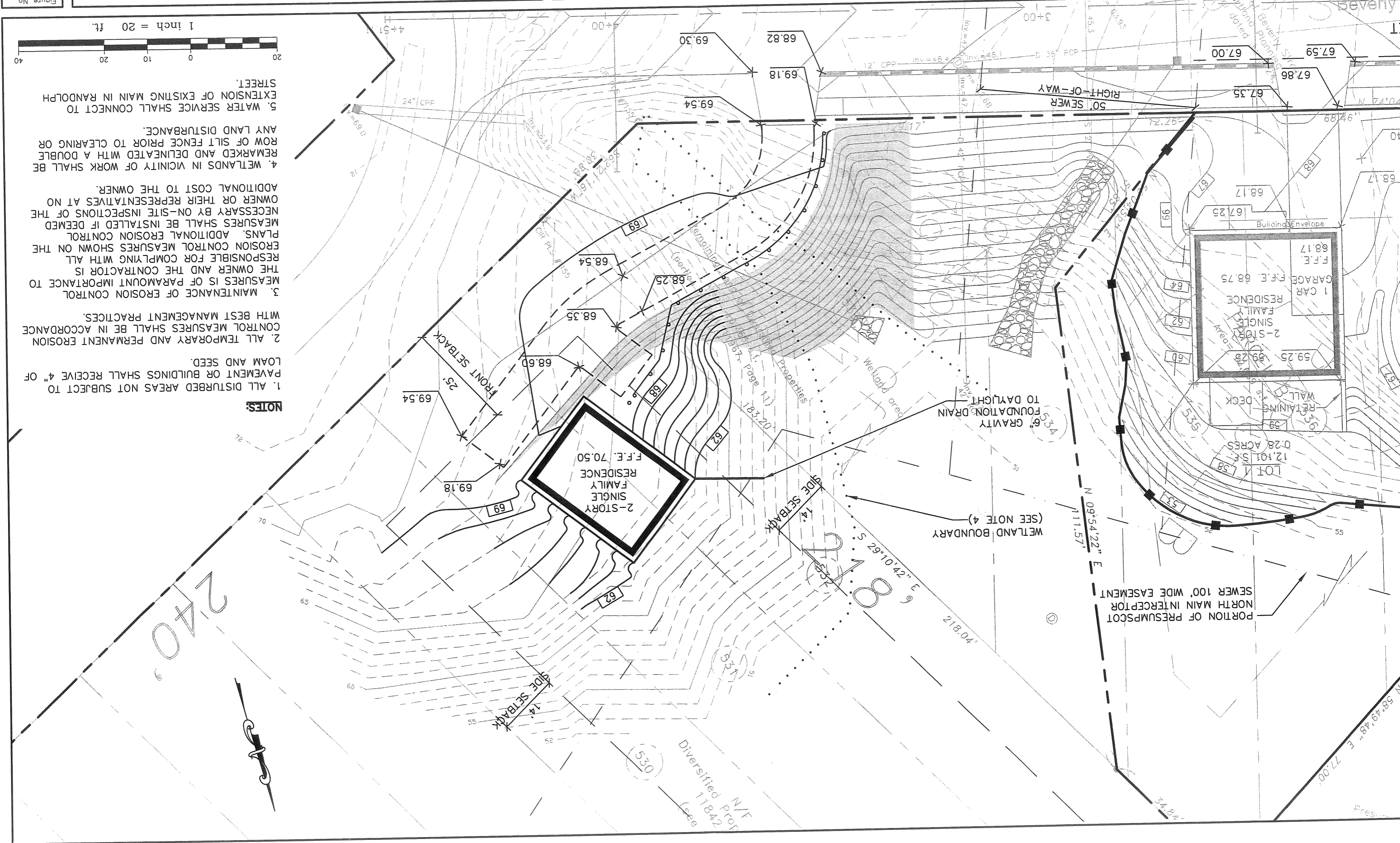
**GP** Gorill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services  
 P.O. Box 1237  
 15 Shaker Road  
 Gray, ME 04039  
 207-657-6910  
 FAX: 207-657-6912  
 E-Mail: mlolbox@gorillpalmer.com

Drawing Name: **LOT 4 - Grading and Drainage Concept**  
 Project: **BEVERLY STREET**

Figure No. **3**



- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.
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  4. WETLANDS IN VICINITY OF WORK SHALL BE REMARKED AND DELINEATED WITH A DOUBLE ROW OF SILT FENCE PRIOR TO CLEARING OR ANY LAND DISTURBANCE.
  5. WATER SERVICE SHALL CONNECT TO EXTENSION OF EXISTING MAIN IN RANDOLPH STREET.



Diversified N/F  
 11842  
 (see 530)

**WILCOMB ASSOCIATES**  
 133 Gray Road  
 Falmouth, Maine 04105  
 FILE# 7910  
 LP203048.R14.DWG  
 BOOK# 550  
 JOB# 203048  
 DATE: June 18, 2004  
 SCALE: 1"=20'  
 P.O. Box 10127  
 Portland, Maine

**AMENDED BOUNDARY SURVEY**  
 PLAN OF  
 DIVERSIFIED PROPERTIES  
 MADE FOR  
 Beverly Street  
 Portland, Maine

Rev. 10/24/07 Prop. drain, easements, mons.  
 Rev. 07/11/07 Contours on Parcel C, inset  
 Rev. 4/12/14/06 W.A. One deed ref, easements 2 and 3  
 Rev. 3/06/24/05 Bill-Hurtubise deed refs.  
 Rev. 2/03/05/05 Current street acceptance/prop. mon. loc.  
 Rev. 1/10/18/04 Revised prop. line between Parcels C & B

As noted  
 AREA

PARCEL C: Book 243191, Page 308  
 W.A. One  
 PARCEL B: Book 11842, Page 315 & Book 11967, Page 11  
 PARCEL A: Book 11967, Page 11 & Book 11842, Page 315  
 Diversified Properties, Inc.  
 OWNERS OF RECORD  
 Falmouth, Maine  
 N/F  
 Milliken Street LLC  
 15496/94

(3) Wetland delineation provided by Sweet Associates  
 Falmouth, Maine  
 (2) Bearings are referenced to magnetic north 1988.  
 (1) Book and Page references are to the Cumberland County  
 Registry of Deeds, unless otherwise specified.

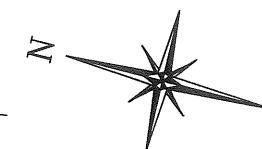
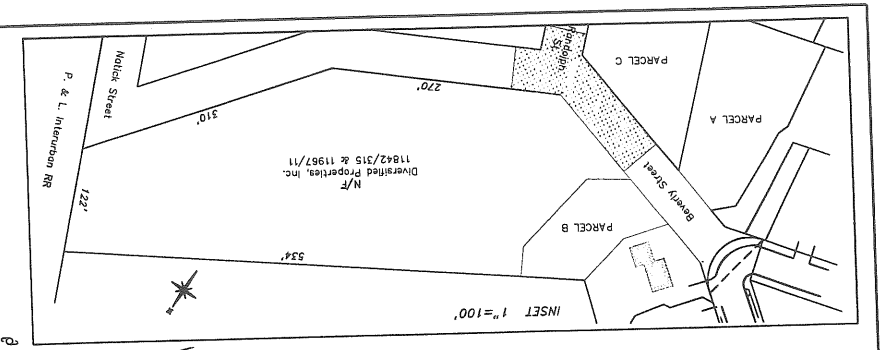
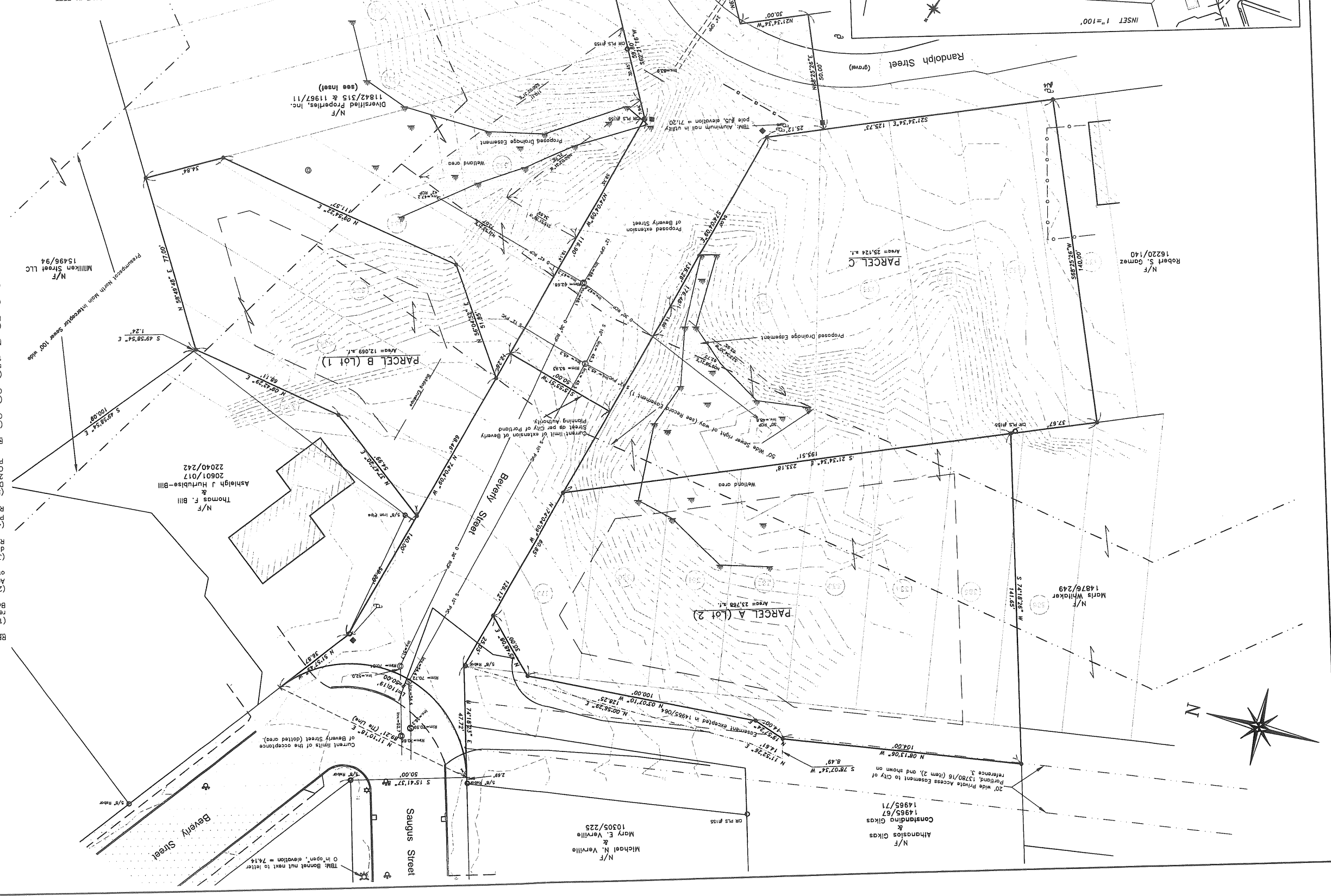
NOTES  
 (1) Sewer right of way to the City of Portland, see  
 Certificate of Taking of Property 3673/290.  
 (2) Rights to install a sewer line over Lot 435, reserved by  
 George D. Odenonitz, 5010/112.  
 (3) Surface drainage rights over Lots 435 and 436, as  
 shown on plan reference 1, reserved by J.W. Wilbur Co., Inc.  
 1187/497.

RECORD EASEMENTS  
 (5) Plan of an Amended Boundary Survey made for  
 Diversified Properties by Wilcomb Associates dated June 18,  
 2004 and revised October 18, 2004 recorded in the  
 Cumberland County Registry of Deeds in Plan Book 204,  
 Page 777.  
 (4) City of Portland Public Work Department City of Portland  
 Presumpscot North Main Interceptor Sewer, City of Portland  
 Records 635/8 and 636/14.  
 (3) Plan of Phase II Amended Recording Plat Buca Run,  
 dated July 14, 1995 recorded in the Cumberland County  
 Registry of Deeds in Plan Book 198, Page 70.  
 (2) Plan Showing a portion of Woodlands Gardens, dated  
 August 21, 1993 recorded in the Cumberland County Registry  
 of Deeds in Plan Book 196, Page 140.  
 (1) Plan of Woodlands Gardens, dated November 16, 1916  
 recorded in the Cumberland County Registry of Deeds in Plan  
 Book 13, Page 75.

REFERENCES  
 Lot number per reference 1  
 Existing building  
 Fire hydrant  
 Water valve  
 Drain manhole  
 Sewer manhole  
 Catch basin  
 Lot line per reference 1  
 Easement line  
 Edge of pavement  
 Curb  
 Lot line  
 Property line  
 Utility pole  
 Iron marker - found  
 Iron marker set 5/8" red or w/cop  
 Proposed monument (6"x6" granite)

LEGEND  
 Proposed monument (6"x6" granite)  
 Iron marker set 5/8" red or w/cop  
 Iron marker - found  
 Utility pole  
 Property line  
 Lot line  
 Curb  
 Edge of pavement  
 Easement line  
 Lot line per reference 1  
 Catch basin  
 Sewer manhole  
 Drain manhole  
 Water valve  
 Fire hydrant  
 Existing building  
 Lot number per reference 1

CERTIFICATION  
 1" = 20'  
 SCALE IN FEET  
 0 20 40  
 This survey substantially conforms to the current  
 standards of practice set forth by the Maine State  
 Board of Licensure for Land Surveyors.  
 Rex J. Creton, PLS #2273  
 STATE OF MAINE  
 LAND SURVEYOR  
 REG. NO. 2273



**PLAN OF AMENDED BOUNDARY SURVEY**  
MADE FOR Beverly Street, Portland, Maine

**DIVERSIFIED PROPERTIES**  
P.O. Box 10127, Portland, Maine

DATE: June 18, 2004  
SCALE: 1"=20'

BOOK# 50  
JOB# 203048

FILE# 7910  
LPT03048.R14.DWG  
153 Grey Road  
Falmouth, Maine 04105  
**Ticonob Associates**

As noted

AREA  
24391 wbc

PARCEL C: Book 243191, Page 306  
W.A. One  
PARCEL B: Book 11842, Page 315 & Book 11967, Page 11  
PARCEL A: Book 11967, Page 11 & Book 11842, Page 315  
Diversified Properties, Inc.

OWNERS OF RECORD  
Falmouth, Maine  
N/F Milliken Street LLC  
15496/94

NOTES  
(1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.  
(2) Bearings are referenced to magnetic north 1988.  
(3) Wetland delineation provided by Sweet Associates  
Falmouth, Maine.  
Diversified Properties, Inc.

REFERENCES  
(1) Plan of Woodlands Gardens, dated November 16, 1916 recorded in the Cumberland County Registry of Deeds in Plan Book 13, Page 75.  
(2) Plan showing a portion of Woodlands Gardens, dated August 5, 1993 recorded in the Cumberland County Registry of Deeds in Plan Book 196, Page 140.  
(3) Plan of Phase II Amended Recording Plat Buca Run, dated July 14, 1995 recorded in the Cumberland County Registry of Deeds in Plan Book 198, Page 70.  
(4) City of Portland Public Works Department plans of the Presumpscot North Main Interceptor Sewer, City of Portland Records 635/8 and 636/14.  
(5) Plan of an Amended Boundary Survey made for Diversified Properties by Ticonob Associates dated June 18, 2004 and revised October 18, 2004 recorded in the Cumberland County Registry of Deeds in Plan Book 204, Page 777.  
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(1) Sewer right of way to the City of Portland, see Certificate of Taking of Property 3673/290.  
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(3) Surface drainage rights over Lots 435 and 436, as shown on plan reference 1, reserved by J.W. Wilbur Co., Inc. 1187/497.  
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Diversified Properties, Inc.

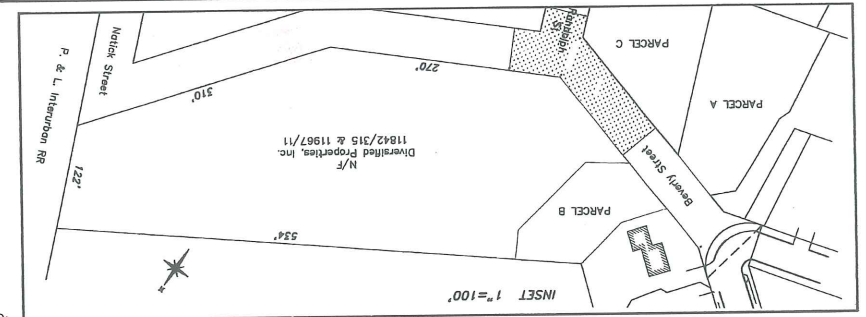
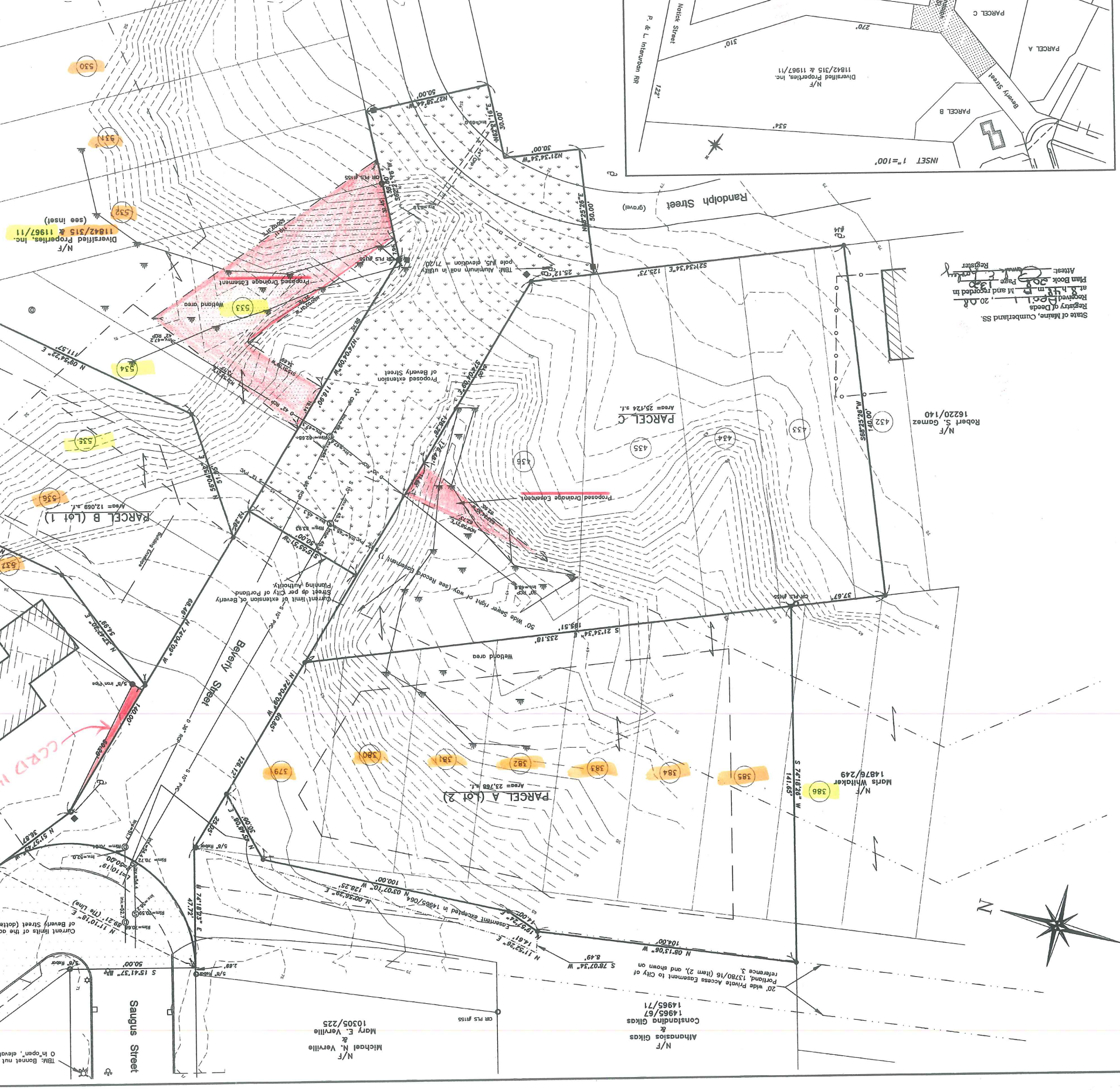
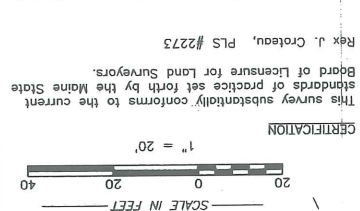
OWNERS OF RECORD  
Falmouth, Maine  
N/F Milliken Street LLC  
15496/94

PARCEL A: Book 11967, Page 11 & Book 11842, Page 315  
PARCEL B: Book 11842, Page 315 & Book 11967, Page 11  
PARCEL C: Book 243191, Page 306

AREA  
24391 wbc

As noted

This plan amends a Plan of a Boundary Survey recorded in Plan Book 204, Page 740, and Plan Book 204, Page 777.  
Prop. drain, easements, mons.  
R/C  
Contours on Parcel C, inset  
R/C  
W.A. One deed ref, easements 2 and 3  
R/C  
Bill-Hurtubise deed refs.  
R/C  
Current street acceptance/prop. mon. loc.  
R/C  
Revised prop. line between Parcels C & B  
R/C  
Rev. 10/18/04



State of Maine, Cumberland SS  
Registry of Deeds  
at 8:48 a.m. and recorded in  
Plan Book 204, Page 777  
Attest:  
C. J. Croteau  
Register



LEGEND

- Proposed monument (6"x6" granite)
- Iron marker set 5/8" rebar w/cap
- Iron marker - found
- Utility pole
- Property line
- Lot line
- Edge of pavement
- Easement line
- Lot line per reference 1
- Catch basin
- Sewer manhole
- Drain manhole
- Water valve
- Fire hydrant
- Existing building
- Lot number per reference 1





FILE# 7910	BOOK# 550
LP03048.R11.DWG	DATE: June 18, 2004
JOB# 203048	SCALE: 1"=20'
P.O. Box 10127 Portland, Maine	
<b>DIVERSIFIED PROPERTIES</b>	
MADE FOR	
AMENDED BOUNDARY SURVEY	
Beverly Street Portland, Maine	
Rev. 4 12/14/06	W.A. One deed ref, easements 2 and 3
Rev. 3 08/24/05	Bill-Hurtubise deed refs.
Rev. 2 03/05/05	Current street acceptance/prop. mon. loc. R/C
Rev. 1 10/18/04	Revised prop. line between Parcels C & B R/C



Titcomb Associates  
133 Gray Road  
Falmouth, Maine 04105

STATE OF MAINE  
LAND SURVEYOR  
#2273  
CERIFICATION

Rev. J. Croteau, PLS #2273  
This survey substantially conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

**NOTES**

(1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.

(2) Bearings are referenced to magnetic north 1988.

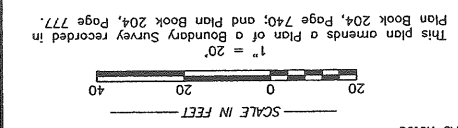
(3) Wetland delineation provided by Sweet Associates Falmouth, Maine.

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(3) Surface drainage rights over Lots 435 and 436, as shown on plan reference 1, reserved by J.W. Wilbur Co., Inc. 1187/497.



As noted

**OWNERS OF RECORD**

PARCEL A: Book 11967, Page 11 & Book 11842, Page 315  
Diversified Properties, Inc.

PARCEL B: Book 11842, Page 315 & Book 11967, Page 11

**REFERENCES**

(1) Plan of Woodlands Gardens, dated November 16, 1916 recorded in the Cumberland County Registry of Deeds in Plan Book 13, Page 75.

(2) Plan Showing a portion of Woodlands Gardens, dated August 5, 1993 recorded in the Cumberland County Registry of Deeds in Plan Book 196, Page 140.

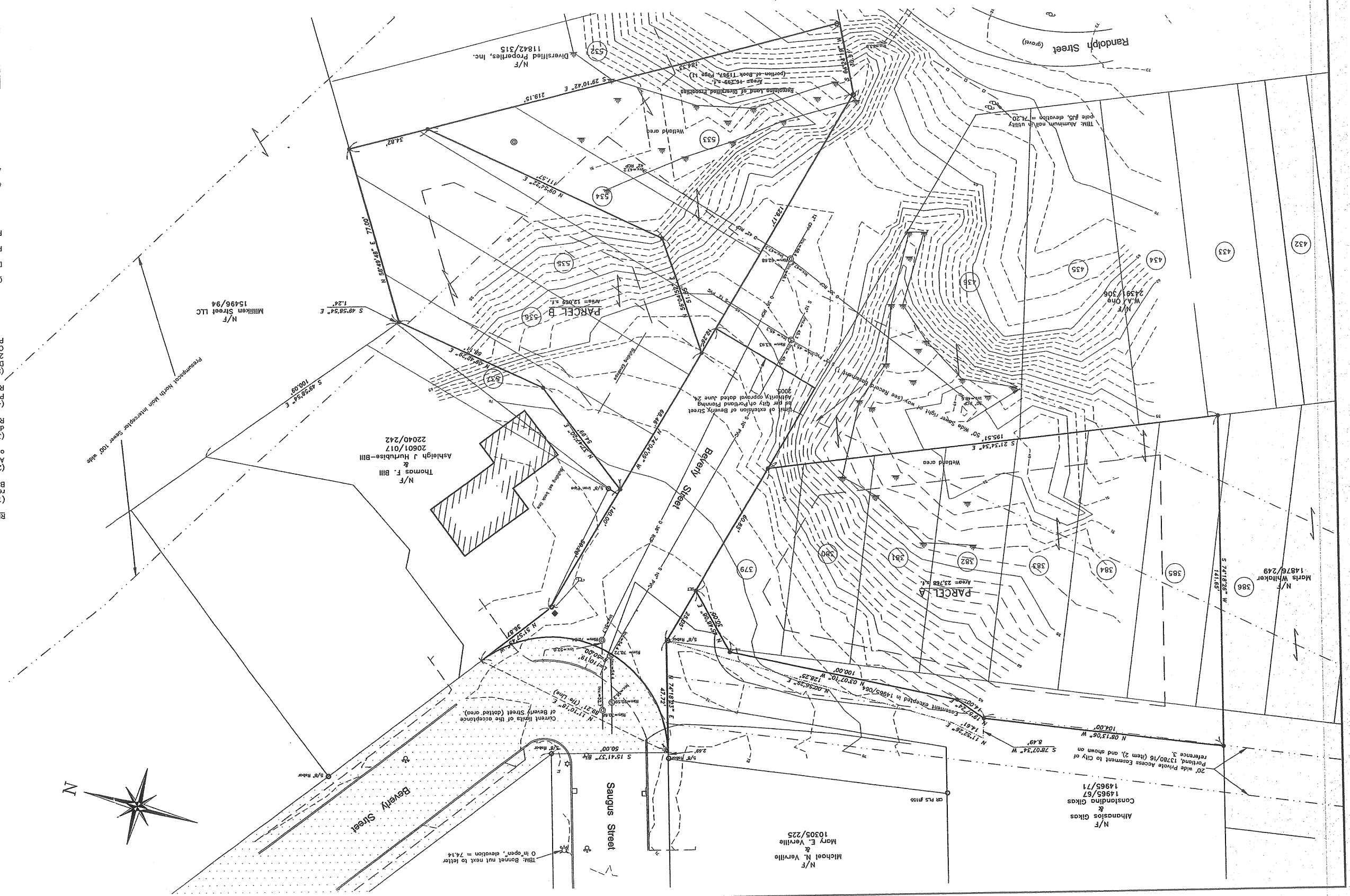
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(4) City of Portland Public Works Department plans of the Presumpscot North Main Interceptor Sewer, City of Portland Records 635/8 and 636/14.

(5) Plan of an Amended Boundary Survey made for Diversified Properties by Titcomb Associates dated June 18, 2004 and revised October 18, 2004 recorded in the Cumberland County Registry of Deeds in Plan Book 204, Page 777.

**LEGEND**

- Proposed monument (6"x6" granite)
- Iron marker set 5/8" rebar w/cap
- From marker - found
- Utility pole
- Property line
- Lot line
- Curb
- Edge of pavement
- Easement line
- Lot line per reference 1
- Catch basin
- Sewer manhole
- Drain manhole
- Water valve
- Fire hydrant
- Existing building
- Lot number per reference 1



PLANNED BOUNDARY SURVEY  
MADE FOR  
DIVERSIFIED PROPERTIES  
Portland, Maine

Rev.	Date	Revision
-	-	-
-	-	-

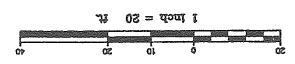
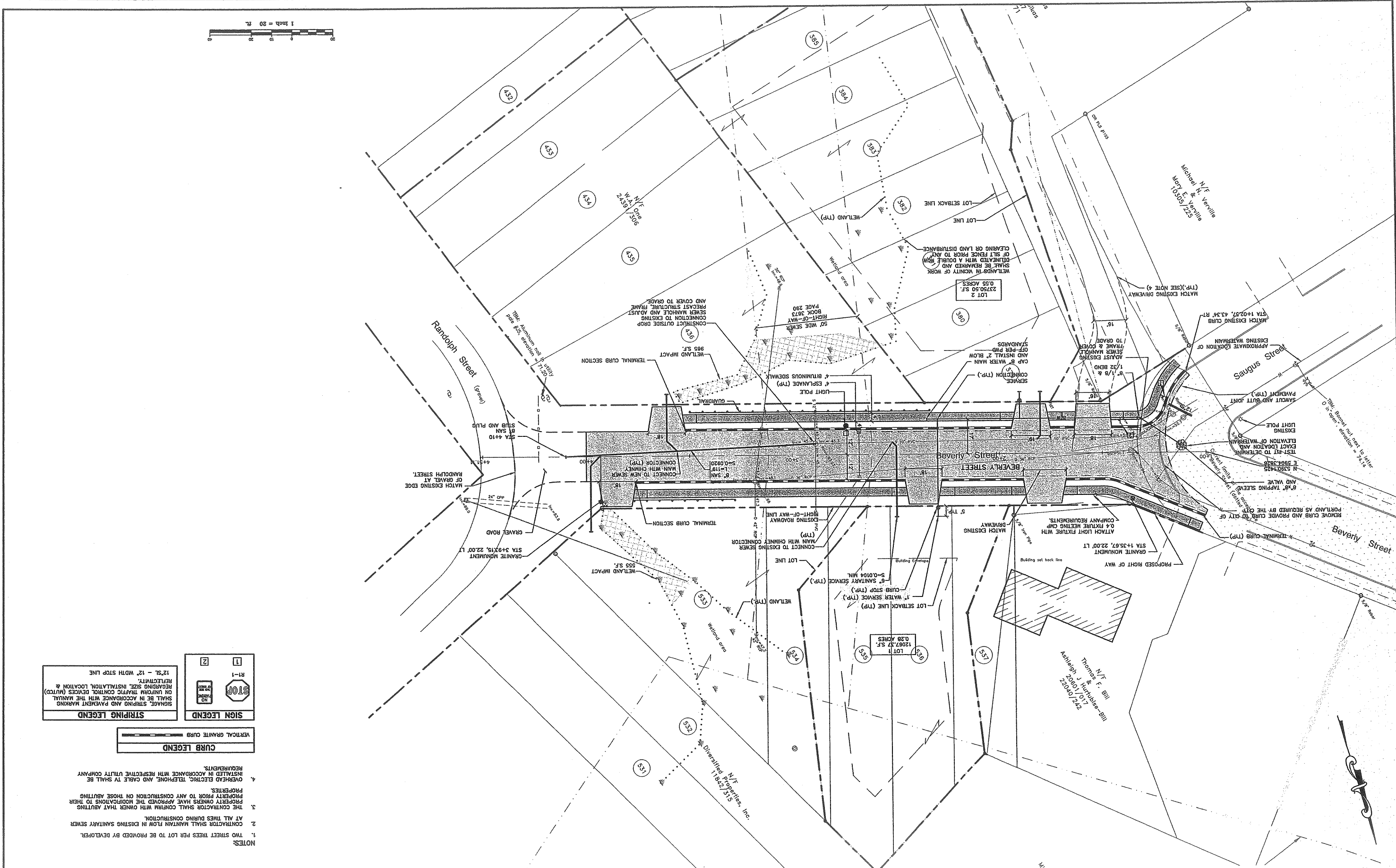
Issued For	Date	By
CITY STAFF REVIEW - AMENDED PLAN	03/01/07	LRB
CITY STAFF REVIEW	1/16/07	LRB

Design: CAP Date: MAR 05  
 Checked: LRB Scales: AS NOTED Job No.: 1081  
 File Name: 1081-SP  
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Drawing Name: **Roadway Layout & Utility Plan**  
 Project: **BEVERLY STREET EXTENSION, PORTLAND, MAINE**  
 Client: **Diversified Properties**  
 P.O. Box 10127, 449 Forest Avenue, Portland ME 04104

Drawing No. **C101**



SIGN LEGEND	
1	STOP
2	STOP

12" x 12" - 12" WIDTH STOP LINE  
 SIGNAGE, STRIPING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). REFLECTIVITY, READING SIZE, INSTALLATION, LOCATION & POSITIONING SHALL BE IN ACCORDANCE WITH THE MUTCD.

CURB LEGEND	
—	VERTICAL GRANITE CURB

- NOTES:**
1. TWO STREET TREES PER LOT TO BE PROVIDED BY DEVELOPER.
  2. CONTRACTOR SHALL MAINTAIN FLOW IN EXISTING SANITARY SEWER AT ALL TIMES DURING CONSTRUCTION.
  3. THE CONTRACTOR SHALL CONFIRM WITH OWNER THAT ABUTTING PROPERTY OWNERS HAVE APPROVED THE MODIFICATIONS TO THEIR PROPERTIES PRIOR TO ANY CONSTRUCTION ON THOSE ABUTTING PROPERTIES.
  4. OVERHEAD ELECTRIC, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY REQUIREMENTS.

Rev.	Date	Revision
-	-	-

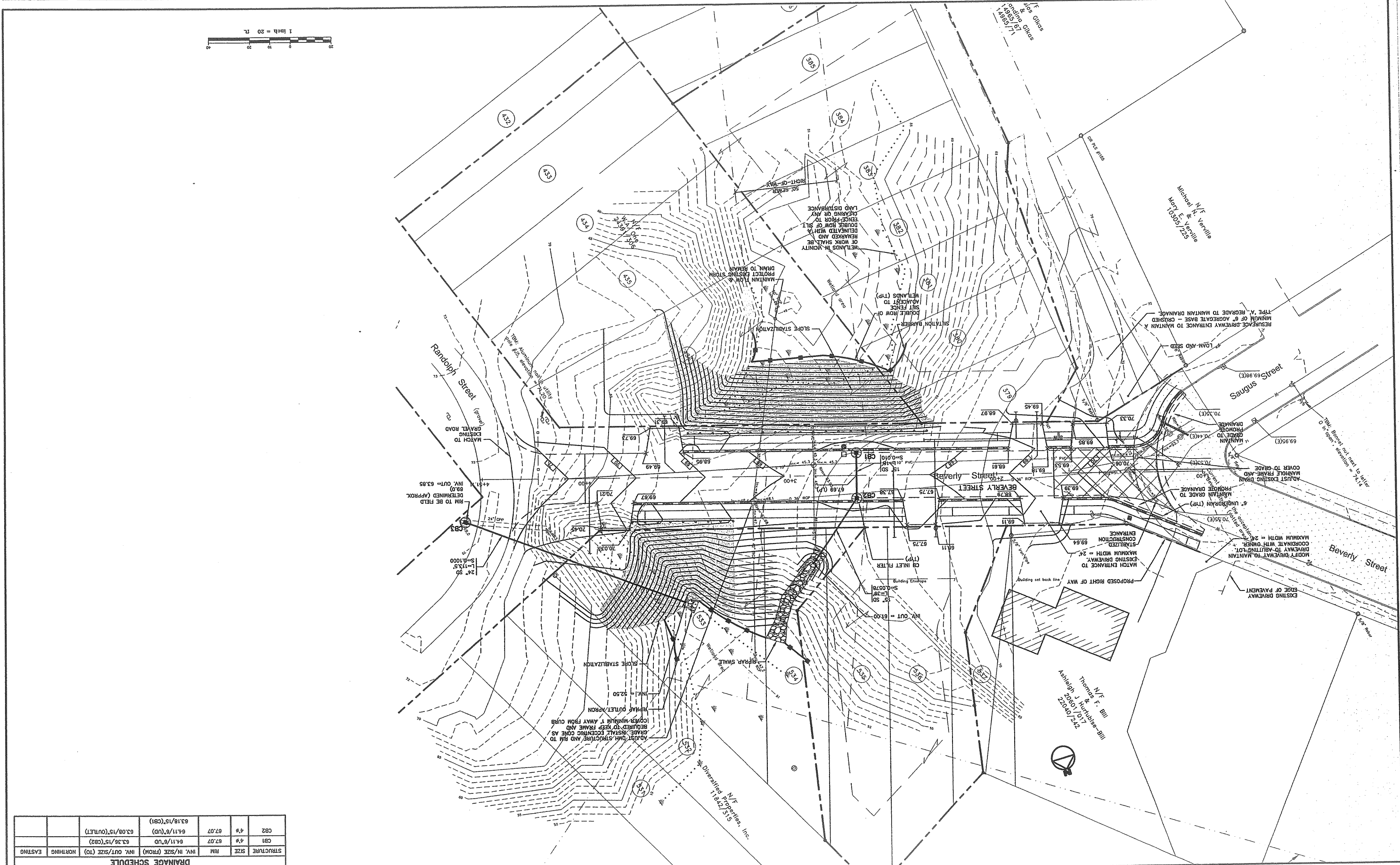
By	Date	Issued For
RB	03/01/07	CITY STAFF REVIEW - AMENDED PLAN
RB	1/16/07	CITY STAFF REVIEW

Design: CAP Date: MAR 05  
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 Traffic and Civil Engineering Services  
 15 Shaker Road  
 Gray, ME 04039  
 E-Mail: mailbox@gorrillpalmer.com  
 207-657-6912  
 FAX: 207-657-6910

Drawing Name: **Grading, Drainage, Erosion and Sedimentation Control Plan**  
 Project: **BEVERLY STREET EXTENSION, PORTLAND, MAINE**  
 Client: **Diversified Properties**  
 P.O. Box 10127, 449 Forest Avenue, Portland ME 04104

Drawing No. **C102**



**DRAINAGE SCHEDULE**

STRUCTURE	SIZE	RM	INV. IN/SIZE (FROM)	INV. OUT/SIZE (TO)	NORTHING	EASTING
CB1	4"	67.07	64.11/6 (UD)	63.36/15 (CB2)		
CB2	4"	67.07	64.11/6 (UD)	63.08/15 (OUTLET)		





Rev.	Date	Revision
-	-	-
-	-	-

Issued For	Date	By
CITY STAFF REVIEW	3/24/05	LRB
CITY STAFF REVIEW	5/25/05	DBR
CITY STAFF REVIEW - AMENDED PLAN	03/01/07	LRB

Design: CAP  
 Draft: GLL  
 Date: MAR 05  
 Checked: LRB  
 Scale: AS NOTED  
 Job No.: 1081

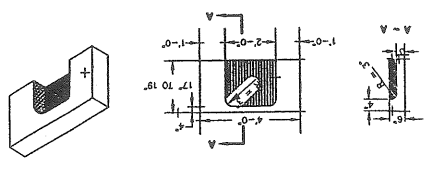
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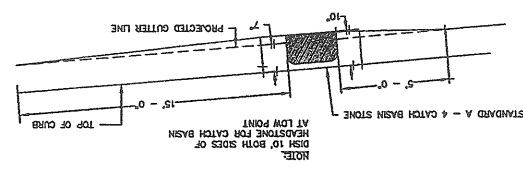
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 Project: **BEVERLY STREET EXTENSION, PORTLAND, MAINE**  
 Client: **Diversified Properties**  
 P.O. Box 10127, 449 Forest Avenue, Portland ME 04104

Drawing No. **C402**

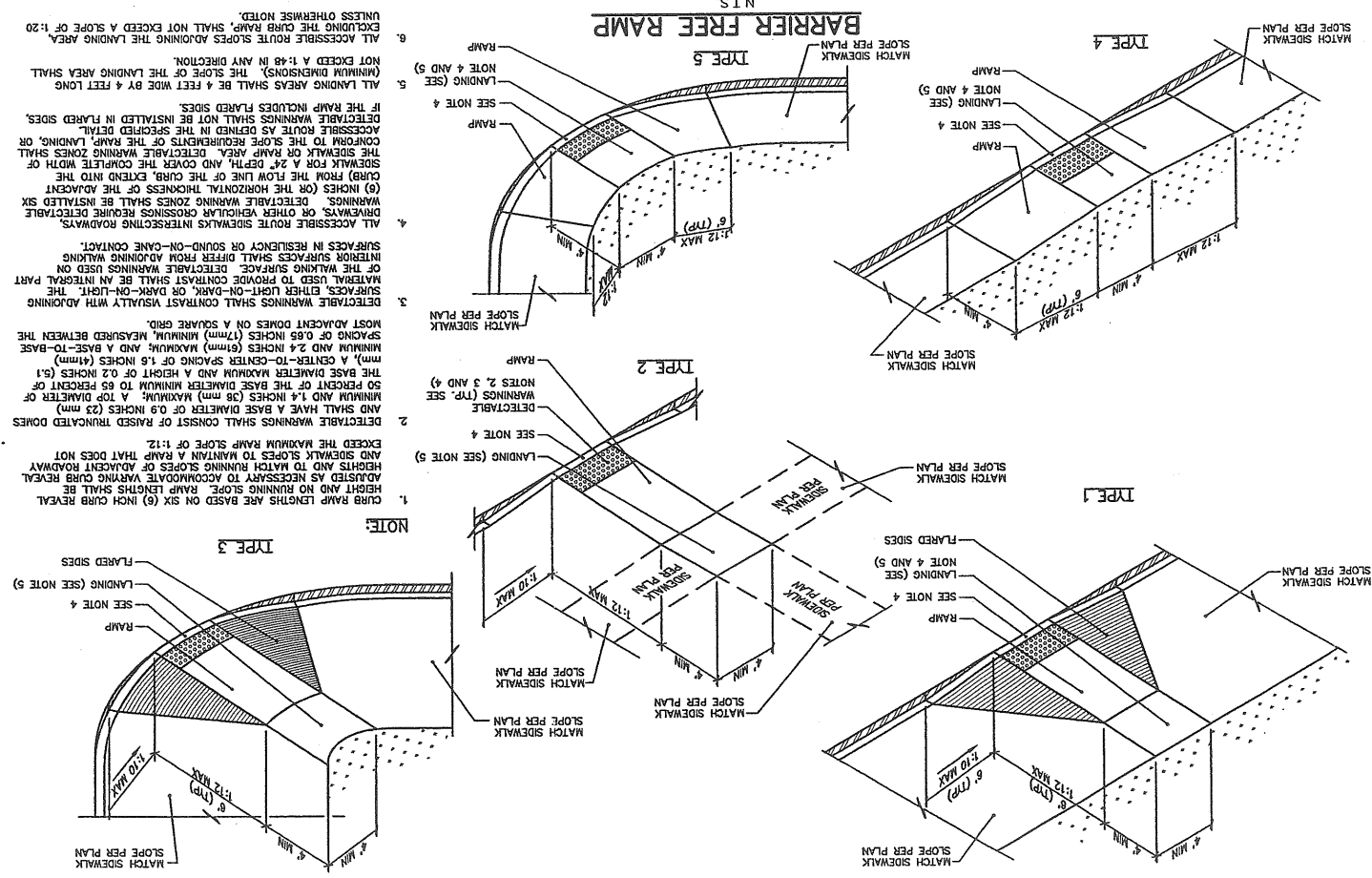
**TYPICAL A-4 CATCH BASIN STONE**  
 N.T.S.



**TYPICAL PAVEMENT GRADING ON SLOPES FOR CATCH BASIN AND INLET**  
 N.T.S.



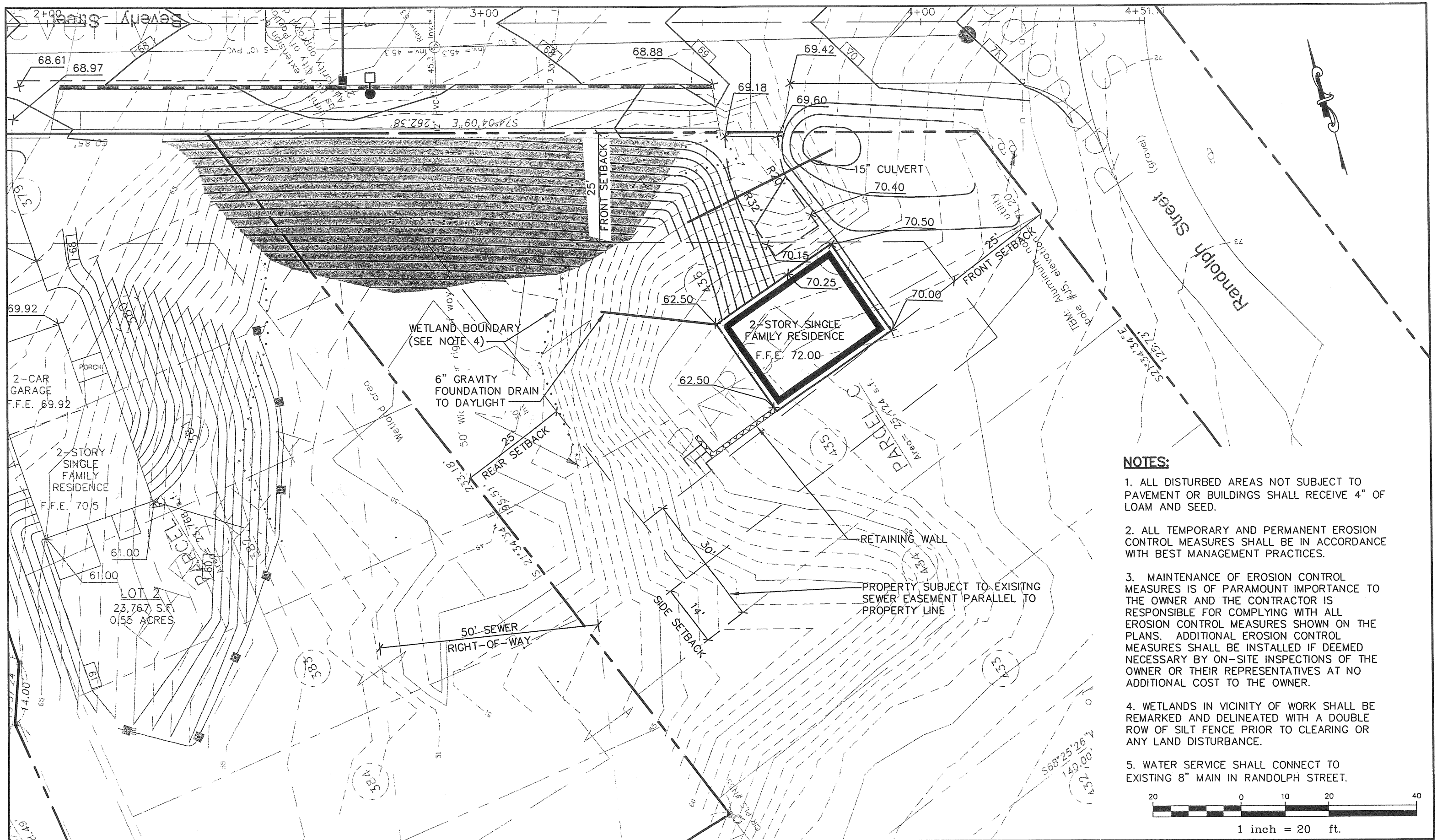
**BARRIER FREE RAMP**  
 N.T.S.





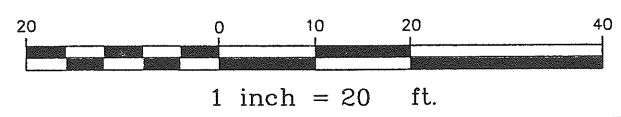






**NOTES:**

1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.
2. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. WETLANDS IN VICINITY OF WORK SHALL BE REMARKED AND DELINEATED WITH A DOUBLE ROW OF SILT FENCE PRIOR TO CLEARING OR ANY LAND DISTURBANCE.
5. WATER SERVICE SHALL CONNECT TO EXISTING 8" MAIN IN RANDOLPH STREET.



Rev.	Date	Revision
1	8/24/07	RESPONSE TO PUBLIC WORKS COMMENTS

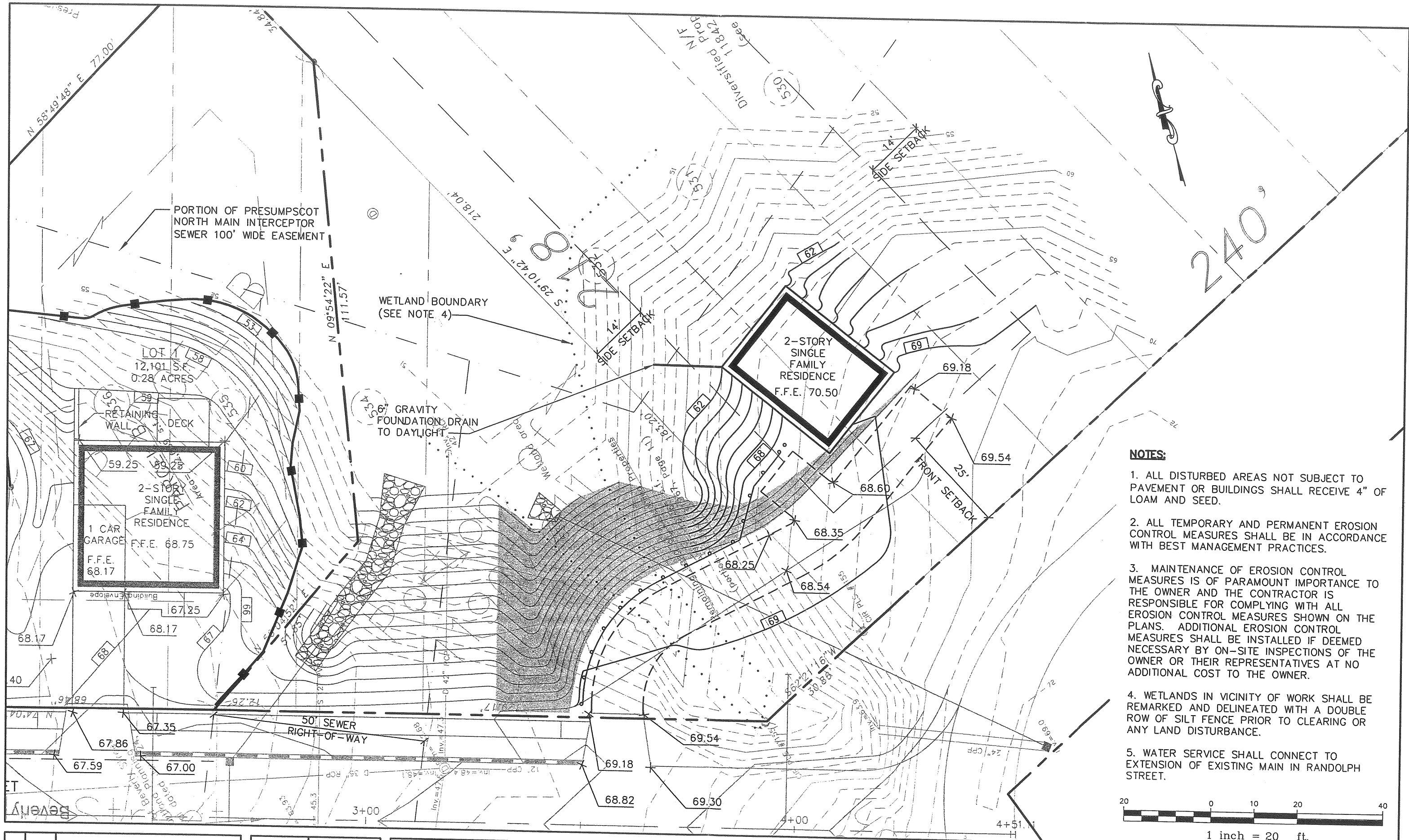
Design: WSH	Date: 9/04
Draft: CAH/GUL	Job No.: 1081
Checked: DER	Scale: 1"=20'
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Drawing Name:	LOT 3 - Grading & Drainage Concept
Project:	BEVERLY STREET

Figure No.  
**2**



- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDINGS SHALL RECEIVE 4" OF LOAM AND SEED.
  2. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
  3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
  4. WETLANDS IN VICINITY OF WORK SHALL BE REMARKED AND DELINEATED WITH A DOUBLE ROW OF SILT FENCE PRIOR TO CLEARING OR ANY LAND DISTURBANCE.
  5. WATER SERVICE SHALL CONNECT TO EXTENSION OF EXISTING MAIN IN RANDOLPH STREET.

Rev.	Date	Revision
1	8/24/07	RESPONSE TO PUBLIC WORKS COMMENTS

Design: WHS	Date: 9/04
Draft: CAH/GJL	Job No.: 1081
Checked: DER	Scale: 1"=20'
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Drawing Name:	LOT 4 - Grading and Drainage Concept
Project:	BEVERLY STREET

Figure No.  
3